

**ASSEMBLY AGENDA/MANAGER'S REPORT  
THE CITY AND BOROUGH OF JUNEAU, ALASKA**

January 4, 2021 7:00 PM

Zoom Webinar/Telephonic/FB Livestream

Meeting No. 2021-01 <https://juneau.zoom.us/j/92299585452> or call: 1-253-215-8782

Webinar ID: 922 9958 5452

Submitted By:

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Duncan Rorie Watt  
City and Borough Manager

**I. FLAG SALUTE**

**II. ROLL CALL**

**III. SPECIAL ORDER OF BUSINESS**

**A. Instructions for Public Participation**

Anyone wishing to provide public comment during the meeting is asked to call the Municipal Clerk's public testimony request phone line at 586-0215 by 3 p.m. the day of the meeting or send an email to [City.Clerk@juneau.org](mailto:City.Clerk@juneau.org) providing their name, email address, and phone number they will be calling from. Testimony time will be limited by the Mayor based on the number of participants. The public is encouraged to send comments in advance of the meeting to [BoroughAssembly@juneau.org](mailto:BoroughAssembly@juneau.org).

If you have not notified the Clerk's Office ahead of time you may still be able to participate. When attending the zoom webinar [login info listed at top of agenda] to speak on an item up for public hearing or a non-agenda item please hit the 'raise hand' button if participating via a computer/tablet; if participating by phone press \*9 on your phone; this will place a 'raised hand' icon next to your phone number and will add you to the queue.

**IV. APPROVAL OF MINUTES**

**A. August 24, 2020 Regular Assembly Meeting #2020-40 DRAFT Minutes**

**V. MANAGER'S REQUEST FOR AGENDA CHANGES**

**VI. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS**

## VII. CONSENT AGENDA

- A. Public Requests for Consent Agenda Changes, Other Than Ordinances for Introduction
- B. Assembly Requests for Consent Agenda Changes
- C. Assembly Action

### 1. Ordinances for Introduction

- a. **Ordinance 2020-60(b) An Ordinance Authorizing the Manager to Convey Approximately 22,000 Square Feet of Property Located at Lot 2, USS 3559 to the Owners of the Adjacent Property Located at 11259 North Douglas Highway.**

Dwight Scott Williams and Carol Colp submitted an application to purchase City property on USS 3559 LT 2, which is adjacent to their property located at 11259 N. Douglas Highway. At the November 9, 2020 meeting, the Lands Committee provided a motion of support for this land disposal. The Planning Commission provided a positive recommendation with the condition that the new lot created by this sale meet the dimensional requirements of the Rural Reserve zoning district. The purchase price of the property shall be the fair market value, which has been determined to be \$34,600.00.

**The City Manager recommends the Assembly introduce this ordinance and set it for public hearing at the next regular Assembly meeting.**

### 2. Resolutions

- a. **Resolution 2936 A Resolution Authorizing the Manager to Apply to the State of Alaska for the Acquisition of the Properties Located at Telephone Hill.**

In 2019, the Governor published a Property Disposal Directive Report, which listed the Telephone Hill properties for divestment by the State.

At the Assembly COW on December 2, 2019, staff gave a history of the properties and received direction to start the process to acquire the properties from the State. As the long-term management partner for the Telephone Hill properties, the City supports the goal of economic development of these properties and requests that the State convey the property to advance the shared goals of the City and the Administration.

On December 7, 2020, the Lands and Resources Committee provided a

motion of support for a resolution in favor of the City applying to acquire the Telephone Hill properties from the State.

The Telephone Hill properties were acquired jointly by CBJ and the State of Alaska approximately 35 years ago for the purpose of providing for an improved Capitol campus. Many improvements to the Capitol have been accomplished since then. Acquisition of these properties will allow CBJ to continue to play a central role in improvements to the Capitol and in the development of these properties.

This resolution would authorize the CBJ to submit an application to the State of Alaska, which would likely be an application for public and charitable use to the Department of Natural Resources (AS 38.05.810).

**The City Manager recommends the Assembly adopt this resolution.**

3. Other Items for consent

a. **CSP 20-08 Goodwin Road Reconstruction**

This road reconstruction project includes replacement of the water system, partial replacement of the sewer system, and improved drainage. Road will be reconstructed and paved to full existing width, with two 14-foot travel lanes. Both water and sewer have exceeded their service life. An existing pedestrian path on the uphill side of Goodwin Road will be realigned to better match a crosswalk on Blueberry Hills Road.

**The City Manager recommends the Assembly approve this project consistent with the Planning Commission's recommendation.**

4. Transfers

a. **Transfer Request T-1034 A Transfer of \$5,273,237 from Various Capital Improvement Projects to CIP U76-103 Facilities Planning, CIP U76-122 Outer Drive & W. Juneau Station Improvements, CIP U76-112 JD New Vector Dump, and CIP U76-100 Glacier Highway Sewer-Anka to Walmart.**

This transfer of \$5,273,237 would accommodate current priority project needs of the wastewater utility. Many of the proposed transfers are reallocation of funds from completed projects to ongoing work in need of additional funding. The ongoing projects that are providing funding for the priority CIPs will retain sufficient funding to continue developing and building within those CIPs. Additional funding for construction will be prioritized and funded by the Wastewater Utility FY22 CIP request. This transfer is for unencumbered balances within the Engineering and Public Works Department.

The Public Works and Facilities Committee reviewed this request at its December 7, 2020 meeting.

**The City Manager recommends approval of this transfer.**

## VIIIPUBLIC HEARING

**A. Ordinance 2020-09(AA) An Ordinance Appropriating \$45,000 to the Manager for Parks and Recreation's Fiscal Year 2021 Dimond Park Field House Operating Costs; Funding Provided by the General Fund's Fund Balance.**

This ordinance would appropriate \$45,000 for Parks and Recreation's FY21 Dimond Park Field House (DPFH) operating costs, estimated to be allocated for the following purposes:

|                                           |                 |
|-------------------------------------------|-----------------|
| Facilities Maintenance                    | \$20,000        |
| Immediate Repairs to Fire System/Building | \$25,000        |
| <b>TOTAL</b>                              | <b>\$45,000</b> |

This supplemental appropriation is needed as a result of the transfer of management from Eaglecrest to the Parks and Recreation Department beginning January 1, 2021.

The Parks and Recreation Advisory Committee (PRAC) reviewed this matter at its meeting on November 3, 2020. Funding for this request would be provided by the General Fund's fund balance.

The Assembly Finance Committee reviewed this request at its December 9, 2020 meeting.

**The City Manager recommends the Assembly adopt this ordinance.**

**B. Ordinance 2020-09(AB) An Ordinance Appropriating \$376,000 to the Manager for the Planning and Design of Bond-Funded Capital Improvement Projects; Funding Provided by General Obligation Bond Proceeds.**

This ordinance would appropriate \$376,000 for the planning and design of the following bond-funded capital improvement projects:

|                                            |                  |
|--------------------------------------------|------------------|
| Crest Avenue Reconstruction (R72-155)      | \$175,000        |
| Eagle Valley Center Improvements (P46-115) | \$ 51,000        |
| Downtown and Glacier Fire Stations -       |                  |
| Mechanical/Electrical Upgrades (F21-041)   | <u>\$150,000</u> |
| <b>Total</b>                               | <b>\$376,000</b> |



This appropriation of project funding is consistent with the intent of the \$15 million general obligation bond package approved by voters in the October 6, 2020 municipal election.

Funding for this request would be provided by General Obligation Bond Proceeds.

The Public Works and Facilities Committee reviewed this request at the December 7, 2020 meeting. The Assembly Finance Committee reviewed this request at the December 9, 2020 meeting.

**The City Manager recommends the Assembly adopt this ordinance.**

**C. Ordinance 2020-38(b) An Ordinance Authorizing Docks and Harbors to Execute a Reservation Agreement with Goldbelt, Inc. for Seadrome Dock and the Merchant's Wharf Float.**

This ordinance would allow Docks and Harbors to manage the reservations on behalf of Goldbelt, Inc. at the Seadrome Dock for the 2021 season.

This authorization would allow Docks and Harbors to evaluate, alongside with Goldbelt, whether a moorage reservation call center operated by Docks and Harbors would provide efficiencies and cost savings for the two entities.

The Docks and Harbors Board favorably recommended this matter at its meeting on February 27 and again on November 19, 2020. The Assembly Human Resources Committee favorably recommended this matter at its meeting on July 1, 2020. The original intent was to execute this authorization in calendar year 2020. However because of the pandemic, both parties agreed to wait until 2021 to evaluate opportunities.

**The City Manager recommends the Assembly adopt this ordinance.**

**IX. UNFINISHED BUSINESS**

**X. NEW BUSINESS**

**A. Regulation 05 CBJAC 20.044 Active Fishing Vessel Discount at Statter Harbor**

This regulation would allow fishing vessels that maintain reserved moorage at Statter Harbor to moor up to 20 days per year at the downtown harbors. The Docks and Harbors Board recommended approval of this regulation amendment.

The Assembly's review is guided by CBJC 01.60.260. Notably, the Assembly cannot amend the regulations tonight. However, the Assembly may do one of the following:

1. Not take up consideration of the regulations by moving the regulations with orders of the day, which means the regulations are approved;
2. Discuss the regulations and move to adopt the regulations;
3. Discuss the regulations and direct the Manager to consider reasons to review the regulations again; or
4. Direct the Attorney to prepare an ordinance or resolution for consideration of the substance of the regulations.

**The City Manager recommends the Assembly approve the regulations by moving for orders of the day.**

## **XI. STAFF REPORTS**

## **XII. ASSEMBLY REPORTS**

- A. Mayor's Report
- B. Committee Reports, Liaison Reports, Assembly Comments and Questions
- C. Presiding Officer Reports

### **1. Wille and Weldon v. Planning Commission and CCTHITA**

This appeal relates to a Planning Commission decision granting a conditional use permit for transitional housing at 6205 Alaway Avenue (Lemon Creek/Midtown) for the Central Council of the Tlingit and Haida Indian Tribes of Alaska. The Assembly accepted this appeal and appointed Mr. Bryson as the Presiding Officer.

Ms. Weldon filed a motion to disqualify Mr. Bryson from participating in this appeal. A motion to disqualify is governed by CBJC 01.50.100.

**The City Attorney recommends the Assembly recess into executive session to discuss this quasi-judicial matter.**

### **2. Sealaska Heritage Institute v. Planning Commission**

On May 13, 2020, the CBJ Planning Commission granted a conditional use permit to the Sealaska Heritage Institute for an arts campus building and plaza. The parties are trying to resolve this case and have until March 15, 2021, to provide an update to the Assembly.

**No action is needed at this time.**

## **XIII. CONTINUATION OF PUBLIC PARTICIPATION ON NON-AGENDA ITEMS**

## **XIV. EXECUTIVE SESSION**

### **A. Bartlett Regional Hospital Boardmember Vacancy**

The full Assembly as the Human Resources Committee met on December 15, 2020 to interview for the three Bartlett Regional Hospital Board seats

with terms ending December 31, 2020. Out of seven applicants interviewed, the three incumbents were reappointed. On December 23, 2020 the City Clerk's Office was notified that a board member with an unexpired term resigned. The board member's seat is for a term ending December 31, 2021.

Depending on the recommendation from the January 4, 2021 Assembly Human Resources Committee, the Assembly may choose to recess into Executive Session to consider the applications of those individuals who were interviewed at the December 15, 2020 HRC meeting.

## **XV. ADJOURNMENT**

ADA accommodations available upon request: Please contact the Clerk's office 36 hours prior to any meeting so arrangements can be made for closed captioning or sign language interpreter services depending on the meeting format. The Clerk's office telephone number is 586-5278, TDD 586-5351, e-mail: [city.clerk@juneau.org](mailto:city.clerk@juneau.org)

**SPECIAL ASSEMBLY MEETING**  
**THE CITY AND BOROUGH OF JUNEAU, ALASKA**  
August 24, 2020 – *DRAFT* Meeting Minutes

**MEETING NO. 2020-40:** The Regular Assembly Meeting of the City and Borough of Juneau Assembly was held virtually, and was called to order at 7:00 p.m. by Mayor Beth Weldon.

**I. CALL TO ORDER / ROLL CALL**

**Assemblymembers Present:** Mayor Beth Weldon, Wade Bryson, Rob Edwardson, Maria Gladziszewski, Michelle Hale, Alicia Hughes-Skandijs, Loren Jones, Greg Smith, and Carole Triem.

**Assemblymembers Absent:** None.

**Staff Present:** City Manager Rorie Watt, Deputy City Manager Mila Cosgrove, Municipal Attorney Robert Palmer, Municipal Clerk Beth McEwen, Deputy Clerk Diane Cathcart, Finance Director Jeff Rogers, Engineering/Public Works Director Katie Koester, Library Director Robert Barr, Parks and Recreation Director George Schaaf, Community Development Director Jill Maclean, CDD Senior Planner Irene Gallion, CDD Planning Manager Alexandra Pierce

**II. APPROVAL OF AGENDA**

**III. SPECIAL ORDER OF BUSINESS**

**A. Celebrating Assemblymember Hale's Birthday**

Mayor Weldon recognized that today is Michelle Hale's birthday. The Assembly wished Ms. Hale a happy birthday.

**B. Instruction for Public Participation**

Anyone wishing to provide public comment during the meeting is asked to call the Municipal Clerk's public testimony request phone line at 586-0215 by 3 p.m. the day of the meeting or send an email to [City.Clerk@juneau.org](mailto:City.Clerk@juneau.org) providing their name, email address, and phone number they will be calling from. The public is encouraged to send comments in advance of the meeting to [BoroughAssembly@juneau.org](mailto:BoroughAssembly@juneau.org).

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**IV. APPROVAL OF MINUTES**

**A. April 20, 2020 Special Assembly Meeting #2020-18 DRAFT Minutes**

**B. April 22, 2020 Special Assembly Meeting #2020-19 DRAFT Minutes (Corrected)**

**MOTION** by Ms. Hale for the Assembly to approve the minutes, and asked for unanimous consent. *Hearing no objections, the minutes were approved with unanimous consent.*

## **V. MANAGER'S REQUEST FOR AGENDA CHANGES**

There were no changes to the agenda.

## **VI. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS**

**Laurie Craig**, an Auke Bay resident shared that she was concerned about bears and people, particularly regarding garbage. She encouraged the public to avoid using smelly food items in their trash, and to put out trash only on the morning of pickup. She referenced an Urban Bear Ordinance passed by the Assembly around twenty years ago, which educates the community to be aware of bears. Ms. Craig urged for the renewal of this ordinance.

Mr. Bryson mentioned that a few years ago over a dozen cubs were born in a single season, and asked Ms. Craig if the population increase in bears have played a contributing factor to the bear problem. Ms. Craig said that female bears tend to stay close to where they were raised as cubs, whereas male bears tend to wander other parts of town.

Mr. Smith asked Ms. Craig about her thoughts on bear-proof containers and their effectiveness. Ms. Craig said that she had been working with the Alaska Waste Company, which provides the garbage cans in Juneau, and they have developed what they believe is a secure, bear-resistant trash can.

**Aaron Spratt**, a Valley resident asked why residents are not given bear-proof trash cans to begin with. He requested for Alaska Waste Company to give out bear proof cans, considering the predominant bear problem in Juneau.

## **VII. CONSENT AGENDA**

A. Public Requests for Consent Agenda Changes, Other Than Ordinances for Introduction  
*None.*

B. Assembly Requests for Consent Agenda Changes

Mr. Jones requested for Marijuana License #2519 for Alaska Coffee Pot to be moved from the Consent Agenda to Item D.

C. Assembly Action

**MOTION** by Ms. Gladziszewski for the Assembly to adopt the Consent Agenda as amended, and asked for unanimous consent. *Hearing no objection, the Consent Agenda was approved by unanimous consent.*

1. Ordinances for Introduction

**a. Ordinance 2019-06(AL): An Ordinance Appropriating to the Manager the Sum of \$88,969 as Funding for the City and Borough of Juneau's Fiscal Year 2019 and 2020 Public Employees' Retirement System (PERS) Past Service Liability Cost for Centennial Hall; Funding Provided by the General Fund's Fund Balance.**

In 2018, CBJ removed a classification of Centennial Hall employees from the State of Alaska's Public Employees' Retirement System. As the employer, CBJ is obligated to pay a percentage of the withdrawn employees' salaries on an ongoing basis until the unfunded past service liability cost is satisfied. This ordinance would appropriate general funds to pay this liability for fiscal year 2019 and 2020 as follows:

| <b>Fiscal Year</b> | <b>Rate</b> | <b>Cost</b>        |
|--------------------|-------------|--------------------|
| FY2019             | 16.53%      | \$43,292.34        |
| <u>FY2020</u>      | 17.44%      | <u>\$45,675.76</u> |
| <b>Total</b>       |             | <b>\$88,968.10</b> |

This request was reviewed by the Assembly Finance Committee on August 5, 2020. **The City Manager recommends the Assembly introduce this ordinance and set it for public hearing at the next regular Assembly meeting.**

**b. Ordinance 2020-09(D): An Ordinance Appropriating to the Manager the Sum of \$47,746 as Funding for the City and Borough of Juneau's Fiscal Year 2021 Public Employees' Retirement System (PERS) Past Service Liability Cost for Centennial Hall; Funding Provided by the General Fund's Fund Balance.**

In 2018, CBJ removed a classification of Centennial Hall employees from the State of Alaska's Public Employees' Retirement System. As the employer, CBJ is obligated to pay a percentage of the withdrawn employees' salaries on an ongoing basis until the unfunded past service liability cost is satisfied. This ordinance would appropriate \$47,746 of general funds to pay this fiscal year 2021 liability at a past service cost rate of 18.23%.

This request was reviewed by the Assembly Finance Committee on August 5, 2020.

**The City Manager recommends the Assembly introduce this ordinance and set it for public hearing at the next regular Assembly meeting.**

**c. Ordinance 2020-09(E): An Ordinance Appropriating to the Manager the Sum of \$196,832 as Funding for PFAS Contamination Cleanup at the Juneau International Airport; Funding Provided by the Airport Fund's Fund Balance.**

The Airport Board has approved Phase 2 of Cox Environmental's PFAS contract, which has to take place and be approved by ADEC before drilling/testing can occur. Cox Environmental has prepared a lump sum budget for the plan submittal to ADEC, and a plan for perimeter wells, testing, and monitoring at a cost of \$196,831.60. The Airport requests supplemental spending authority for this work.

A PFAS update was provided at the March 2, 2020 Public Works and Facilities Committee meeting. This request was reviewed and approved by the Airport Board at its July 16, 2020, meeting.

**The City Manager recommends the Assembly introduce this ordinance and set it for public hearing at the next regular Assembly meeting.**

**d. Ordinance 2020-09(F): An Ordinance Appropriating to the Manager the Sum of \$50,000 as Funding for the Manager's Office to Support the Systemic Racism Review Committee; Funding Provided by the General Fund's Fund Balance.**

This ordinance would appropriate \$50,000 for the Manager's Office to support the Systemic Racism Review Committee proposed under Ordinance 2020-32. If established, the committee would evaluate pending legislation and existing code and policy, and make recommendations to the Assembly to reduce the perpetuation of systemic racism.

At its meeting on August 10, 2020, the Committee of the Whole requested this appropriating ordinance be drafted and introduced at the next regular Assembly meeting.

**The City Manager recommends the Assembly introduce this ordinance and set it for public hearing at the next regular Assembly meeting.**

**e. Ordinance 2020-09(G): An Ordinance Appropriating to the Manager the Sum of \$600,000 as Funding for the Voice-over-Internet-Protocol (VoIP) Phone System Replacement Capital Improvement Project; Funding Provided by the Fleet Fund's Fund Balance.**

CBJ's telephone system and handsets have been in continuous use for more than two decades, and modernization will bring future operational savings. CBJ Libraries have piloted new phone technology using voiceover-internet-protocol (VoIP), and the results have been very positive. Implementation of the new system is projected to save 20% annually in telephone system costs. Funding for the new system will be provided by Fleet/Equipment Reserve Fund.

Information on this topic will be provided to the Assembly Finance Committee at its September 2, 2020, meeting.

**The City Manager recommends the Assembly introduce this ordinance and set it for public hearing at the next regular Assembly meeting.**

**f. Ordinance 2020-43: An Ordinance Appropriating up to \$500,000 to the Manager for a COVID-19 Juneau ArtWorks Grant Program; Funding Provided by the CARES Act Special Revenue Fund.**

This ordinance appropriates \$300,000 of CARES Act funding for the purpose of supporting artists who have been substantially negatively impacted by the COVID-19 pandemic. Proposals

for the creation of artworks in any media would be evaluated and selected by a review committee, and the resulting artworks would become public property.

The Assembly Finance Committee reviewed this ordinance at its meeting on August 5, 2020 and requested that it be introduced and set for public hearing.

**The City Manager recommends the Assembly introduce this ordinance and set it for public hearing at the next regular Assembly meeting.**

2. Liquor License

**a. Liquor License One New: 5924 & Two Transfers: 4192 & 2728**

These liquor license actions are before the Assembly to either protest or waive its right to protest the license action.

**Liquor License New Application**

License Type: Wholesale-General, License #5924

**Licensee: GFA Corporation d/b/a Co-Ho Imports AK**

Location: 2092 Jordan Ave Suite 550, Juneau

**Liquor License Regular Transfer**

License Type: Restaurant/Eating Place, License #4192

**Transfer From: Jeong Hee Kim**

**Jeong Hee Kim d/b/a Seongs Sushi Bar JH Inc., 740 W. 9th St., Juneau**

**Transfer To: Jeongkwi Hwang**

**JH Inc. d/b/a Seongs Sushi Bar JH Inc., 740 W. 9th St., Juneau**

**Liquor License Transfer with Security Interest**

License Type: Beverage Dispensary, License #2728

**Transfer From: Tracy LaBarge**

**Molly Ventures Inc., d/b/a McGivney's Sports Bar & Grill, 9101 Mendenhall Mall Rd., Juneau**

**Transfer To: David McGivney**

**Molly Ventures Inc., d/b/a McGivney's Sports Bar & Grill, 9101 Mendenhall Mall Rd., Juneau**

CBJ departments have reviewed the above licenses and recommend the Assembly waive its right to protest the applications. Copies of the documents associated with these licenses are available upon request to the Clerk's Office.

**The City Manager recommends the Assembly waive its right to protest the above-listed liquor license new application and transfers.**

3. Other Items for Consent



**a. CSP2020-0005 Juneau Douglas Bridge and roundabout; portions of North and South Douglas Highway**

The Alaska Department of Transportation and Public Facilities (ADOT&PF) will rehabilitate and reconstruct the surfaces of the road and sidewalks on the Juneau Douglas Bridge, the roundabout, and part of South Douglas Highway. This project will include repairing the joints on the Juneau Douglas Bridge, ADA improvements to sidewalks, replacement of guard rail, and improved drainage.

One comment regarding bike accommodations was received. The comment is outside of the scope of this project, as the project funding is limited to rehabilitation and associated reconstruction, and the comment proposes new construction. ADOT&PF can consider the comment when construction funds are available. The Planning Commission approved the project at its regular meeting on July 28, 2020.

**The Planning Commission's decision will stand unless the Assembly chooses to take up the project and find differently.**

**b. Marijuana Licenses: One New Application, Two Renewal Applications**

**Marijuana License - New**

License Type: Retail Marijuana Store, License #25190

**Licensee: Alaskan Coffee Pot, LLC d/b/a: Alaskan Coffee Pot**

Location: 2219 Dunn St., Juneau

*{AMCO 60 day comment period ends: September 14, 2020}*

**Marijuana License - Renewals**

License Type: Marijuana Product Manufacturing Facility License #10271

**Licensee: Top Hat Concentrates, LLC d/b/a: Top Hat Concentrates, LLC**

Location: 2315 Industrial Blvd Suite B, Juneau

*{AMCO 60 day comment period ends: September 27, 2020}*

License Type: Standard Marijuana Cultivation Facility License: #10270

**Licensee: Top Hat, LLC d/b/a Top Hat, LLC**

Location: 2315 Industrial Blvd Suite A, Juneau

*{AMCO 60 day comment period ends: September 27, 2020}*

The above marijuana licenses are before the Assembly to either protest or waive its right to protest. CBJ departments have reviewed these licenses and found the businesses to be in compliance with CBJ Code. Your packet contains the redacted renewal applications along with the AMCO notice to the local governing body. Additional license application documents are available through the Clerk's office upon request.

In the event the Assembly does protest any of these licenses, CBJ Code 20.30 requires notice, with specificity regarding the nature and basis of the protest, to be sent to the licensee and provides the licensee an opportunity to exercise its right to an informal hearing before the Assembly.

**The City Manager recommends the Assembly waive its right to protest the above-listed new marijuana application and renewals.**

## **VIII. PUBLIC HEARING**

### **A. Ordinance 2020-32(c) An Ordinance Establishing a Systemic Racism Review Committee.**

Ordinance 2020-32 was discussed by the Assembly Committee of the Whole on July 20, 2020. The Assembly referred it to the August 3 Assembly Human Resources Committee meeting for further discussion, set it for introduction at the August 3 regular Assembly meeting, and referred it to the August 10 Committee of the Whole for further discussion.

Version (c) of the ordinance reflects changes proposed by the Committee of the Whole / Assemblymember Edwardson since the July 20 meeting.

Depending how the charge is implemented, this committee could affect substantial changes in Assembly ordinance and resolution workflow. As most ordinances and resolutions considered by the Assembly are deliberated in committees, there is often a substantial legislative history to each Assembly action. Due to the provision in this ordinance that requires comments six days prior to an Assembly meeting, it is most probable that there will be a need for meetings and information by this proposed committee right up until that deadline. Usually when committees are unsure of the answer to a question, they naturally ask for more time and more information.

As written, the Assembly should be prepared for a potentially large staffing burden and large effort by the Assembly itself.

**As this is a policy matter regarding Assembly workflow, the City Manager has no recommendation.**

### **Public Comment**

**Liz La Quen nay Medicine Crow** a Kake, Alaska resident, shared that she is currently working as the Executive Director of First Alaskans Institute, a statewide Alaska Native nonprofit organization. She commended Mr. Edwardson for putting this ordinance forward, which she described as a bold initiative.

She said that it takes a lot of effort to confront racism in our society. She provided her own personal experience with discrimination here in Juneau: a principal accusing her and her sister of not being “socially adjusted” enough to be accepted into a school program. Ms. Medicine Crow

acknowledged systemic racism as a critical issue – not just a Juneau issue, an Alaskan issue, or an American issue: this is a global issue. She believes that this is an opportunity for good citizen centered governance. She said that she understands that duration is a part of this discussion and she stated that she feels this should be kept in perpetuity, as it will help Juneau be a better community. She also suggested that First Alaskan Institute could provide a training course to the Assembly, and assist as needed. Ms. Medicine Crow thanked the Assembly for listening to her testimony, and for considering this ordinance.

Ms. Triem thanked Ms. Medicine Crow for calling in, and hoped the Assembly would be able to participate some of the training she mentioned. She asked if Ms. Medicine Crow was aware of any other similar efforts being done by other communities. Ms. Medicine Crow said she was not aware of any similar programs. She said that there are other efforts taking place in other cities, such as the City of Nome having a Citizen Review Board for the Nome Police Department, which is grounded in understanding and addressing institutional racism.

Mr. Bryson thanked Ms. Medicine Crow for sharing her testimony. He said that some of the suggestions that have come through have been for the Assembly to conduct an audit for past legislation. He asked Ms. Medicine Crow if First Alaskans Institute would be able to conduct an audit like that, and if Juneau's legislative policies have ever been accused of including racist legislation. Ms. Medicine Crow said she thinks that would be part of the hard work of this committee that it is being proposed. She said there are groups out there that can help facilitate that work regarding racial equity audits. She emphasized the importance of community discussions centered on racial equality, and referenced the Black Lives Matter march in Juneau that was just organized by word of mouth. She said that First Alaskans Institute has an Alaska Native Racial Equity Dialogue process to talk about these issues. Ms. Medicine Crow said that First Alaskans Institute is interested in helping people connect and help transform society. She said that she would be happy to provide resources related to this topic to the Assembly.

Ms. Gladziszewski said that she received a letter from First Alaskans Institute, and expressed interest in some of the programs featured in that letter, particularly the Alaska Native Governance and Protocols Training. She asked Ms. Medicine Crow to give the Assembly some more information about the programs offered by First Alaskans Institute.

Ms. Medicine Crow explained that the Alaska Native Governance and Protocols Training was created as a result of the last governor's administration. She said this course was designed as a specialized training course which educated participants about the political relationship which stems from the inherent sovereignty of Alaska Natives, which predates colonialism. The training also teaches participants how to culturally engage with various Native tribes and groups. Ms. Medicine Crow added that they do not shy away from having difficult conversations about race, they create a space in order to have those conversations; she said we have to have those conversations because they are hard.

**John Sisk**, a Douglas resident, spoke in support of the ordinance, and mentioned that he also expressed his support at an earlier COW meeting. He said that he is not an expert in systemic

racism, but he has learned that it is an unfortunate reality even in our own community. He supported the proposal as it can help ensure the elimination of and avoid racism in Juneau. He said that the ordinance as proposed has a strong case for being effective for implementation and will be cost effective and very efficient. He appreciated Ms. Medicine Crow's testimony and encouraged the Assembly to follow up with First Alaskans Institute. He shared that he had personally taken their racial equity dialogue a couple of years ago, and believes it was highly informative and an eye-opening experience. He thank the Assembly for their time, and encouraged them to pass this ordinance.

**Rae Romberg**, a Juneau resident, said she cared about this issue and encouraged the Assembly to take action to pass this ordinance for the Systemic Racism Review Committee. She acknowledged the potential staffing burden, but said that expense would be a small price to pay to make our community more equal for all citizens. She urged the Assembly to take this action and she fully agreed with Ms. Medicine Crow. Ms. Romberg reiterated that there may be some difficulties in workflow and staffing, but the benefits would far outweigh the potential hardship. She said that perfectionism cannot be a barrier to progress. She encouraged the Assembly to set a great precedent and to lead the way for other communities with this ordinance.

**Martin Stepetin Sr.**, a Juneau resident, spoke to the testimony provided by Liz Medicine Crow. He shared that he has participated in the First Alaskans Institute racial equity course and highly recommended it. He said the community has already begun the work and needs to continue the work through this committee. He thinks it is worth the staffing and the energy for the CBJ to implement this program to try to correct past inequalities. He encouraged the Assembly to support this ordinance.

**Richard Peterson**, President of Tlingit & Haida Central Council, reported that Tlingit and Haida people make up approximately 20% of the community in Juneau, not including other minorities in Juneau. He said it is important to be recognized and see ourselves in the work that the city is doing. He spoke in support of this ordinance, and thanked them for taking the time to consider this. He asked them to think of the community members they represent who will be most affected by this action.

**Meryl Connelly-Chew**, a Downtown Juneau resident, spoke in support of passing this ordinance. She said it is important to recognize that Mr. Edwardson has put in a lot of time and effort in putting this ordinance forward. She acknowledged that this will affect the workflow of how things work, but added that it is beneficial to dismantle a system that needs improvement. She thanked the Assembly for their time, and for considering this ordinance.

**Sandy Demmert**, a Valley resident spoke in favor of the Systemic Racism Review Committee. She shared that she participated in the Black Lives Matter march and it touched her heart so much. She said she was in awe of the Assembly's willingness to discuss ways to fight racism, and she hoped that this ordinance would pass. Ms. Demmert believes this country needs to pull together to overcome racism. She thanked Mr. Edwardson and encouraged the Assembly to pass this ordinance.

### **Assembly Action**

**MOTION** by Mr. Edwardson to Adopt Ordinance 2020-32(c) and asked for Unanimous consent. Objection by Mr. Jones for purposes of an amendment.

**AMENDMENT #1** by Mr. Jones to amend Part 1: Amend Section 2(a)(1) to read:  
“The Assembly shall appoint members of the Committee at the same time to an eighteen month term.”

Mr. Jones shared that he had struggled with this ordinance ever since it was introduced by Mr. Edwardson, and after listening to all of the testimony, he said that he has not been able to come to a position of support for this ordinance. He said that instead of having a committee for three years, this amendment would establish a committee similar to a task force that would work for eighteen months. The amended committee would approach the Assembly at the end of their work period with a report, which would detail the committee’s evaluations and recommendations moving forward. Mr. Jones said that he would like to see a committee formed that features the expertise that Mr. Edwardson suggested.

Ms. Hale asked Mr. Jones to clarify that there was nothing that would preclude a future Assembly from forming a permanent committee if this amendment passes. Mr. Jones answered that was correct.

Mr. Edwardson mentioned that nothing has precluded past Assemblymembers from forming this type of a committee, and this is the time to do it. He said that creating a temporary committee that may eventually become permanent would go against what experts in the field of racial equity are currently suggesting.

Mr. Bryson noted that the Juneau Human Rights Commission has completed its work on an Anti-Racism Resolution that includes an audit component. He said that the Anti-Racism Resolution puts the burden on the elected officials, as opposed to the Systemic Racism Review Committee putting the burden on volunteers.

Mr. Smith said that this is an unprecedented program and he sees having a sunset date as a positive for review. He also asked if the Assembly wanted to make changes if this ordinance was adopted, and if additional changes could be made to the ordinance. Mr. Palmer confirmed that the Assembly could make changes in the future to the ordinance, and could make the amendments necessary to do so.

Ms. Hughes-Skandijs said that she does not support this amendment, and does not want to see an ad hoc committee structure that would set this up for failure. She also said that she liked the second version of this ordinance.

Ms. Triem said she shared some of the same concerns that have been expressed by those testifying and she does not support of this amendment. She noted that the ordinance already has a review period process built into it. She also mentioned that if workflow or process becomes an issue, that can be addressed as they arise.

Mr. Edwardson objected to the amendment for many of the same reasons previously stated. He said he doesn't think it will attract the type of people they want to attract, and would imply that the Assembly is not serious about this committee. He acknowledged that receiving training as an Assembly will not make them experts, but the Assembly switches out too rapidly to retain that training to achieve expertise.

Mr. Bryson spoke in support of Mr. Jones' amendment. He mentioned that the Juneau Human Rights Commission recommended an audit of current legislation in place, featured an ad-hoc committee similar to what Mr. Jones had proposed.

Ms. Gladziszewski said she absolutely wants to do something about this issue and make some progress. She shared that she struggled with figuring out how they can make progress, and is supportive of progress that can be deemed "good enough" instead of perfect. Ms. Gladziszewski spoke in favor of the amendment, and said it is a good idea to come up with criteria to figure out the technical questions within 18 months rather than five days. She suggested that the committee could be given four months to develop a criteria for the Assembly to follow, and then begin to look forward from there. She said that would support this amendment, and would support the ordinance in the end however it comes out. Ms. Gladziszewski concluded by reminding the Assembly that they have not yet figured out how the committee can move forward and proceed.

Mayor Weldon wished that they had this conversation at the Committee of the Whole meeting. She said that Mr. Jones' amendment is interesting if you take all of them as a whole and it sets the criteria for how the work is done. She said that she agreed with Mr. Edwardson and would like for the committee to look forward rather than backwards. Mayor Weldon said that she would like to see a blend of the two committees, one that works to develop a criteria that would then morph into the Systemic Racism Review Committee.

Mr. Jones said that systemic racism has been around for a long time, he will be long gone and people will still be talking about it, it is a never-ending conversation. His vision is to see how the Assembly will look at this work 18 months from now. He mentioned that he and Mr. Edwardson will both be off the Assembly at that time and he cannot answer what that future Assembly may choose to do.

Mr. Smith said that he does not like the implication of the committee itself being impermanent. He suggested Mr. Jones add language to his amendment to ensure that the committee will be permanent.

Ms. Triem mentioned that the Assembly does not micromanage the work of their other boards and committees. She wondered if the Assembly could ask the committee to come up with its

criteria and provide that to the Assembly for approval. She asked Mr. Palmer if that has to be legislated in this ordinance.

Mr. Palmer clarified Mr. Jones' initial point of order. The focus right now is the amendment regarding 18 month term. Going to the criteria on page 2. He confirmed that does not have to be legislated, and that amendment has not yet been moved so they are not at that amendment at this point in the process.

Mr. Edwardson reminded the Assembly that they have heard from experts who work on these things every day. His solid belief is that those people would establish the committee better than the Assembly would. He said he is feeling disheartened by the fact that this is becoming about the Assembly, and it should be about the people who will be serving on the committee.

Ms. Hale called for a point of order. She noted that the Assembly has been discussing all the amendments that Mr. Jones had included in the packet, when they should just be speaking to the one amendment before the body.

Ms. Gladziszewski asked Mr. Jones if he would like to go in the listed order of the amendments that were included in the packet. Mr. Jones explained that he introduced this amendment because if it fails, then the rest of the amendments would not make any sense.

#### **ROLL CALL VOTE on Amendment #1**

Ayes: Jones, Bryson, Gladziszewski, Hale.

Nays: Smith, Triem, Edwardson, Hughes-Skandijs, Mayor Weldon.

*Motion failed. Four (4) Ayes, Five (5) Nays.*

*The Assembly took a break at 8:23p.m. and resumed the meeting at 8:31p.m.*

Objection by Mr. Jones to the main motion. He said that he tried to offer a solution to the ordinance and it was rejected, and that he will be a "no" vote. He said he understands the desire of people wanting to do something, but he does not believe this committee will do anything in his mind, so he will not support it.

Mr. Bryson asked Mr. Palmer if this committee would have jurisdiction that would oversee the school board or the Juneau School District. Mayor Weldon said that she did not believe so since they are a separate elected body.

Mr. Palmer said that the Assembly has limited control of the school board through the adoption of the budget. The relationship between Assembly and JSD Board is fairly limited except the joint facilities committee. He shared that he is not aware that the Assembly has in recent past tried to create an advisory body, nor has the Assembly ever provided suggestions to the JSD. However, Mr. Palmer said that the Assembly could provide recommendations to the JSD, and they would have the discretion to treat that recommendation as any other public comment that the School Board would receive.

Mayor Weldon gave the gavel to Ms. Gladziszewski for the purposes making an amendment.

**AMENDMENT #2** by Mayor Weldon to amend Section 29(b) to read:

“Duties. The Committee is charged with: 1. Developing criteria to devise whether legislation likely includes a systemic racism policy or implication. The committee must present the proposed review criteria to the Assembly for approval before substantially reviewing any legislation.”

Mayor Weldon shared that this is something she liked from Mr. Jones’ amendments, and would effectively lessen their workload by narrowing their focus.

Objection by Ms. Hale for purposes of striking the language “for approval” from that section. She said that she liked the amendment, however she did not like the words “for approval”. She added that this committee is helping the Assembly see if the legislation they pass contain systemic racism, and the Assembly needs to listen to the experts which should not need approval. Mayor Weldon modified her amendment to remove the words “for approval” from that section.

Mr. Edwardson asked Mayor Weldon to explain the practicalities of her amendment. Mayor Weldon said the purpose of her amendment is for the committee to set its own criteria for the review.

Ms. Gladziszewski said the amendment would mean the committee would first come up with the criteria before they begin review of the legislation.

Mr. Edwardson removed his objection.

Objection by Mr. Jones. He explained his objection, which was partly due to the removal of the words “for approval”. He said that the Assembly is the elected body, and if a group reviews their legislation with a criteria they may or may not approve of is unacceptable to Mr. Jones. He added that he thinks Ms. Hale is correct that the Assembly needs to listen and learn to the experts, but that does not necessarily mean that they should give up their rights as elected officials.

Ms. Hughes-Skandijs said that there is nothing in this ordinance that would bind the Assembly when the committee makes a recommendation. She hoped the Assembly would truly take into consideration what this committee is going to come up with, and hoped that they will listen to the committee.

Ms. Hale echoed Ms. Hughes-Skandijs, and shared that one of her main concerns is by creating this committee is that the Assembly will become bound up in endless controversy. The Assembly needs to be able to use what this committee will give them to inform their decisions and to keep moving forward. She said that this ordinance will not bind the Assembly, and this committee will help the Assembly make better decisions.



**Roll call vote on Amendment #2**

Ayes: Mayor Weldon, Gladziszewski, Edwardson, Bryson, Hale, Triem, Hughes-Skandijs, Smith.

Nays: Jones

*Motion passed. Eight (8) Ayes. One (1) Nay.*

Objection by Ms. Hale to Ordinance 2020-32(c) as amended.

Ms. Hale spoke to her objection. She would like to have a committee do an audit and have a backwards look at past legislature. This is a committee they are talking about creating and the community has not been part of this discussion and that discussion has not been visible to the Assembly. They are looking at creating this committee that is creating an incredible amount of workload and she is gravely concerned about how this committee will operate. She said that she has not lived with this in the same way that the people who testified has had to live with this, and she worries about this mechanism.

Mr. Edwardson addressed the issues regarding the workload. He referenced logic models: there are inputs, process, outputs, and outcomes. Outcomes are the widgets that you create and that outcome is a linking construct. He would start with looking at the linking constructs: what do people expect them to do and how is it best to do it. He said it is going to be as large of a workload as anticipated, and even if it is, it should be worthy of working on.

Mr. Edwardson added that through the public testimony, they have found that systemic and institutional racism does exist in Juneau. He advised the Assembly to vote against this ordinance if they do not agree with the notion of systemic racism being a prevalent issue, instead of putting a “no” vote due to the potential workload.

Mr. Edwardson also addressed concerns regarding community involvement, and said that the public was just as much a part of this process as the BLM and police listening session was part of the public process.

Ms. Hughes-Skandijs said that the public is watching this proceed and people see this as a natural step that the Assembly is taking. She agrees with Mr. Edwardson that the Assembly has no choice but to do something. Not everyone knows that the City has a variety of boards that has experts such as the Utility Advisory Board. They provide advice to the Assembly and give recommendations. She said that she hoped this is not the end but rather the beginning of the work on this issue, whether or not this ordinance passes. This is a step towards improvement.

Ms. Gladziszewski said that all along she has hoped that this ordinance could create a space for this work to be done. She is glad they have worked on this as much as they have. She feels every person on this Assembly supports addressing the issue overall and they have just been disagreeing on how best to make that happen. Ms. Gladziszewski said she believes the community is calling out for this, and the Assembly has to try to make progress. She said she will support this ordinance.

Mayor Weldon thanked Mr. Edwardson for bringing this forward and thanked Mr. Jones for providing his amendment language. She agreed with Ms. Gladziszewski that this is not perfect but it is movement in the right direction. She expressed concern about the workload, but said she will remain optimistic and will support this ordinance.

**Roll Call vote on Ordinance 2020-32(c) as amended:**

Ayes: Edwardson, Bryson, Smith, Hughes-Skandijs, Triem, Hale, Gladziszewski, Mayor Weldon.

Nays: Jones

*Motion passed. Eight (8) Ayes, One (1) Nay.*

*The Assembly took a brief recess and resumed the meeting at 9:15p.m.*

**B. Ordinance 2020-42: An Ordinance Amending the Land Use Code Relating to Floodplain Maps and Regulations.**

The National Flood Insurance Program allows property owners in the CBJ to continue obtaining flood insurance. To participate in the National Flood Insurance Program, the CBJ must adopt updated floodplain maps, a flood insurance study, and enforce a floodplain management ordinance.

The Federal Emergency Management Agency (FEMA) dictates much of the process and standards. Based on the flood insurance study, the flood map revisions have gone through an extensive public review process beginning in April 2018.

The Planning Commission reviewed this item multiple times, including most recently on June 23, 2020.

The Flood Insurance Rate Maps and the Flood Insurance Study are available online: <https://beta.juneau.org/community-development/specialprojects/flood-map-revisions>.

**The City Manager recommends the Assembly adopt this ordinance.**

**Public Comment:**

*None.*

**Assembly Action:**

**MOTION** by Mr. Smith for the Assembly to adopt Ordinance 2020-42 and asked for unanimous consent. *Hearing no objection, the ordinance is adopted by unanimous consent.*

**C. Emergency Ordinance 2020-44: An Emergency Ordinance Amending Ordinance 2020-36 related to the COVID-19 Nonprofit Sustainability Grant Program Terms.**

The Assembly adopted Ordinance 2020-36 on August 3, 2020, which created the COVID-19 Nonprofit Sustainability Grant Program. After August 3, the grant administrator identified an

eligibility condition in Ordinance 2020-36 that would significantly limit the nonprofits that could benefit from this program if the nonprofit received federal or state CARES Act money. This emergency ordinance expands the eligibility condition, which is similar to what the Assembly did in the Business Sustainability Grant Program Phase 2, Section (f) of Ordinance 2019-06(AG)(d).

**The City Manager recommends the Assembly adopt this ordinance.**

**Public Comment:**

*None.*

Mr. Palmer shared that this has been a fast-moving process, and extends his “kudos” to the grant administrator for catching this.

**Assembly Action:**

**MOTION** by Ms. Hughes-Skandijs for the Assembly to adopt Emergency Ordinance 2020-44 and asked for Unanimous consent.

Objection by Mr. Jones for purposes of a question. Mr. Jones asked Mr. Palmer to clarify if a nonprofit business is still eligible to receive a grant even if they have been awarded similar grants.

Mr. Palmer clarified that this ordinance would allow for a nonprofit who received a different grant or loan to be eligible for this grant, as long as they could provide documentation necessary that receiving this grant would help sustain their business operations. *Hearing no objections, the motion passed by unanimous consent.*

**D. Marijuana License - New**

License Type: Retail Marijuana Store, License #25190

**Licensee: Alaskan Coffee Pot, LLC d/b/a: Alaskan Coffee Pot**

Location: 2219 Dunn St., Juneau

*{AMCO 60 day comment period ends: September 14, 2020}*

Mr. Jones explained that the Alaskan Coffee Pot had applied to the Alaska Marijuana Board. As a member of the AMB, Mr. Jones had asked the applicant if they had applied for a conditional use permit with CBJ. Mr. Jones said the applicant thought he had applied for the permit, however, Mr. Jones explained that he spoke with CDD and had been informed that the applicant had not applied for a conditional use permit, which is required. He said that under Marijuana Control Board rules, municipalities may conditionally protest a license if they do not have all of the local requirements fulfilled.

**MOTION** by Mr. Jones for the Assembly to conditionally protest this license until the applicant completes the required process of going through CDD and applying for a conditional use permit.

Mr. Palmer explained that there is no public hearing required for this motion tonight, because the Code states that if the Assembly were to protest, they would have to provide notice to the applicant at least ten days prior. The applicant can then decide if they would like to have a hearing. Mr. Jones' motion is recommend a protest, which would then trigger the hearing rights, and the applicant can respond within the allotted timeframe.

Ms. Maclean mentioned that this situation had happened before, in which an applicant did not complete the process required by the City. She shared the language that the CDD used: "As to CDD's recommendation, although Alaskan Coffee Pot does not yet have a local license and does not yet have a conditional use permit, CDD recommends allowing the applicants to move forward to obtain the State license. The applicant will not be allowed to operate in the Borough until the conditional use permit is approved and the license is issued."

Mr. Jones said that he was not aware of when CDD sent that message to the Marijuana Control Board, and this was not brought up at their last discussion.

Ms. Triem said that she would object to protesting this or any other license that is in the process of working with CDD to apply for a permit.

Ms. Gladziszewski commented that if the Assembly has not protested applicants in this position before, then she does not think they should start doing that here either. She agreed with Ms. Triem and will not protest this permit.

Mayor Weldon asked Ms. Maclean to describe the application as it currently stands in the process.

Ms. Maclean explained that the applicant has reached out and scheduled a pre-application conference, and they are aware that they are required to have a conditional use permit from the CBJ before they can open, and for needing a City and State license. Ms. Maclean said that she did not see the need for CDD to protest their application.

Ms. McEwen asked Mr. Palmer to clarify if this conditional protest were to pass, would they have to schedule an informal hearing before it goes to the State Marijuana Control Board.

Mr. Palmer said that if this motion passed, then they would have to give notice to the applicant by tomorrow. If the applicant invokes the hearing, then they would have to have a hearing with the Assembly sometime before September 14, 2020. If the applicant waived their hearing rights, then the conditional protest would go through the State.

**Roll Call Vote to file a conditional protest with the State:**

Ayes: Jones, Mayor Weldon

Nays: Smith, Triem, Hughes-Skandijs, Hale, Edwardson, Bryson, Gladziszewski.

*Motion failed. Two (2) Ayes, Seven (7) Nays.*

## IX. UNFINISHED BUSINESS

### X. NEW BUSINESS

#### A. Taku Terrace Land Purchase Project

In June of 1970, the City of Juneau adopted Resolution 404 authorizing the lease of City property located adjacent to Evergreen Cemetery to John Rader, now Taku Terrace Condo Association. The lease agreement was signed in June of 1970 and has a term of ninety (90) years. Taku Terrace Association applied to purchase this property from the City as private financing has become problematic with the Association not owning the land. This property was listed in the 2016 Land Management Plan as “retain” which will be updated prior to a disposal of this property. The Lands Committee provided a motion of support to work with Taku Terrace Association as the original applicant towards a negotiated sale.

The Planning Commission recommended updating the Land Management Plan and disposal of this property. If a motion of support is received this item will go to the Lands Committee before returning to the full Assembly for adoption of an ordinance.

**The City Manager recommends the Assembly pass a motion of support for updating the Land Management Plan and to work with Taku Terrace Condo Association towards the disposal of City property.**

Mr. Edwardson said that if this were to pass, the matter would go back to the Lands Committee on August 31.

**MOTION** by Mr. Bryson for the Assembly to forward the Taku Terrace Land Purchase Request to the Lands Committee, and asked for unanimous consent. *Hearing no objections, the motion passed by unanimous consent.*

## XI. STAFF REPORTS

### A. BRH Facility Planning

Due to the COVID pandemic, BRH faces difficult facility needs to address social distancing requirements. To meet social distancing on a permanent basis, improvements are necessary during intake and delivery of medical services. BRH anticipates that renovations to the hospital could cost on the order of four million dollars. Improvements to the hospital could include replacement of the triage tent with a permanent structure, improvements to electronic scheduling, telemedicine and other intake procedures and areas, improvements to air handling systems and other similar upgrades.

BRH requests \$400,000 in CARES Act funding to begin planning, design and cost estimating for these improvements. As the CARES Act funds must be expended by 12/31/2020, at this time it does not appear that construction costs would be eligible.

**The City Manager recommends that the Assembly request an appropriation ordinance or forward this issue to committee.**

**MOTION** by Ms. Gladziszewski for the Assembly to send this to the Public Works and Facilities Committee and asked for unanimous consent. *Hearing no objections, that motion passed by unanimous consent.*

## **XII. ASSEMBLY REPORTS**

### **A. Mayor's Report**

Mayor Weldon acknowledged that today was the first day of school for the Juneau School District, and hoped that students could return to in-person teaching sometime soon. She also mentioned that today was National Hydropower Day. This week is Juneau Pride Week, and Mayor Weldon said that there will be several activities going on this week, which will end this Saturday with the Glitz Drive-In performance. She advised the public to visit the SEAGLA Facebook page to check out the activities schedule.

Mayor Weldon informed the Assembly that she is forming a salary committee with the City Manager and City Attorney, and Mr. Jones will chair that committee. She also mentioned that she recently attended the Alaska Municipal League conference, along with many other Assemblymembers.

### **B. Committee Reports**

**Committee of the Whole (COW) Chair Gladziszewski** reported that the COW last met on August 10. They discussed the Systemic Racism Review Committee, COVID Risk Metrics and Child Care. The next scheduled COW meeting is August 31.

**Assembly Finance Committee (AFC) Chair Jones** shared that the AFC last met on August 8. They talked about CARES Act funding for the Arts, which was introduced tonight. The next AFC meeting is scheduled on September 2.

Mr. Jones, under Presiding Officer Reports, stated that the Lee Appeal hearing is scheduled for 5:30p.m. on September 2. Mr. Jones mentioned that Ms. McEwen sent out an email asking for Assemblymembers to inform her of the method by which they wish to receive their appeal materials.

**Lands and Resources Committee Chair Edwardson** shared that the Lands Committee last met on August 10. They discussed Taku Terrance Condos, and received an informal verbal water testing quality update. Their next meeting is scheduled to be on August 31.

**Public Works and Facilities Committee (PWFC) Chair Hale** shared that the PWFC last met on August 10. Norton Gregory spoke about 5<sup>th</sup> Street Douglas flooding. They also discussed parking and tax abatement. Ms. Maclean explained that the Assembly has complete control of parking at CBJ. Fee in lieu of parking is not working, so this issue is expected to come before the Assembly. The next PWFC meeting is scheduled for August 31.

**Human Resources Committee (HRC) Chair Bryson** shared that the HRC had met just prior to this meeting and were forwarding the following recommendations for board appointments and asked for unanimous consent to making these appointments:

**Aquatics Board:** Will Muldoon & Tom Rutecki, to terms beginning immediately and ending June 30, 2023. Mr. Bryson also noted that Mr. Rutecki also serves on the Parks and Recreation Advisory Committee (PRAC) and the Youth Activities Board and that Mr. Muldoon also serves on the PRAC.

*Hearing no objections, those appointments were approved by unanimous consent.*

Mr. Bryson said that the Juneau Human Rights Commission has done a phenomenal job on the Anti-Racism Resolution, and he requested that it be included on the next COW agenda.

Mayor Weldon noted two items that she forgot to mention during her Mayor's Report. She said that the Labor Day Holiday will be observed on September 7 and that this year's 9/11 observance ceremony will be celebrated virtually this year.

### **C. Liaison Reports/Assembly Comments & Questions**

Mr. Smith shared that the Planning Commission (PC) met once since the last Assembly meeting, during which they approved the conditional use permit for a transitional housing facility on Alaway Ave. He noted that the PC will meet again on August 25 to discuss another conditional use permit for another transitional housing facility on Shaune Drive. The Planning Commission Title 49 Committee was scheduled to meet last week to look at parking. Mr. Smith shared that he spoke with some local business owners about parking and suggestions to improve Downtown Historical Buildings. He said that there may be tax abatement in code and it may help to revitalize downtown.

Mr. Smith said he watched UA Board of Regents meeting where they rescinded their move to consolidate UAF/UAS.

Ms. Hughes-Skandijs attended the Docks & Harbors Operations meeting, where they discussed many things of interest including the CDC requesting information for cruise ships resuming service. Scuttling of the Lumberman continues. The Docks and Harbors board next meeting was scheduled for August 27 at 5p.m.

Ms. Hughes-Skandijs noted that the Juneau Commission on Sustainability has not met since the last Assembly meeting. She echoed Mayor Weldon's remarks about World Hydropower Day, and said it is something to make us grateful about the rain. She also acknowledged Labor Day, and wished everyone happy union support.

Mr. Bryson reported that the PRAC met at beginning of the month, the main topic of discussion was ATV vs. cross country skiers in the Montana Creek area. The Eaglecrest Board also met at the beginning of the month and are having good pre-season pass sales due to financing options.

Eaglecrest reported that their summer revenue is up at an all-time high and Dave Scanlan is very busy with all the projects to prepare for the upcoming season. Dimond Field House is closed right now and Eaglecrest manages it. Mr. Bryson shared that his daughter left for college this weekend. He also mentioned that Ray Cox is retiring after 25-30 years of being in business, and his last day of business was tomorrow.

Ms. Hale attended a lot of AML meetings last week. She also attended a JHRC meeting last week, and appreciated their gentleness and thoroughness to process the issues in order to draft the resolution that came to HRC. She also attended a Fred Meyer intersection focus group meeting on August 21, there is a public meeting scheduled for September.

Ms. Hale said she has been attending weekly testing group meetings for testing equipment for use in Juneau. She shared that they have been looking at all of the various options out there and working on this on multiple fronts. They are also looking at what kind of testing will be needed for the legislature to be able to reconvene. Ms. Hale said that she missed last Downtown Business Association and Bartlett Regional Hospital board meetings.

Ms. Triem reported that Travel Juneau has not held a Board meeting since the last Assembly meeting, however, they have recently received an Alaska CARES Grant. The Aquatics Board will meet tomorrow, where they will discuss facility schedules and their annual report. She also attended a Chamber of Commerce meeting to provide them an update on Assembly business, and they also discussed the state CARES program and the ferry service. Ms. Triem shared that she is sick of the rain and took last Wednesday off to enjoy the sunshine.

Mr. Edwardson attended an Airport Board meeting on August 13. They introduced their newest board member and reorganized committee assignments. There were over 400,000 enplanements in 2019. They are predicting lower numbers for 2020. He said that the Finance Chair of the Airport Board expressed concern about GO Bond debt after the Airport Board held three special finance meetings regarding that issue.

Mr. Jones reported that the School Board held a meeting on August 11. They had a self-assessment workshop, and approved a CIP grant request to the State Dept. of Education. They have a retreat scheduled for August 29, and the next regular meeting is scheduled for September 8. They discussed potentially having a hybrid meeting with some attendees in person and others online, but they are not sure what they are going to do at this point.

Mr. Jones reported that the Alaska Municipal League (AML) held its summer meetings August 10 – August 14, with the AML Board meeting on August 14. He noted that the November AML meeting will be held virtually and Newly Elected Officials will be held possibly at a different time. They also said that AML Board elections will be held remotely, and the district realignment will have no “At Large” seat and no “Juneau specific” seat. He said they spent a lot of time talking about remote sales tax; Mr. Jones said that more and more consolidators are coming on board so may see more revenues from that.



Mr. Jones expressed concern regarding Cope Park and Montana Creek winter closures, and is aware that they have asked for public comment. He said he was surprised about all the things going on that he was not aware of at Cope Park. He shared that he visits Cope Park every day, and reported that he never once saw any signs similar to the ones mentioned in public comment during those walks.

Ms. Gladziszewski asked Mr. Watt if some of the Business Sustainability Grants could be directed towards bars, restaurants, and theaters, given that the EOC has just reduced the capacity limits of those facilities. Mr. Watt agreed that there are some businesses that are disproportionately affected more by EOC COVID-19 guidelines, and he will try to provide updates with Mr. Mertz and Mr. Holtz.

Ms. Gladziszewski wished good luck to all the teachers and students who are trying to navigate this difficult time.

Mayor Weldon shared that the Economic Stabilization Task Force (ESTF) was planning to work on bars and restaurants at their next meeting on August 27.

#### **D. Presiding Officer Reports**

Mr. Jones already provided his Presiding Officer Report during his committee report.

### **XIII. CONTINUATION OF NON-AGENDA ITEMS**

#### **XIV. EXECUTIVE SESSION**

##### **A. Litigation Updates and Strategies**

**MOTION** by Ms. Triem for the Assembly to move into Executive Session to discuss pending CBJ litigation, specifically a candid discussion of the facts and litigation strategies with the Municipal Attorney.

Ms. McEwen explained to the public that when the Assembly adjourns into Executive Session, they will end the public Zoom session and will not reconvene the Zoom broadcast.

*Hearing no objections, the Assembly moved into Executive Session at 10:26p.m.*

#### **XV. ADJOURNMENT**

The Assembly ended Executive Session at 10:45p.m., noted that they provided direction to the Municipal Attorney and adjourned the Assembly meeting at 10:46p.m.

Signed: \_\_\_\_\_  
Elizabeth J. McEwen, Municipal Clerk

Signed: \_\_\_\_\_  
Beth A. Weldon, Mayor

Presented by: The Manager  
Presented: 12/14/2020  
Drafted by: R. Palmer III

# **ORDINANCE OF THE CITY AND BOROUGH OF JUNEAU, ALASKA**

**Serial No. 2020-60(b)**

## **An Ordinance Authorizing the Manager to Convey Approximately 22,000 Square Feet of Property Located at Lot 2, USS 3559 to the Owners of the Adjacent Property Located at 11259 North Douglas Highway.**

WHEREAS, Dwight Scott Williams and Carol Colp (“applicants”) are owners of certain real property located at 11259 North Douglas Highway and described as Tract C, Entrance Point Subdivision, Juneau Recording District, First Judicial District, State of Alaska (“Tract C”); and

WHEREAS, the applicants currently do not meet the minimal dimensional requirements of the Rural Reserve zoning district and are seeking sufficient property to develop a home on Tract C; and

WHEREAS, the City and Borough of Juneau (CBJ) owns real property adjacent to Tract C, described as Lot 2, USS 3559 Juneau Recording District, First Judicial District, State of Alaska (“Lot 2”); and

WHEREAS, the applicants have requested to purchase 22,000 square feet of Lot 2 located adjacent of the applicants’ property (the “CBJ Property”) in order to meet the minimum dimensional standards for the Rural Reserve zoning district and construct a home; and

WHEREAS, the Planning Commission reviewed this proposed disposal of the CBJ Property at its meeting on June 13, 2017, and recommended that the Assembly approve the sale of a portion of Lot 2 to the applicants under the condition the area of the CBJ Property recommended for disposal meet the minimum amount necessary for the dimensional requirements of the Rural Reserve zoning district, as provided for under CBJ Code of Ordinances Title 49; and

WHEREAS, the Lands Committee reviewed this proposed CBJ land disposal at its meeting on November 9, 2020, and passed a motion of support to the Assembly to direct the Manager to negotiate the sale of the CBJ property to the applicants; and

WHEREAS, the Manager has determined the fair market value of the CBJ Property to be \$1.57 per square foot, for a total value of \$34,600.00 more or less.

THEREFORE BE IT ENACTED BY THE ASSEMBLY OF THE CITY AND BOROUGH OF JUNEAU, ALASKA:

**Section 1. Classification.** This ordinance is a non-code ordinance.

**Section 2. Authorization to Convey.** The Manager is authorized to negotiate and execute the sale of a fraction of Lot 2, USS 3559, Juneau Recording District, First Judicial District, State of Alaska, constituting 22,000 square feet more or less, as shown on the attached Exhibit A.

**Section 3. Purchase Price.** The purchase price of the property shall be the fair market value, which has been determined by the Manager to be \$1.57 per square foot. Applicants will be responsible for all surveying, platting, closing costs, and recording fees. The Applicants may elect to utilize City financing with the following terms: a minimum of 10% down and 10% interest for a maximum term of 10 years.

**Section 4. Other Terms and Conditions.** The Manager may include such other terms and conditions as may be in the public interest and in accordance with CBJ Title 53.

**Section 5. Effective Date.** This ordinance shall be effective 30 days after its adoption.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Beth A. Weldon, Mayor

Attest:

\_\_\_\_\_  
Elizabeth J. McEwen, Municipal Clerk

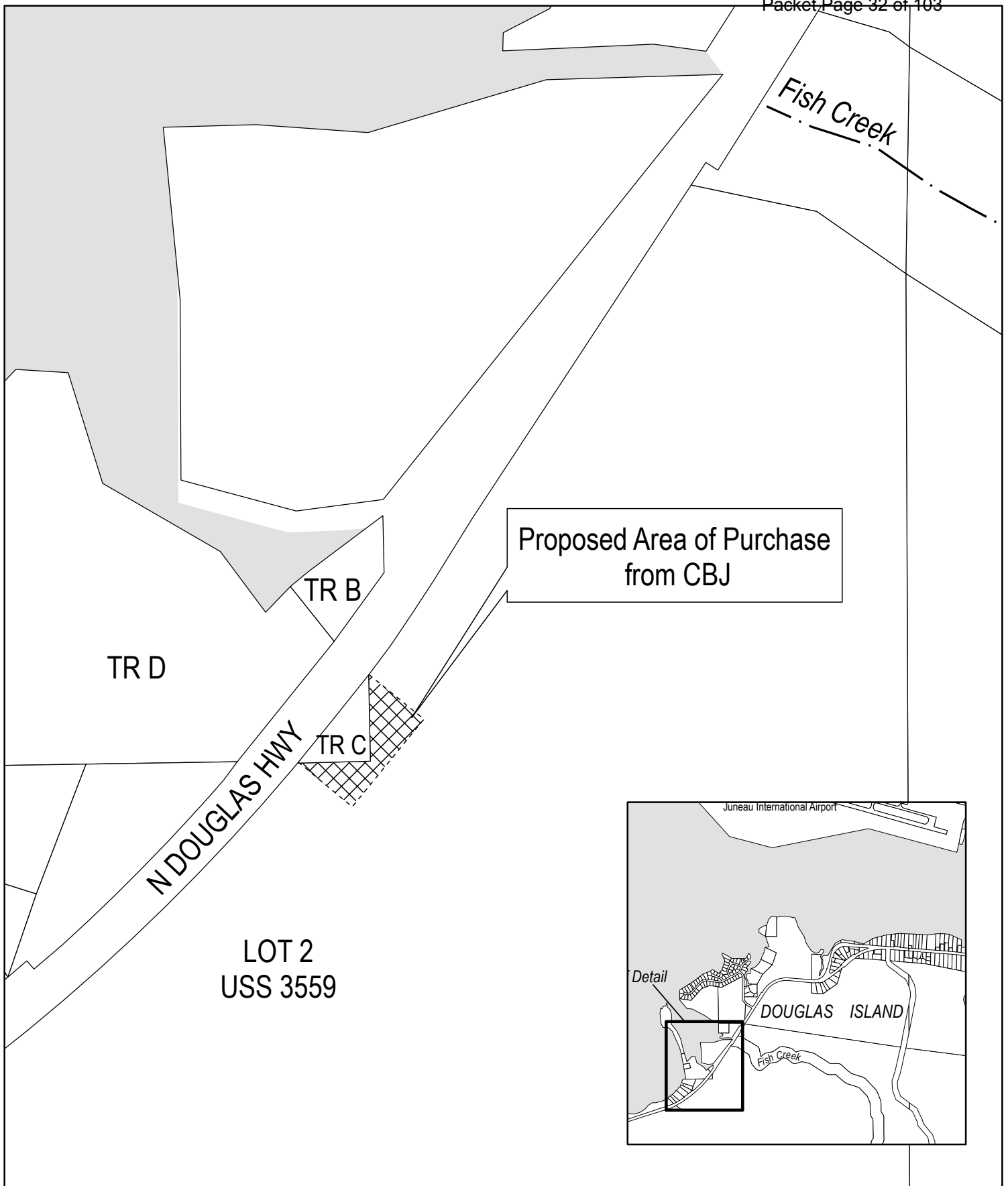


EXHIBIT A - Ord. No. 2020-60  
TRACT C  
ENTRANCE POINT SUBD.

0 250 500 Feet



Presented by: The Manager  
Presented: 01/04/2021  
Drafted by: R. Palmer III

**RESOLUTION OF THE CITY AND BOROUGH OF JUNEAU, ALASKA**

**Serial No. 2936**

**A Resolution Authorizing the Manager to Apply to the State of Alaska  
for the Acquisition of the Properties Located at Telephone Hill.**

WHEREAS, in 1984, the City and Borough of Juneau and the State of Alaska, through the Department of Transportation and Public Facilities (DOT&PF), entered into a Cooperative Use Agreement for the Telephone Hill property in which the City provided \$2,000,000.00 for the State's purchase of the Telephone Hill properties for possible location for a new State Capitol; and

WHEREAS, in 2008, the Cooperative Use Agreement was amended in order for the City to build the parking garage and transit center. The amendment allowed for the City to lease the land located at Telephone Hill in order to build the transit center and garage with the intent that the State would work with the City to convey ownership at a future date; and

WHEREAS, the Property Disposal Directive Report released by the Governor's Office on June 6, 2019, listed this property as one to consider for divestment by the State; and

WHEREAS, as long-term management partner for the Telephone Hill properties, the City supports the goal of economic development of these properties and requests that the State convey the property to advance the shared goals of the City and the Administration; and

WHEREAS, the property subject to this application is described as follows:

All the properties are within Section 23, Township 41S, Range 67E, Copper River Meridian.

Lot 1, Block 6, Juneau Townsite  
Lot 2, Block 6, Juneau Townsite  
Lot 3, Block 6, Juneau Townsite  
Lot 6, Block 6, Juneau Townsite  
Lot 7, Block 6, Juneau Townsite  
Lot 8, Block 6, Juneau Townsite  
Lot 3, Block D, Juneau Townsite  
Lot 4, Block D, Juneau Townsite  
Lot 5, Block D, Juneau Townsite  
Lot 6, Block D, Juneau Townsite

Lot 2, Block E, Juneau Townsite  
Lot 3, Block E, Juneau Townsite  
Lot 5, Block E, Juneau Townsite  
Lot 6, Block E, Juneau Townsite  
Lot 7, Block E, Juneau Townsite  
Fractions of Lot 7, Block 1, Juneau Townsite  
Fractions of Lot 8, Block 1, Juneau Townsite  
Downtown Transportation Center Tract A

NOW, THEREFORE, BE IT RESOLVED BY THE ASSEMBLY OF THE CITY AND BOROUGH OF JUNEAU, ALASKA:

**Section 1. Authorization.** The Manager is authorized to submit an application for the City & Borough of Juneau to acquire the properties located at Telephone Hill.

**Section 2. Terms and Conditions.** The Manager may include other terms and conditions deemed to be in the public interest.

**Section 3. Effective Date.** This resolution shall be effective immediately after its adoption.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

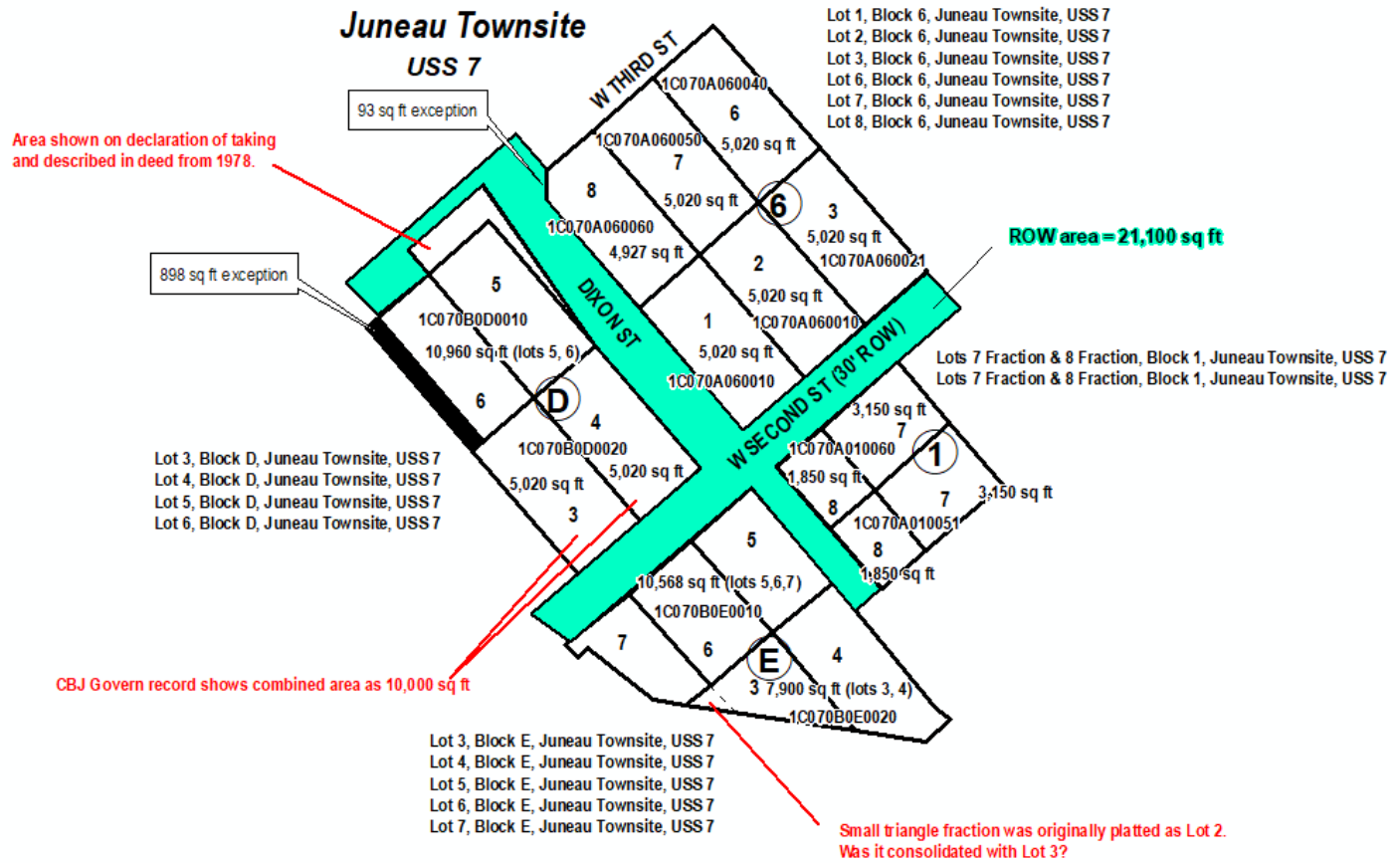
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Beth A. Weldon, Mayor

Attest:

---

Elizabeth J. McEwen, Municipal Clerk





## Planning Commission

(907) 586-0715  
PC\_Comments@juneau.org  
www.juneau.org/plancomm  
155 S. Seward Street • Juneau, AK 99801

### PLANNING COMMISSION

#### NOTICE OF RECOMMENDATION

Date: December 9, 2020  
File No.: CSP2020 0008

City and Borough of Juneau  
CBJ Assembly Members  
155 S Seward Street  
Juneau, AK 99801

Proposal: Planning Commission Recommendation to the City and Borough Assembly regarding Goodwin Road Reconstruction (Blueberry Hills Subdivision).

Property Address: Not applicable

ROW name: Goodwin Road

Parcel Code No.: Goodwin Road

Hearing Date: December 8, 2020

The Planning Commission, at a regular public meeting, adopted the analysis and findings listed in the attached memorandum dated November 23, 2020, and recommended that the Assembly direct CBJ staff to design and build the project.

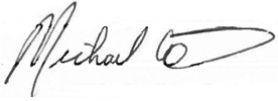
Attachments: November 23, 2020 memorandum from Irene Gallion, Community Development, to the CBJ Planning Commission regarding CSP2020 0008.

Revised plan set, dated December 4, 2020.

This Notice of Recommendation constitutes a recommendation of the CBJ Planning Commission to the City and Borough Assembly. Decisions to recommend an action are not appealable, even if the recommendation is procedurally required as a prerequisite to some other decision, according to the provisions of CBJ 01.50.020(b).



City and Borough of Juneau  
CBJ Assembly  
File No.: CSP2020 0008  
December 9, 2020  
Page 2 of 2



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Michael LeVine, Chair  
Planning Commission

December 11, 2020

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Date



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Filed With Municipal Clerk

12/11/2020

---

Date

cc: Plan Review

**NOTE:** The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this development project. ADA regulations have access requirements above and beyond CBJ - adopted regulations. The CBJ and project designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.



**PLANNING COMMISSION STAFF REPORT**  
**CITY PROJECT REVIEW CSP2020 0008**  
**HEARING DATE: DECEMBER 8, 2020**

(907) 586-0715  
 CDD\_Admin@juneau.org  
 www.juneau.org/CDD  
 155 S. Seward Street • Juneau, AK 99801

**DATE:** November 25, 2020  
**TO:** Michael LeVine, Chair, Planning Commission  
**BY:** Irene Gallion, Senior Planner   
**THROUGH:** Jill Maclean, Director, AICP

**PROPOSAL:** Applicant requests a City Project Review for Goodwin Road Reconstruction (Blueberry Hills subdivision). The project includes replacement of the water system, partial replacement of the sewer system, and improved drainage.

**STAFF RECOMMENDATION:** Approval

**KEY CONSIDERATIONS FOR REVIEW:**

- Project repairs and reconstructs existing infrastructure
- Water utility condition prioritizes the project
- Improvements to drainage address established challenges

| GENERAL INFORMATION     |                                      |
|-------------------------|--------------------------------------|
| Property Owner          | City & Borough of Juneau             |
| Applicant               | City & Borough of Juneau Engineering |
| Property Address        | Goodwin Road                         |
| Legal Description       | Goodwin Road                         |
| Parcel Number           | N/A                                  |
| Zoning                  | D5                                   |
| Land Use Designation    | Urban Low Density Residential        |
| Lot Size                | N/A                                  |
| Water/Sewer             | Public                               |
| Access                  | Goodwin Road                         |
| Existing Land Use       | Roadway                              |
| Associated Applications | N/A                                  |

**ALTERNATIVE ACTIONS:**

1. **Amend:** amend the recommendation to include conditions and recommend approval to the Assembly.
2. **Deny:** recommend denial of the proposed project. Planning Commission must make its own findings.
3. **Continue:** continue the hearing to a later date if determined that additional information or analysis is needed to make a decision, or if additional testimony is warranted.

**ASSEMBLY ACTION REQUIRED:**

A Notice of Recommendation will be forwarded to the Assembly for further action.

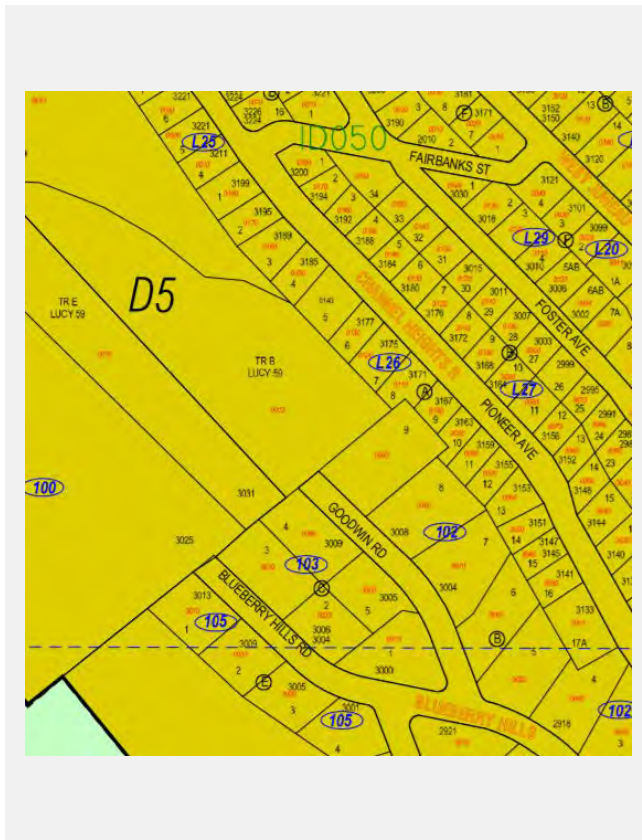
**STANDARD OF REVIEW:**

- Quasi-judicial decision
- Requires five (5) affirmative votes for approval
- Code Provisions:
  - o 49.15.580(a)
  - o 49.35.240(i)(4)(A)
  - o 49.35.240
  - o 49.80

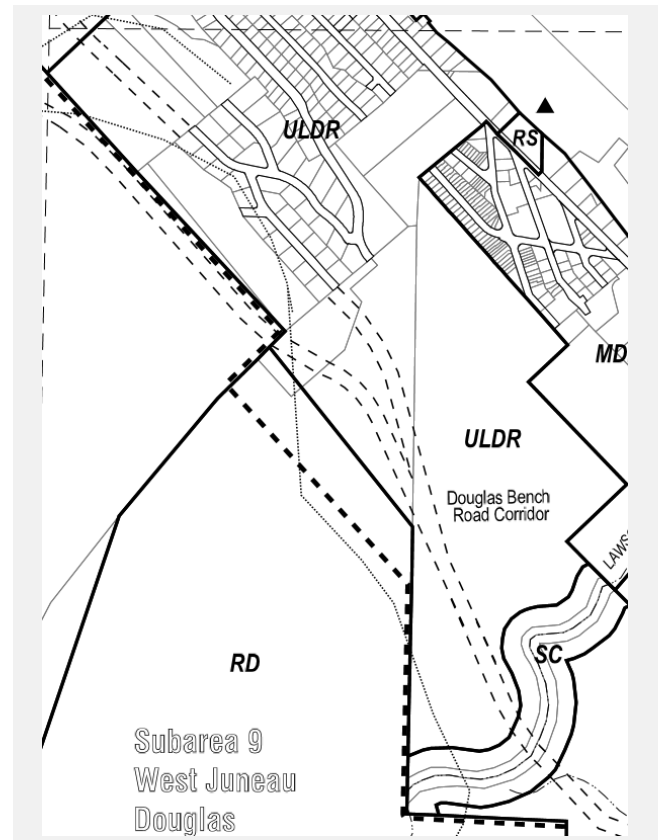
**The Commission shall hear and decide the case per CBJ 49.15.580(a) - CBJ Project Review:** *The commission shall review all proposed City and Borough capital improvement projects estimated to cost \$500,000 or more for consistency with this title. The commission may review, at the director's discretion, all proposed City and Borough capital projects estimated to cost more than \$250,000 but less than \$500,000. The commission may recommend conditions on and modifications to any project reviewed by the commission through a notice of recommendation. The notice of recommendation shall be forwarded to the assembly for further action.*

**CBJ 49.10.170(c) Planning Commission Duties:** *The commission shall review and make recommendations to the assembly on land acquisitions and disposals as prescribed by Title 53, or capital improvement project by any City and Borough agency. The report and recommendation of the commission shall be based upon the provisions of this title, the comprehensive plan, and the capital improvements program.*

### CURRENT ZONING MAP



### LAND USE DESIGNATION MAP



### SURROUNDING LAND USES AND ZONING

| Direction | Zoning District | Land Use    |
|-----------|-----------------|-------------|
| North     | D5              | Residential |
| South     | D5              | Residential |
| East      | D5              | Residential |
| West      | D5              | Residential |

### BACKGROUND INFORMATION

**Project Description** – This project will rehabilitate the road prism and drainage, replace water, and partially replace sewer. Both water and sewer services have exceeded service life. CBJ will replace the curb and gutter, and repave the road (**Attachment A**).

**Background** – The Blueberry Hills neighborhood was platted in 1985 (**Attachment B**). The economic downturn of the mid-80s and legal proceedings slowed development – one single-family structure on the road was built in 1987. Resolution of legal difficulties included re-subdivision of Blueberry Hills to adequately monument the land

and close the survey. Original survey errors had to be distributed across seven lots, some already with single-family structures and mortgages (**Attachment C**). This resolution cleared the way for development (**Attachment D**), with additional structures constructed in the 2000s. Five existing single-family structures front Goodwin Road. The Institute of Traffic Engineers' Trip Generation Manual estimates 9.52 average daily trips (ADT) per single-family structure, or about 48 ADT for the road. There are two vacant lots along the road. At the cul de sac end are eight acres that could be subdivided in the future.

CBJ Engineering & Public Works Department (E&PW) originally instructed the consultant engineer (DOWL) to narrow the road from 28 feet total existing width to 20 feet, the CBJ Engineering standard for a low-volume road. The reasoning was reduced construction costs, and to move the alignment away from the minor sloughing on the downhill side.

When CBJ's E&PW hosted a public meeting on November 12, 2020, five neighbors or their representatives expressed their concern with the proposal to narrow the road (**Attachment E**). Neighbors noted that due to the altitude (about 375-400 feet, according to Google Earth), the neighborhood gets more snow than other parts of the borough. Street crews do an initial pass with a plow, which leaves snow stacked on the edges of the roadway and reduces road width. CBJ E&PW directed DOWL to redesign the road reconstruction with original width of 28 feet. DOWL is updating the plan set submitted with the application. The issue of sloughing is a "30 year problem," rather than a "five year problem." Engineering will monitor the situation.

Goodwin Road Reconstruction is in the FY2020-2025 Capital Improvement Plan for construction in 2021. The project had been deferred until the utility condition created urgency. The Water Utility had \$125,000 available and shuffled another \$25,000 from another capital improvement project for a total of \$150,000. The Wastewater Utility used under-runs from other capital improvement projects to provide \$75,000 (**Attachment F**).

The table below summarizes relevant history for the subdivision and proposed development.

| Item                                                                                                                                                                                             | Summary                                                                                                                           |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------|
| <b>Plat 85-98</b>                                                                                                                                                                                | Blueberry Hills Subdivision, two pages                                                                                            |
| <b>FP-14-96</b>                                                                                                                                                                                  | Excerpts include a memo explaining the reason for the project. A map showing affected lots.                                       |
| <b>Land Survey Monument Record</b>                                                                                                                                                               | Monument restoration                                                                                                              |
| <b>Plat 97-43</b>                                                                                                                                                                                | Corrections per FP-14-96. Notes document the challenges the surveyor (R&M Engineering, Inc., Malcom Menzies, PLS) was up against. |
| <b>American Association of State Highway and Transportation Officials (AASHTO) Policy on Geometric Design of Highways and Streets (2018, 7<sup>th</sup> edition [known as "the Green Book"])</b> | Review of AASHTO guidelines for low volume urban local roads.                                                                     |
| <b>Google Earth</b>                                                                                                                                                                              | Current imagery (2020) and altitude information                                                                                   |
| <b>CBJ Parcel Viewer</b>                                                                                                                                                                         | Lot and assessor information                                                                                                      |

**Current Conditions** – The 28-foot wide road has two 14-foot lanes, curb and gutter. The project starts with saw cuts in Blueberry Hills Road and extends to the cul de sac at the end of Goodwin Road, for a length of 725 feet.

The water system's poor condition requires replacement with new ten-inch HDPE pipe. Parts of the sewer system will be replaced with PVC. CBJ was able to camera the sewer. Some sewer sections were in "very good" shape.

Drainage improvements along the roadway will also address poor drainage in the cul de sac.

An existing pedestrian path on the uphill side of Goodwin Road will be cut in four places and reconstructed to accommodate drainage improvements. The path will be realigned to the Blueberry Hills Road crosswalk.

## **ZONING ANALYSIS**

### ***49.05.100 - Purpose and intent. The purpose and Intent of Title 49 Land Use Code is:***

- (1) To achieve the goals and objectives, and implement the policies, of the Juneau comprehensive plan, and coastal management program;*
- (2) To ensure that future growth and development in the City and Borough is in accord with the values of its residents;*
- (3) To identify and secure, for present and future residents, the beneficial impacts of growth while minimizing the negative impacts;*
- (4) To ensure that future growth is of the appropriate type, design and location, and is served by a proper range of public services and facilities such as water, sewage, and electrical distribution systems, transportation, schools, parks and other public requirements, and in general to promote public health, safety and general welfare;*
- (5) To provide adequate open space for light and air; and*
- (6) To recognize the economic value of land and encourage its proper and beneficial use.*

**Other Permit Required** – No permitting is required for this work in the CBJ right-of-way.

**Roadway Construction Standard Waivers** – The road will be constructed to current width of 28 feet.

Recall that Engineering's opening position was for lanes narrowed down to 20 feet total width, with 10 feet per lane. CBJ 49.35.240 would require 11 foot lanes for a road of this volume with public maintenance. This roadway could not be waived to 10 foot lanes under CBJ 49.35.240(i)(4)(A).

- (i) The existing roadway complies with the roadway construction standards identified in Table 49.35.240, and could not be made non-complying.
- (ii) The existence of 28 foot wide road shows compliance with the requirements of the table.

However, the project does meet the other criteria for a waiver.

- (iii) The proposed project will not aggravate the intent of the requirements of this chapter

(iv) The proposed project complies with the American Association of State Highway and Transportation Officials' guidelines. The American Association of State Highway and Transportation Officials (AASHTO) Policy on Geometric Design of Highways and Streets (2018, 7th edition [known as, "the Green Book"], page 5-16, section 5.3.2.1, "Width of Travelled Way") states,

*"Lanes for moving traffic preferably should be 10 to 11 ft wide....Where the available or attainable width of right-of-way imposes severe limitations, 9-ft lanes can be used in residential areas..."*

If sloughing becomes an issue requiring eventual narrowing of the road, land use code requires 22 foot total width, or two 11-foot lanes. This would be two feet wider than CBJ E&PW had proposed.

**Roadway Classification Maps** – Goodwin is classified a "local" road.

### **COMMUNITY SERVICES**

| Service                | Summary                                                                                                                             |
|------------------------|-------------------------------------------------------------------------------------------------------------------------------------|
| Urban Service Boundary | Project is within this boundary.                                                                                                    |
| Water/Sewer            | Public                                                                                                                              |
| Fire Service Area      | Project is within this boundary.                                                                                                    |
| Schools                | None within a 1,000 foot radius.                                                                                                    |
| Recreation             | None in the immediate vicinity. Trailheads to the Treadwell Ditch Trail at the end of Jackson Road and next to 3179 Pioneer Avenue. |

### **ENVIRONMENTAL, CONSERVATION, HISTORIC, AND ARCHEOLOGICAL RESOURCES**

| Resource                      | Summary         |
|-------------------------------|-----------------|
| Conservation Areas            | None impacted.  |
| Wetlands                      | None.           |
| Anadromous                    | None.           |
| Impaired Waterbodies          | None.           |
| Historic                      | No known.       |
| Archeological                 | No known.       |
| Comprehensive Plan View sheds | Not applicable. |

### **CONFORMITY WITH ADOPTED PLANS**

**2013 COMPREHENSIVE PLAN VISION:** *The City and Borough of Juneau is a vibrant State Capital that values the diversity and quality of its natural and built environments, creates a safe and satisfying quality of life for its diverse population, provides quality education and employment for its workers, encourages resident participation in community decisions and provides an environment to foster state-wide leadership.*

**2013 COMPREHENSIVE PLAN** - The proposed text amendment is in compliance with the 2013 Comprehensive Plan.

| Chapter | Page No. | Item      | Summary                                                                                                     |
|---------|----------|-----------|-------------------------------------------------------------------------------------------------------------|
| 8       | 102      | Narrative | Maintaining transportation infrastructure is of critical importance, including repair and snow removal.     |
| 8       | 108      | 8.4-IA4   | Consider life-cycle costs of operation and maintenance when considering transportation system improvements. |

**2001 AREA WIDE TRANSPORTATION PLAN** - The proposed text amendment complies with the 2016 Housing Action Plan

| Chapter | Page No. | Item        | Summary                                                                                                                                                              |
|---------|----------|-------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|         | 4        | Last bullet | <i>Improving the transportation system can be costly.</i> Proposed additions will be evaluated in terms of their cost-effectiveness and long-term maintenance costs. |

#### **AGENCY REVIEW**

CDD conducted an agency review with Capital City Fire and Rescue. The width and slope of the road meet fire code requirements. Fire hydrants meet code requirements as well.

#### **PUBLIC COMMENTS**

CBJ's Engineering Department held a public meeting on November 12, 2020. Notes can be found in **Appendix E**. Engineering has forwarded emailed comments they have received, found in **Appendix G**.

#### **FINDINGS**

In accordance with CBJ 49.15.580 staff finds the proposed Goodwin Road Reconstruction (Blueberry Hills subdivision) complies with Title 49 Land Use Code and conforms with adopted plans, specifically the 2013 Comprehensive Plan.

#### **RECOMMENDATION**

Staff recommends the Planning Commission adopt the Director's analysis and findings and forward a recommendation of APPROVAL to the CBJ Assembly for the Goodwin Road Reconstruction (Blueberry Hills subdivision).

#### **STAFF REPORT ATTACHMENTS**

| Item                | Description        |
|---------------------|--------------------|
| <b>Attachment A</b> | Application Packet |
| <b>Attachment B</b> | Plat 85-98         |
| <b>Attachment C</b> | FP-14-96 Excerpt   |
| <b>Attachment D</b> | Plat 97-43         |

| Item                | Description                                                                                                                     |
|---------------------|---------------------------------------------------------------------------------------------------------------------------------|
| <b>Attachment E</b> | Goodwin Public Meeting notes, 11/12/2020                                                                                        |
| <b>Attachment F</b> | Funding back-up: Memos to the Assembly Public Works and Facilities Committee from March 2 <sup>nd</sup> and September 14, 2020. |
| <b>Attachment G</b> | Emailed comments regarding the project                                                                                          |
| <b>Attachment H</b> | Relevant Photos                                                                                                                 |





# CITY/STATE PROJECT AND LAND ACTION REVIEW APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

**NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.**

|                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                   |                                 |                      |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------|----------------------|
| To be completed by Applicant                                                                                                                                                                                                                                                                                                                                            | <b>PROJECT SUMMARY</b>                                                                                                                                                                                            |                                 |                      |
|                                                                                                                                                                                                                                                                                                                                                                         | <b>TYPE OF PROJECT REVIEW:</b>                                                                                                                                                                                    |                                 |                      |
|                                                                                                                                                                                                                                                                                                                                                                         | City Project Review                                                                                                                                                                                               | City Land Acquisition /Disposal | State Project Review |
|                                                                                                                                                                                                                                                                                                                                                                         | <b>PROJECT NUMBERS ASSOCIATED WITH PROPOSAL:</b>                                                                                                                                                                  |                                 |                      |
|                                                                                                                                                                                                                                                                                                                                                                         | Is this project associated with any other Land Use Permits?      YES    Case No.: _____      NO<br>Capital Improvement Program # (CIP) _____<br>Local Improvement District # (LID) _____<br>State Project # _____ |                                 |                      |
| <b>ESTIMATED PROJECT COST:    \$</b>                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                   |                                 |                      |
| <b>ALL REQUIRED MATERIALS ATTACHED</b>                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                   |                                 |                      |
| <b>Complete application</b><br><b>Pre-Application notes</b> (if applicable)<br><b>Narrative including:</b><br>Current use of land or building(s)<br>Proposed use of land or building(s)<br>How the proposed project complies with the Comprehensive Plan<br>How the proposed project complies with the Land Use Code (Title 49)<br><b>Site Plan</b> (details on page 2) |                                                                                                                                                                                                                   |                                 |                      |

**NOTE: This application is required even if the proposed project is associated with other Land Use permits.**

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

| CITY/STATE PROJECT FEES | Fees             | Check No. | Receipt | Date |
|-------------------------|------------------|-----------|---------|------|
| Application Fees        | \$ _____ 0 _____ |           |         |      |

This form and all documents associated with it are public record once submitted.

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

For assistance filling out this form, contact the Permit Center at 586-0770.

|             |               |
|-------------|---------------|
| Case Number | Date Received |
|             |               |

Each application for a City/State Project is reviewed by the Planning Commission at a public hearing. The permit procedure is intended to provide the Commission the flexibility necessary to make recommendations tailored to individual applications.

**Application:** An application for a City/State Project Review will not be accepted by the Community Development Department until it is determined to be complete. The items needed for a complete application are:

1. **Forms:** Completed City/State Project Review Application and Development Permit Application forms.
2. **Fees:** No fee required for projects that cost less than \$2.5 million. For projects costing more than this amount, the fee is \$1,600.00. All fees are subject to change.
3. **Project Narrative:** A detailed narrative describing the project.
4. **Plans:** All plans are to be drawn to scale and clearly show the items listed below:
  - a. Plat, site plan, floor plan and elevation views of existing and proposed structures and land;
  - b. Existing and proposed parking areas, including dimensions of the spaces, aisle width and driveway entrances;
  - c. Proposed traffic circulation within the site including access/egress points and traffic control devices;
  - d. Existing and proposed lighting (including cut sheets for each type of lighting);
  - e. Existing and proposed vegetation with location, area, height and type of plantings; and,
  - f. Existing physical features of the site (i.e. drainage, eagle trees, hazard areas, salmon streams, wetlands, etc.)

**Document Format:** All materials submitted as part of an application shall be submitted in either of the following formats:

1. Electronic copies in the following formats: .doc, .txt, .xls, .bmp, .pdf, .jpg, .gif, .xlm, .rtf (other formats may be preapproved by the Community Development Department).
2. Paper copies 11" X 17" or smaller (larger paper size may be preapproved by the Community Development Department).

**Application Review & Hearing Procedure:** Once the application is determined to be complete, the Community Development Department will initiate the review and scheduling of the application. This process includes:

**Review:** As part of the review process the Community Development Department will evaluate the application for consistency with all applicable City & Borough of Juneau codes and adopted plans. Depending on unique characteristics of the permit request the application may be required to be reviewed by other municipal boards and committees. Review comments may require the applicant to provide additional information, clarification, or submit modifications/alterations for the proposed project.

**Hearing:** All City/State Project Review Permit Applications must be reviewed by the Planning Commission. Once an application has been deemed complete and has been reviewed by all applicable parties the Community Development Department will schedule the requested permit for the next appropriate meeting. The Planning Commission will make a recommendation based on staff's analysis and forward it to the Assembly for final approval/denial.

---

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

# DEVELOPMENT PERMIT APPLICATION

**NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications.**

|                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                              |                 |  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------|-----------------|--|
| To be completed by Applicant                                                                                                                                                                                                                                                                                                                                                                                                           | <b>PROPERTY LOCATION</b>                                                                                                     |                 |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                        | Physical Address                                                                                                             |                 |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                        | Legal Description(s) (Subdivision, Survey, Block, Tract, Lot)                                                                |                 |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                        | Parcel Number(s)                                                                                                             |                 |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                        | This property located in the downtown historic district<br>This property located in a mapped hazard area, if so, which _____ |                 |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                        | <b>LANDOWNER/ LESSEE</b>                                                                                                     |                 |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                        | Property Owner                                                                                                               | Contact Person  |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                        | Mailing Address                                                                                                              | Phone Number(s) |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                        | E-mail Address                                                                                                               |                 |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                        | <b>LANDOWNER/ LESSEE CONSENT</b>                                                                                             |                 |  |
| Required for Planning Permits, not needed on Building/ Engineering Permits                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                              |                 |  |
| I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows:<br>A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission.<br>B. I (we) grant permission for officials and employees of the City and Borough of Juneau to inspect my property as needed for purposes of this application. |                                                                                                                              |                 |  |
| X _____<br><div style="display: flex; justify-content: space-between; width: 80%; margin-left: 10%;"> <span>Landowner/Lessee Signature</span> <span>Date</span> </div>                                                                                                                                                                                                                                                                 |                                                                                                                              |                 |  |
| X _____<br><div style="display: flex; justify-content: space-between; width: 80%; margin-left: 10%;"> <span>Landowner/Lessee Signature</span> <span>Date</span> </div>                                                                                                                                                                                                                                                                 |                                                                                                                              |                 |  |
| NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours and will attempt to contact the landowner in addition to the formal consent given above. Further, members of the Planning Commission may visit the property before the scheduled public hearing date.                                                                                                               |                                                                                                                              |                 |  |
| <b>APPLICANT</b>                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                              |                 |  |
| If the same as OWNER, write "SAME"                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                              |                 |  |
| Applicant                                                                                                                                                                                                                                                                                                                                                                                                                              | Contact Person                                                                                                               |                 |  |
| Mailing Address                                                                                                                                                                                                                                                                                                                                                                                                                        | Phone Number(s)                                                                                                              |                 |  |
| E-mail Address                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                              |                 |  |
| X _____<br><div style="display: flex; justify-content: space-between; width: 80%; margin-left: 10%;"> <span>Applicant's Signature</span> <span>Date of Application</span> </div>                                                                                                                                                                                                                                                       |                                                                                                                              |                 |  |

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

This form and all documents associated with it are public record once submitted.

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

For assistance filling out this form, contact the Permit Center at 586-0770.

|                                                 |               |
|-------------------------------------------------|---------------|
| Intake Initials<br><br><i>Amg</i><br>10/29/2020 | Date Received |
|-------------------------------------------------|---------------|

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| Case Number |  |
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# GOODWIN ROAD RECONSTRUCTION

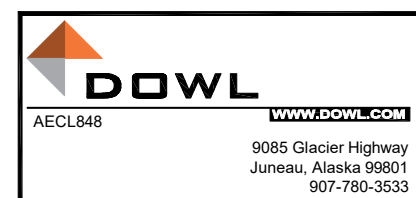
## CBJ CONTRACT No. E20-255

### SHEET INDEX

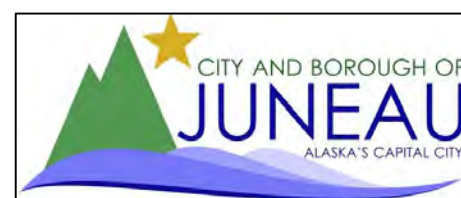
| SHEET No. | TITLE                                                              |
|-----------|--------------------------------------------------------------------|
| 01        | COVER SHEET                                                        |
| 02        | LEGEND, ABBREVIATIONS AND GENERAL NOTES                            |
| 03        | TYPICAL SECTION, TRAFFIC CONTROL, AND PAVING SEQUENCING            |
| 04-06     | DETAILS AND SUMMARY TABLES                                         |
| 07-09     | HORIZONTAL AND VERTICAL CONTROL, CURB AND GUTTER LAYOUT AND GRADES |
| 10-12     | PLAN                                                               |
| 13-14     | PROFILES                                                           |



PREPARED BY:



PREPARED FOR:



**PUBLIC MEETING**

|         |            |
|---------|------------|
| PROJECT | 71078.01   |
| DATE    | 11/10/2020 |
| SHEET   |            |
| 01      | OF 14      |

\\JNU-FS\JNU-Projects\22\71078-01\65CAD\Civil\SA20-CT-LD-71078.dwg PLOT DATE 2020-11-10 11:47 SAVED DATE 2020-11-10 08:25 USER: csims

## LEGEND

| DESCRIPTION                 | EXISTING | REMOVE | PROPOSED |
|-----------------------------|----------|--------|----------|
| ADA TILE & RAMP             |          |        |          |
| BURIED UTILITIES            |          |        |          |
| CATCH BASIN                 |          |        |          |
| CONTROL POINT               |          |        |          |
| CURB & GUTTER               |          |        |          |
| DEPRESSED CURB AND GUTTER   |          |        |          |
| DITCH CENTER LINE           |          |        |          |
| EDGE OF ASPHALT             |          |        |          |
| FIRE HYDRANT                |          |        |          |
| HEADWALL                    |          |        |          |
| HOUSE NO                    |          |        |          |
| LUMINAIRE                   |          |        |          |
| MAILBOX                     |          |        |          |
| PROJECT CONTROL LINE        |          |        |          |
| PROPERTY LINE               |          |        |          |
| ROCK-LINED DITCH            |          |        |          |
| SANITARY SEWER CLEANOUT     |          |        |          |
| SANITARY SEWER FORCE MAIN   |          |        |          |
| SANITARY SEWER GRAVITY PIPE |          |        |          |
| SANITARY SEWER MANHOLE      |          |        |          |
| SAWCUT                      |          |        |          |
| SEEDING AREA                |          |        |          |
| SIGN                        |          |        |          |
| STORM DRAIN PIPE            |          |        |          |
| TREE CONIFER                |          |        |          |
| TREE DECIDUOUS              |          |        |          |
| WATER LINE PIPE             |          |        |          |
| WATER VALVE BOX             |          |        |          |

Packet Page 49 of 103

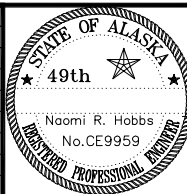
## ABBREVIATIONS

|      |                                |
|------|--------------------------------|
| AC   | ASPHALT CONCRETE               |
| ADA  | AMERICAN DISABILITIES ACT      |
| BOP  | BEGINNING OF PROJECT           |
| CB   | CATCH BASIN                    |
| CBJ  | CITY AND BOROUGH OF JUNEAU     |
| CMP  | CORRUGATED METAL PIPE          |
| CPP  | CORRUGATED POLYETHYLENE PIPE   |
| CONC | CONCRETE                       |
| CTE  | CONNECT TO EXISTING            |
| DI   | DUCTILE IRON                   |
| DIA  | DIAMETER                       |
| EL   | ELEVATION                      |
| EOP  | END OF PROJECT                 |
| EP   | EDGE OF PAVEMENT               |
| FL   | FLOW LINE                      |
| FG   | FINISHED GRADE                 |
| FM   | FORCE MAIN                     |
| GV   | GATE VALVE                     |
| HDPE | HIGH DENSITY POLYETHYLENE PIPE |
| INV  | INVERT                         |
| IP   | IRON PIPE                      |
| LG   | LIP OF GUTTER                  |
| LT   | LEFT                           |
| MH   | MANHOLE                        |
| MN   | MAGNETIC NAIL                  |
| MTE  | MATCH TO EXISTING              |
| NO   | NUMBER                         |
| NTS  | NOT TO SCALE                   |
| PC   | POINT OF CURVATURE             |
| PT   | POINT OF TANGENT               |
| POC  | POINT ON CURVE                 |
| PRC  | POINT OF REVERSE CURVE         |
| PVC  | POLYVINYL CHLORIDE PIPE        |
| ROW  | RIGHT-OF-WAY                   |
| RT   | RIGHT                          |
| SD   | STORM DRAIN                    |
| SHLD | SHOULDER                       |
| SS   | SANITARY SEWER                 |
| STA  | STATION                        |
| STD  | STANDARD                       |
| TBC  | TOP BACK OF CURB               |
| TBVG | TOP BACK OF VALLEY GUTTER      |
| TP   | TOP OF PAVEMENT                |
| TYP  | TYPICAL                        |
| UD   | UNDER DRAIN                    |

## GENERAL NOTES

- BEGIN SUBCUT AT 24 INCHES FROM PAVEMENT SAWCUT LINE AT STREET CONNECTIONS, UNLESS OTHERWISE SHOWN ON THE DRAWINGS, OR DIRECTED BY THE ENGINEER. REMOVE AND REPLACE BASE COURSE WITH 6 INCHES OF 2" MINUS SHOT ROCK W/BASE COURSE TO 12 INCHES FROM PAVEMENT SAWCUT LINE. SAWCUT AS NECESSARY ALONG ALL STREET AND DRIVEWAY APPROACHES TO PROVIDE A NEAT MATCH LINE.
- CONTRACTOR SHALL ENSURE UNINTERRUPTED GARBAGE PICKUP AND DAILY MAIL SERVICE TO ALL RESIDENCES IMPACTED BY THIS PROJECT.
- THE 4TH EDITION OF THE CBJ STANDARD DETAILS, DATED AUGUST 14 2011, IS MADE PART OF THIS CONTRACT, WITH CURRENT REVISIONS AS APPLICABLE.
- ALL EXISTING STORM DRAIN PIPES (6 INCH DIAMETER AND LARGER), AND APPURTENANCES (TO BE ABANDONED) THAT ARE WITHIN THE STREET LIMITS, SHALL BE REMOVED AND DISPOSED OF, UNLESS OTHERWISE NOTED.
- EXISTING PIPE LOCATIONS ARE DERIVED FROM CBJ AS-BUILTS OR FIELD LOCATED. ACTUAL LOCATIONS MAY VARY FROM THOSE SHOWN. DEPTH OF THE EXISTING PIPES SHOWN ON THE ELEVATIONS ARE ASSUMED. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EACH EXISTING SERVICE PIPE PRIOR TO INSTALLING MAIN LINE TEES AND WYES FOR THE STORM AND SANITARY SEWER. DIAL BEFORE YOU DIG 586-1333.
- THE GRADING AND ALIGNMENT ARE SUBJECT TO MINOR REVISIONS BY THE ENGINEER.
- LOCATION OF CULVERTS AND CULVERT LENGTHS ARE SUBJECT TO MINOR REVISIONS BY THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY CBJ WATER UTILITIES AT 586-0393 OF ANY WATER MAIN INTERRUPTION.
- A MINIMUM CLEARANCE OF 18-INCHES SHALL BE OBTAINED BETWEEN WATER AND OTHER PIPES. IN SOME LOCATIONS STORM DRAIN CULVERTS WILL REQUIRE THAT THE WATER LINES BE INSTALLED WITH MORE THAN 60-INCHES OF COVER.
- PROPERTY LINE LOCATIONS USED IN THESE PLANS ARE DERIVED FROM RECORD PLATS AND DO NOT REPRESENT A BOUNDARY SURVEY. EXISTING RECORD PLATS DO NOT CLOSE WITH EACH OTHER IN SOME CASES. THE PROPERTY LINES SHOWN ON THESE PLANS ARE A BEST FIT APPROXIMATION OF CLOSURE.
- ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL SITE, EXCEPT AS NOTED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL REFERENCE ALL EXISTING PROPERTY CORNER MONUMENTS (I.E. REBARS, CONCRETE NAILS, BRASS CAP MONUMENT AND ETC.) PRIOR TO CONSTRUCTION, REMONUMENT AFTER SURFACING IS REPLACED, AND SUBMIT A RECORD OF MONUMENT TO THE ENGINEER. ALL WORK SHALL BE DONE BY, OR UNDER THE DIRECTION OF, AN ALASKA REGISTERED LAND SURVEYOR.
- ALL ASPHALT AND CHIP SEAL PAVEMENT TO BE REMOVED AND DISPOSED OF SHALL BE DELIVERED TO A STOCKPILE AREA AT THE LEMON CREEK CITY PIT TO BE DESIGNATED BY THE ENGINEER. CONTACT THE ENGINEER FOR THE EXACT LOCATION OF THE STOCKPILE.
- AEL&P, ACS, AND GCI MAY CONDUCT WORK WITHIN THE PROJECT LIMITS TO RELOCATE UTILITIES AND UPGRADE THEIR RESPECTIVE SYSTEMS. THE CONTRACTOR SHALL COORDINATE ITS ACTIVITIES WITH EACH UTILITY COMPANY AND PROVIDE ACCESS AS NECESSARY FOR UTILITY COMPANIES TO CONDUCT THEIR WORK.
- THE CONTRACTOR SHALL RESTRICT ITS COMPACTION AND OTHER VIBRATION INDUCING OPERATIONS AS NECESSARY TO ENSURE NO DAMAGE OCCURS TO ADJACENT BUILDINGS OR STRUCTURES. REFER TO SECTION 01530, ARTICLE 1.7 FOR FURTHER REQUIREMENTS.
- THE PLAN SHEETS DO NOT SHOW ALL OF THE TREES AND OTHER VEGETATION THAT WILL BE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES. NO TREES OR OTHER VEGETATION ARE TO BE REMOVED OR DAMAGED, UNLESS SHOWN ON THE DRAWINGS OR DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL NOT STORE MATERIALS OR EQUIPMENT, OR OPERATE EQUIPMENT WITH ITS TRACKS OR WHEELS PLACED ON PRIVATE PROPERTY, WITHOUT WRITTEN APPROVAL OF THE PROPERTY OWNER.
- THE CONTRACTOR SHALL NOTIFY EACH RESIDENT OF EACH DRIVEWAY CLOSURE THE DAY PRECEDING THE DAY THE DRIVEWAY IS TO BE CLOSED TO VEHICULAR ACCESS. THE RESIDENT SHALL BE INFORMED OF THE PERIOD OF TIME THE CLOSURE WILL BE IN EFFECT. NO DRIVEWAY CLOSURES WILL BE PERMITTED UNTIL THIS REQUIREMENT HAS BEEN MET TO THE SATISFACTION OF THE ENGINEER.
- "JUMPING JACK" OR SIMILAR TYPE COMPACTORS SHALL BE USED TO THOROUGHLY COMPACT ALL LAYERS OF MATERIAL AROUND WATER VALVE BOXES, CATCH BASINS, MANHOLES AND OTHER STRUCTURES.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ENGINEER APPROVED EROSION CONTROL DEVICES DURING CONSTRUCTION PER SECTION 01570.

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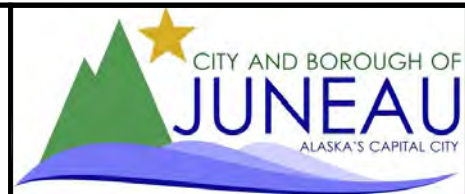


**DOWL**

AECL848

[www.dowl.com](http://www.dowl.com)

9085 Glacier Highway  
Juneau, Alaska 99801  
907-780-3533

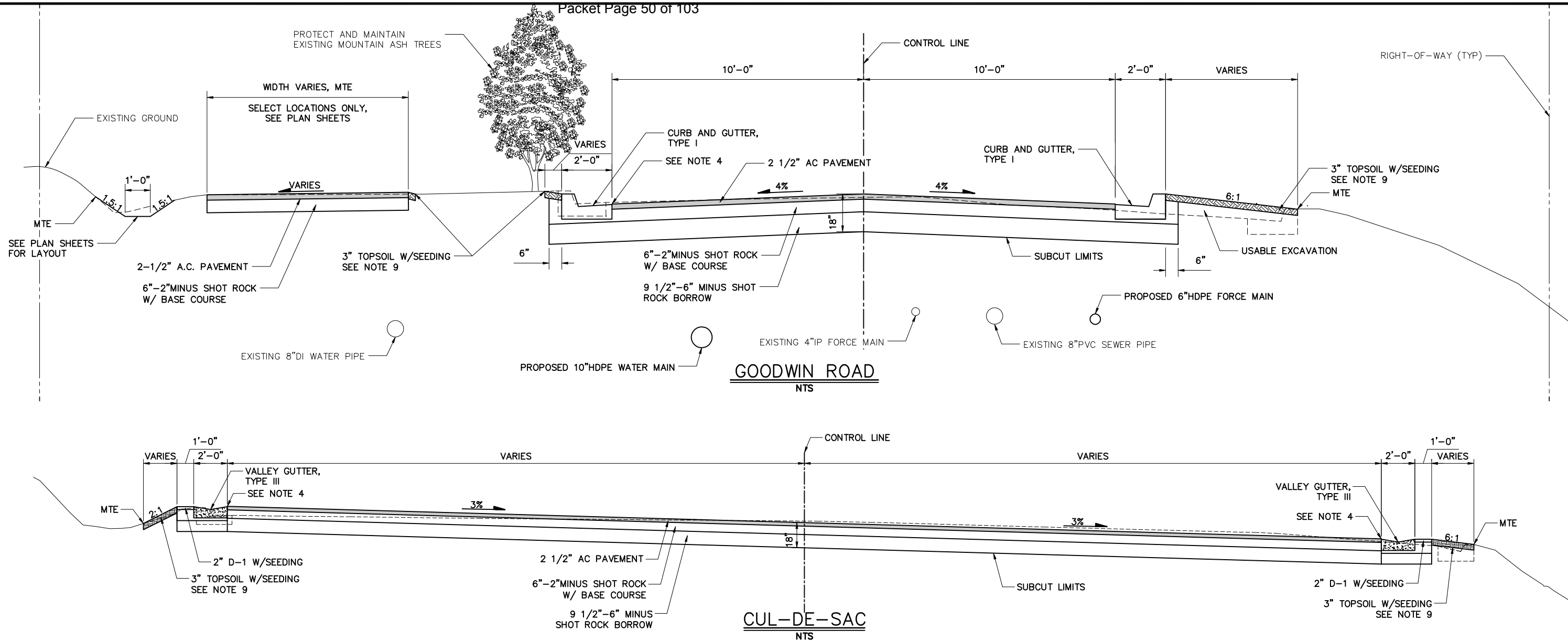


GOODWIN ROAD RECONSTRUCTION  
E20-255

LEGEND, ABBREVIATIONS  
AND GENERAL NOTES

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| PROJECT | 71078.01   |
| DATE    | 11/10/2020 |
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| 02      | OF 14      |





NOTES FOR TYPICAL SECTION

- IF ORGANIC OR OTHER UNSUITABLE MATERIALS ARE FOUND AT OR NEAR THE PLANNED SUBCUT LEVEL, ADDITIONAL EXCAVATION MAY BE REQUIRED AS DIRECTED BY THE ENGINEER. USABLE MATERIAL FROM EXCAVATION SHALL BE USED TO BACKFILL THE ADDITIONAL AREAS OF EXCAVATION, WHICH MAY VARY FROM 6" IN DEPTH TO A DEPTH OF UP TO 5'-0" BELOW FINISH GRADE. THE BACKFILLING WITH USABLE MATERIAL FROM EXCAVATION WILL BE CONSIDERED INCIDENTAL TO EXCAVATION.
- SEE HORIZONTAL AND VERTICAL CONTROL, CURB AND GUTTER LAYOUT AND GRADE DRAWINGS FOR GRADING DETAILS.
- DEPTH AND HORIZONTAL LOCATION OF EXISTING UNDERGROUND ELECTRICAL, WATER, AND SANITARY SEWER VARIES. SEE PLAN SHEETS FOR APPROXIMATE LOCATIONS.
- TOP OF ASPHALT CONCRETE PAVEMENT SHALL BE 1/4" ABOVE THE LIP OF CONCRETE GUTTER. TOP OF PAVEMENT GRADES AND SLOPES GIVEN ON THE PLANS REFLECT THE ACTUAL FINISH PAVEMENT SURFACE.
- THE 2-INCH MINUS SHOT ROCK W/BASE COURSE COURSE LAYER SHALL BE 4" TO 5" OF 2-INCH MINUS SHOT ROCK WITH 1" TO 2" TOP LAYER OF BASE COURSE, GRADING D-1 FOR A TOTAL THICKNESS OF 6". THE 2-INCH MINUS SHOT ROCK SHALL BE COMPACTED WITH VIBRATORY EQUIPMENT PRIOR TO PLACING THE BASE COURSE GRADING D-1.
- THE SIDEWALK'S 2-INCH MINUS SHOT ROCK W/BASE COURSE LAYER SHALL BE 4" TO 5" OF 2-INCH MINUS SHOT ROCK WITH 1" TO 2" OF BASE COURSE, GRADING D-1.
- DRIVEWAYS DISTURBED DURING CONSTRUCTION SHALL BE RECONSTRUCTED TO EQUAL OR BETTER CONDITION. PAVED DRIVEWAYS SHALL BE SUBCUT TO 18 INCHES BELOW FINISH GRADE AND REPLACED WITH 9-1/2" OF 6-INCH MINUS SHOT ROCK BORROW, 6" OF 2-INCH MINUS WITH BASE COURSE, AND 2-1/2" OF A.C. PAVEMENT. ALL WORK REQUIRED TO RECONSTRUCT GRAVEL DRIVEWAYS BEYOND THE BACK OF EXISTING CURB WILL BE CONSIDERED INCIDENTAL TO OTHER WORK AND NO ADDITIONAL PAYMENT WILL BE MADE.
- ALL EXISTING SEWER PIPES AND WATER PIPES (6-INCH DIAMETER AND LARGER), AND APPURTENANCES (TO BE ABANDONED) WITHIN THE STREET LIMITS SHALL BE REMOVED AND DISPOSED OF OR FILLED WITH CEMENTITIOUS SLURRY, UNLESS OTHERWISE NOTED.
- GRADE BEYOND THE LIMITS OF THE IMPROVEMENTS AS REQUIRED TO MATCH TO EXISTING AT A 6:1 OR LESS CUT OR FILL SLOPE. PLACE USABLE EXCAVATION BENEATH THE 3" TOPSOIL LAYER WHERE A FILL GREATER THAN 3" IS REQUIRED.

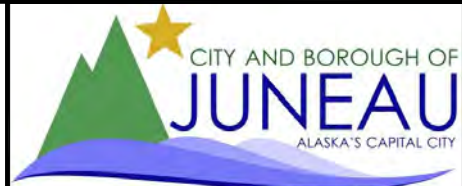
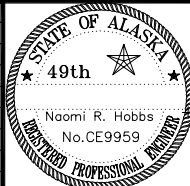
TRAFFIC CONTROL

- ALL TRAFFIC TO BE CONTROLLED PER THE REQUIREMENTS OF THE ALASKA TRAFFIC MANUAL (U.S. DEPARTMENT OF TRANSPORTATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND THE ALASKA SUPPLEMENT).
- ALL DETOURS SHALL BE AS APPROVED BY THE ENGINEER.
- ROAD CLOSURES WILL BE PERMITTED ONLY AS APPROVED BY THE ENGINEER.
- THE CONTRACTOR WILL NOT BE PERMITTED TO OBSTRUCT VEHICULAR TRAFFIC BETWEEN THE HOURS OF 4:30pm AND 8:00am SEVEN DAYS A WEEK. DURING THIS PERIOD, ONE LANE SHALL BE OPEN TO VEHICULAR TRAFFIC AND WITH A MINIMUM TOTAL WIDTH OF 8 FEET.
- PROVIDE ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES.
- A MINIMUM OF ONE LANE (10 FOOT MINIMUM WIDTH) SHALL BE KEPT OPEN TO VEHICULAR TRAFFIC AT ALL TIMES, EXCEPT A FIVE (5) MINUTE MAXIMUM STOPPAGE TO VEHICULAR TRAFFIC WILL BE PERMITTED, WITH NO MORE THAN ONE TRAFFIC STOPPAGE PER HOUR. THIS REQUIREMENT DOES NOT APPLY FOR THE DAY OF PAVING.
- PEDESTRIAN TRAFFIC SHALL BE AVAILABLE ALONG AT LEAST ONE SIDE OF THE STREET AT ALL TIMES. THE PEDESTRIAN PATHWAY SHALL BE CLEARLY MARKED AND SHALL SATISFY THE REQUIREMENTS AS DESCRIBED IN THE SPECIAL PROVISIONS.

PAVING SEQUENCING

- LAYDOWN OPERATIONS SHALL BE CONDUCTED IN A MANNER WHICH ENSURES THAT THE MINIMUM TEMPERATURE ALONG THE CENTERLINE EDGE OF THE FIRST PAVED LANE DOES NOT FALL BELOW 200°F BEFORE THE SECOND LANE IS PAVED.

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GOODWIN ROAD RECONSTRUCTION  
E20-255  
TYPICAL SECTION, TRAFFIC CONTROL  
AND PAVING SEQUENCING

|         |            |
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| PROJECT | 71078.01   |
| DATE    | 11/10/2020 |
| SHEET   | 03 OF 14   |

CORROSION PROTECTION SPECIFICATIONS AND NOTES:

ANODES

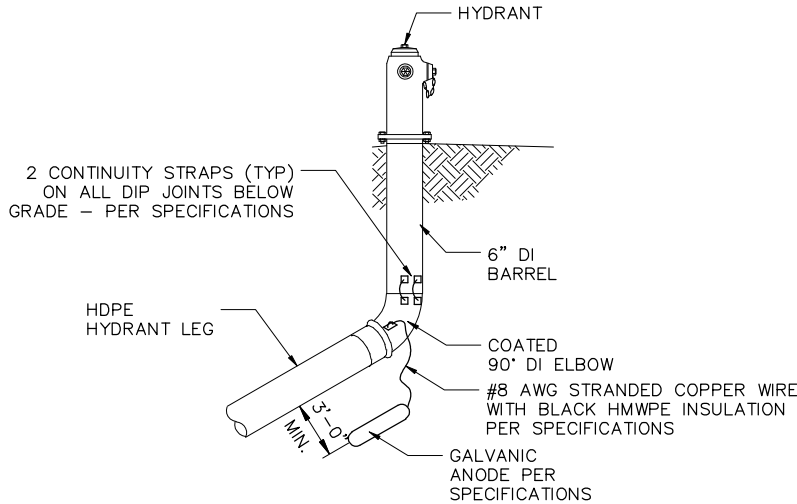
- 1. ANODES SHALL BE 18-LBS BARE WEIGHT ZINC WITH PREPACKAGED ANODE BACKFILL.
- 2. ACCEPTABLE ANODE MODELS ARE:
  - a.MODEL NO. ZUR-18 FROM FARWEST INDUSTRIES
  - b.MODEL S18 FROM MESA PRODUCTS
  - c.APPROVED EQUAL
- 3. INSTALL TYPE, SIZE, AND NUMBER OF ANODES SPECIFIED.
- 4. INSTALL 2 ANODES TO ALL CONNECTIONS TO EXISTING C.I. OR D.I. PIPE 12-INCH DIAMETER AND LARGER.
- 5. CONDUCTOR WIRE SHALL BE A MINIMUM OF 10- FEET IN LENGTH, SIZE #8 OR LARGER, AND INSULATED WITH HIGH MOLECULAR WEIGHT POLYETHYLENE (HMWPE).
- 6. PREPACKAGED ANODE SHALL BE SATURATED WITH WATER PRIOR TO BACKFILL.
- 7. ANODES SHALL BE PLACED IN NATIVE EARTH BACKFILL. DO NOT PLACE IN PIPE BEDDING MATERIAL.

THERMITE (EXOTERMIC) WELDING

- 1. THERMITE WELD MATERIALS SHALL BE DESIGNED FOR CONNECTION OF COPPER TO DUCTILE IRON AND CAST IRON SURFACES AND SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.
- 2. ACCEPTABLE MANUFACTURES OF THERMITE WELD PRODUCTS ARE:
  - a.CADWELD BY ERICO PRODUCTS INC.
  - b.THERMOWELD BY CONTINENTAL INDUSTRIES INC.
  - c.APPROVED EQUAL
- 3. A 2-INCH SQUARE AREA IN THE PIPE SURFACE SHALL BE GROUND CLEAN PER MANUFACTURERS RECOMMENDATIONS PRIOR TO THERMITE WELDING.
- 4. WIRE ENDS SHALL HAVE PROPER ADAPTER SLEEVES TO ENSURE PROPER BOND. #8 AWG SHALL HAVE ADAPTER SLEEVES SPECIFIED BY THERMITE WELD MANUFACTURER. FIELD INSTALLED SLEEVES SHALL HAVE WIRE CONDUCTOR EXTEND ¼-INCH BEYOND ENDS OF SLEEVE.
- 5. WIRE CONNECTION SHALL BE TESTED FOR INTEGRITY PRIOR TO COATING.
- 6. CONTINUITY STRAPS SHALL BE #2 AWG COPPER STRANDED WIRE WITH THW INSULATION AND SHALL BE ATTACHED TO THE PIPE BY THERMITE WELDING AND COATED AND SEALED AS DESCRIBED BELOW.

COATING AND SEALING

- 1. ALL THERMITE WELDS SHALL BE PROTECTED AND SEALED BY:
  - a.PREFABRICATED THERMITE WELD CAPS, SIZED ACCORDING TO WIRE SIZE, MINIMUM DIMENSIONS OF 4-INCH BY 4-INCH FILLED WITH ELASTOMERIC MASTIC COATING OR,
  - b.HEAT SHRINK SLEEVE PIPE ENCASEMENT AFTER COATING THERMITE WELD WITH ELASTOMERIC MASTIC COATING - HEAT SHRINK SLEEVE SHALL BE CANUSA AQUA SEAL OR APPROVED EQUAL.
- 2. ALL PIPE SURFACE COATING DAMAGED BEYOND THE WELD CAPS OR HEAT SHRINK SHALL BE COATED WITH PROTAL 7125 FROM DENSO NORTH AMERICA OR APPROVED EQUAL.



GALVANIC ANODE INSTALLATION AT HYDRANT ASSEMBLIES W/ HDPE

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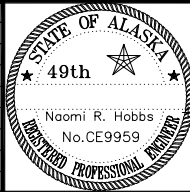
| SEWER SERVICE SUMMARY                                                                                                                                                                     |                   |                  |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|------------------|
| HOUSE NUMBER                                                                                                                                                                              | LOCATION          | COMMENTS         |
| #3000 BLUEBERRY                                                                                                                                                                           | 11+29.3, 32.23 LT | SEE NOTE 3       |
| #3000 GOODWIN                                                                                                                                                                             | 11+57.3, 28.02 RT | SEE NOTE 3 AND 4 |
| #3004 GOODWIN                                                                                                                                                                             | 12+07.5, 28.20 RT | SEE NOTE 3 AND 4 |
| #3005 GOODWIN                                                                                                                                                                             | 13+33.2, 32.42 LT | SEE NOTE 3       |
| #3008 GOODWIN                                                                                                                                                                             | 16+14.5, 26.96 RT | SEE NOTE 2 AND 4 |
| #3009 GOODWIN                                                                                                                                                                             | 16+09.8, 33.03 LT | SEE NOTE 3       |
| #3012 GOODWIN                                                                                                                                                                             | 16+16.2, 27.0 RT  | SEE NOTE 2 AND 4 |
| #3031 GOODWIN                                                                                                                                                                             | 16+59.0, 27.0 LT  | SEE NOTE 2       |
| USMS 59 TR B LUCY LODE                                                                                                                                                                    | 17+13.5, 7.21 RT  | SEE NOTE 2       |
| NOTES:                                                                                                                                                                                    |                   |                  |
| 1.) STATION AND OFFSET ARE GIVEN TO THE CENTER OF THE NEW CLEANOUT COVER.                                                                                                                 |                   |                  |
| 2.) INSTALL NEW 4" PVC SEWER SERVICE WITH CLEANOUT PER CBJ STANDARD DETAIL 213 AND CONNECT TO EXISTING SEWER SERVICE AT PROPERTY LINE.                                                    |                   |                  |
| 3.) INSTALL NEW CLEANOUT ON EXISTING SERVICE AT PROPERTY LINE PER DETAIL 4 SHEET 6.                                                                                                       |                   |                  |
| 4.) PRIOR TO INSTALLATION OF CLEANOUT, CONFIRM LOCATION OF PRESSURE SANITARY SEWER SERVICE LATERAL CONNECTION. INSTALL CLEANOUT WITHIN GRAVITY SERVICE A MINIMUM OF 1-FT FROM CONNECTION. |                   |                  |

| RECONSTRUCT MAILBOX TABLE                                                                                                                                                                                                                        |                   |                                    |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|------------------------------------|
| HOUSE NUMBER                                                                                                                                                                                                                                     | LOCATION          | COMMENTS                           |
| #3000 GOODWIN                                                                                                                                                                                                                                    | 11+33.3, 17.50 RT | 3.5' CANTILEVER ARM SINGLE MAILBOX |
| #3004 GOODWIN                                                                                                                                                                                                                                    | 12+14.0, 17.50 RT | 3.5' CANTILEVER ARM SINGLE MAILBOX |
| #3005 GOODWIN                                                                                                                                                                                                                                    | 13+10.2, 16.00 LT | 5.0' CANTILEVER ARM SINGLE MAILBOX |
| #3009 GOODWIN                                                                                                                                                                                                                                    | 15+67.8, 16.00 LT | 5.0' CANTILEVER ARM SINGLE MAILBOX |
| STATION AND OFFSET ARE GIVEN TO CENTER OF 4"x4" POST. CONTRACTOR SHALL STAKE MAILBOX POST LOCATION, FOR APPROVAL BY THE ENGINEER.                                                                                                                |                   |                                    |
| REINSTALL EXISTING MAILBOX AND NEWSPAPER RECEPTACLES TO NEW POST AND ARM ASSEMBLIES. IF THE RECEPTACLES ARE DAMAGED BY THE CONTRACTOR, NEW RECEPTACLES OF SAME SIZE, COLOR AND STYLE WITH NEW HOUSE NUMBERS SHALL BE PROVIDED BY THE CONTRACTOR. |                   |                                    |
| MAIL DELIVERY SERVICE SHALL NOT BE INTERRUPTED AND ACCESS TO EACH MAILBOX RECEPTACLE SHALL BE AVAILABLE TO THE UNITED STATES POSTAL SERVICE AND THE RESIDENTS AT ALL TIMES.                                                                      |                   |                                    |

| CATCH BASIN FRAME AND GRATE SUMMARY                                                                                                                                                                             |                                                                                  |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------|
| CATCH BASIN NO.                                                                                                                                                                                                 | EAST JORDAN IRON WORKS, OLYMPIC FOUNDRY CO., CBJ STANDARD No., OR APPROVED EQUAL |
| CB-1                                                                                                                                                                                                            | 7701 T2 HOOD W/T100 M1 GRATE                                                     |
| CB-2                                                                                                                                                                                                            | 7701 T2 HOOD W/T100 M1 GRATE                                                     |
| CB-3                                                                                                                                                                                                            | 7701 T2 HOOD W/T100 M1 GRATE                                                     |
| CB-4                                                                                                                                                                                                            | 7701 T2 HOOD W/T100 M1 GRATE                                                     |
| CB-5                                                                                                                                                                                                            | 7701 T2 HOOD W/T100 M1 GRATE                                                     |
| CB-6                                                                                                                                                                                                            | 7701 T2 HOOD W/T100 M1 GRATE                                                     |
| CB-7                                                                                                                                                                                                            | 7701 T2 HOOD W/T100 M1 GRATE                                                     |
| CATCH BASIN TOP SLAB OPENINGS SHALL BE DIMENSIONED TO FIT THE FRAME DIMENSIONS. ALL COVERS SHALL BE HEAVY DUTY CONSTRUCTION AND BICYCLE SAFE. ALL FRAMES AND GRATES SHALL BE DUCTILE IRON.                      |                                                                                  |
| LOCAL FLOW LINE DEPRESSION AT CATCH BASIN SHALL BE ¾", WITH 36" TRANSITIONS TO EACH SIDE OF THE FRAME, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.                                                               |                                                                                  |
| ALL FINISHED GRADES (FG) PROVIDED ARE TO THE FLOWLINE OF THE FRAME AT THE LONGITUDINAL CETER OF THE FRAME AFTER APPLICATION OF THE LOCALIZED DEPRESSION. FOR TYPE I CURB & GUTTER THE FG IS 0.56 BELOW THE TBC. |                                                                                  |

| WATER SERVICE SUMMARY                                                                                                                         |                   |                 |                                                           |
|-----------------------------------------------------------------------------------------------------------------------------------------------|-------------------|-----------------|-----------------------------------------------------------|
| HOUSE NUMBER                                                                                                                                  | LOCATION          | SIZE/TYPE       | COMMENTS                                                  |
| #3000 BLUEBERRY                                                                                                                               | 11+26.9, 34.27 LT | 1" POLY - SIDR7 | CTE                                                       |
| #3000 GOODWIN                                                                                                                                 | 11+59.7, 31.20 RT | 1" POLY - SIDR7 | CTE                                                       |
| #3004 GOODWIN                                                                                                                                 | 11+97.8, 25.98 RT | 1" POLY - SIDR7 | CTE                                                       |
| #3005 GOODWIN                                                                                                                                 | 13+22.5, 32.48 LT | 1" POLY - SIDR7 | CTE                                                       |
| #3008 GOODWIN                                                                                                                                 | 16+26.0, 26.92 RT | 1" POLY - SIDR7 | CTE                                                       |
| #3009 GOODWIN                                                                                                                                 | 16+23.8, 32.92 LT | 1" POLY - SIDR7 | CTE                                                       |
| #3012 GOODWIN                                                                                                                                 | 16+26.5, 26.92 RT | 1" POLY - SIDR7 | CONFIRM CTE OR INSTALL THREADED CAP FOR FUTURE CONNECTION |
| USMS 59 TR B LUCY LODE                                                                                                                        | 17+15.1, 2.26 RT  | 2" POLY - SIDR7 | INSTALL THREADED CAP FOR FUTURE CONNECTION                |
| INSTALL NEW WATER SERVICE, CURB STOP, AND CURB BOX PER CBJ STANDARD DETAIL 406A. STATION AND OFFSET ARE GIVEN TO THE CENTER OF THE VALVE BOX. |                   |                 |                                                           |

| REVISIONS |      |             |    |
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AECL848

www.dowl.com

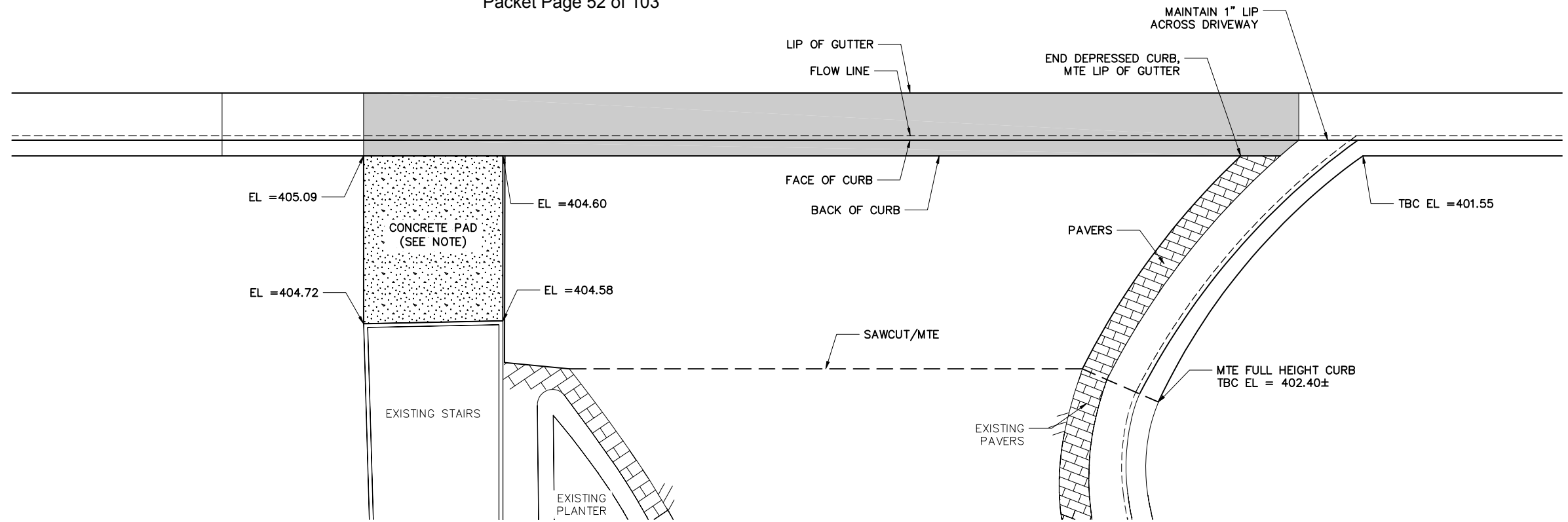
9085 Glacier Highway  
Juneau, Alaska 99801  
907-780-3533



GOODWIN ROAD RECONSTRUCTION  
E20-255

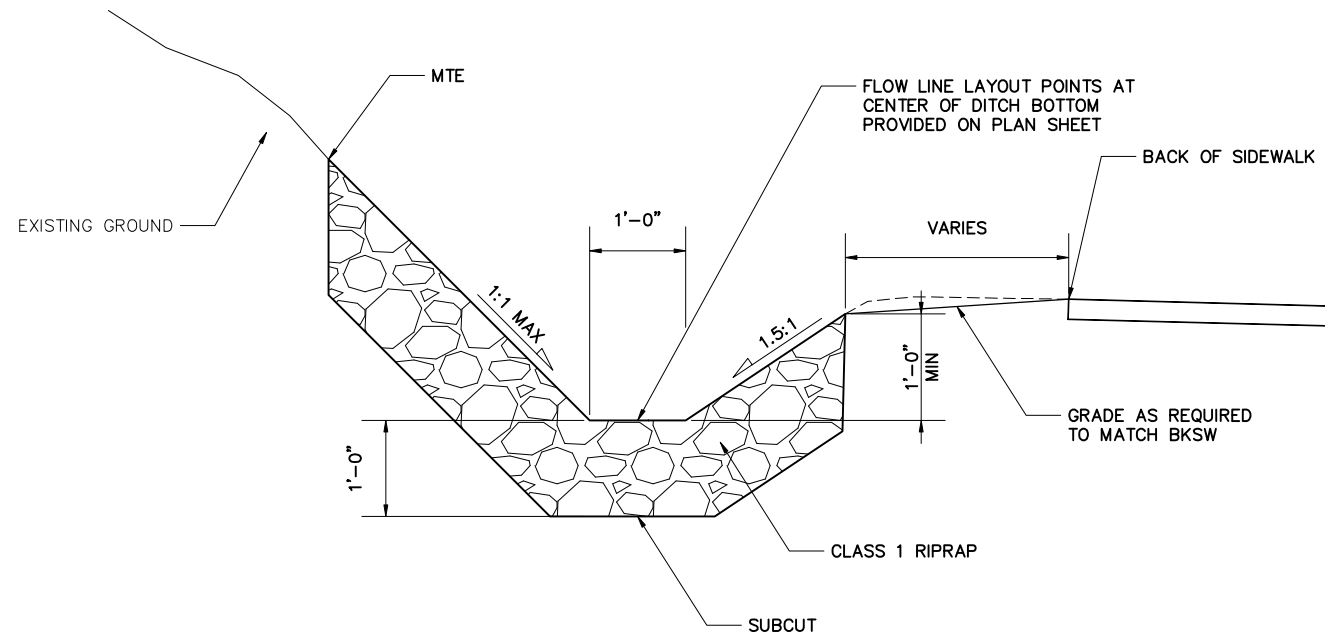
CORROSION PROTECTION DETAILS  
AND SUMMARY TABLES

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| PROJECT  | 71078.01   |
| DATE     | 11/10/2020 |
| SHEET    |            |
| 04 OF 14 |            |

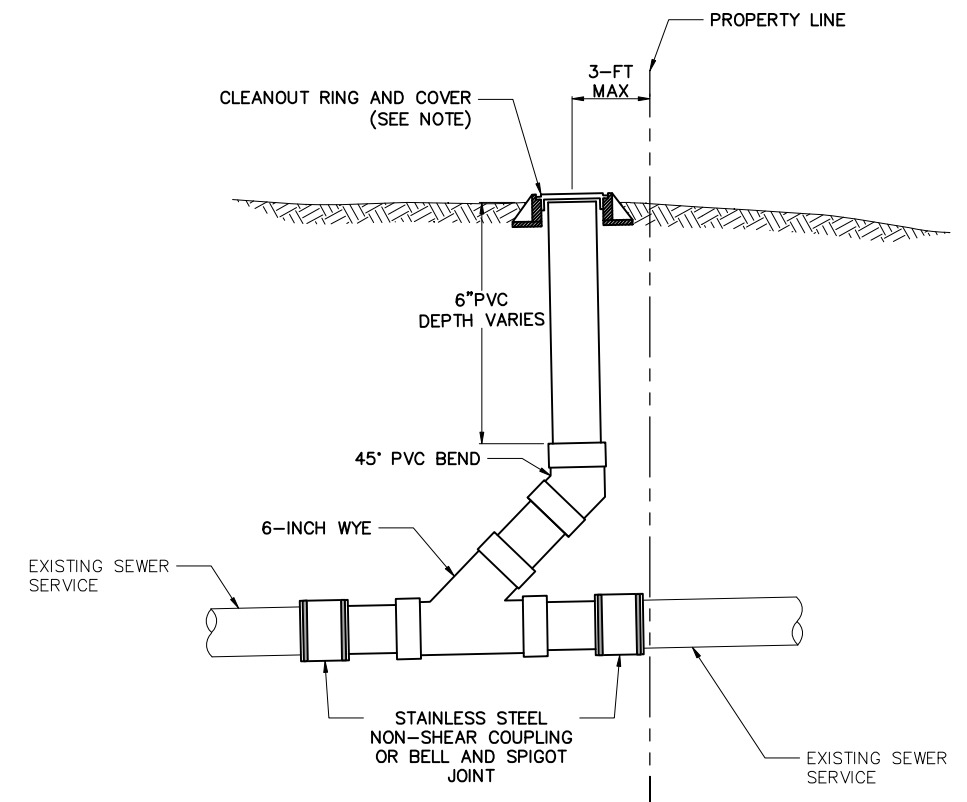


**1** #3000 MATCH TO EXISTING CURB  
NTS

NOTE: INSTALL 6" CONCRETE PAD ADJACENT TO EXISTING STAIRS.



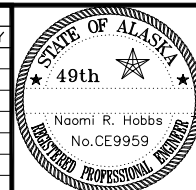
**2** ROCK LINED DITCH  
NTS



**3** SEWER CLEANOUT FOR EXISTING SERVICE  
NTS

NOTE: INSTALL PER STANDARD 205 MANHOLE HEIGHTS

| REVISIONS |      |             |    |
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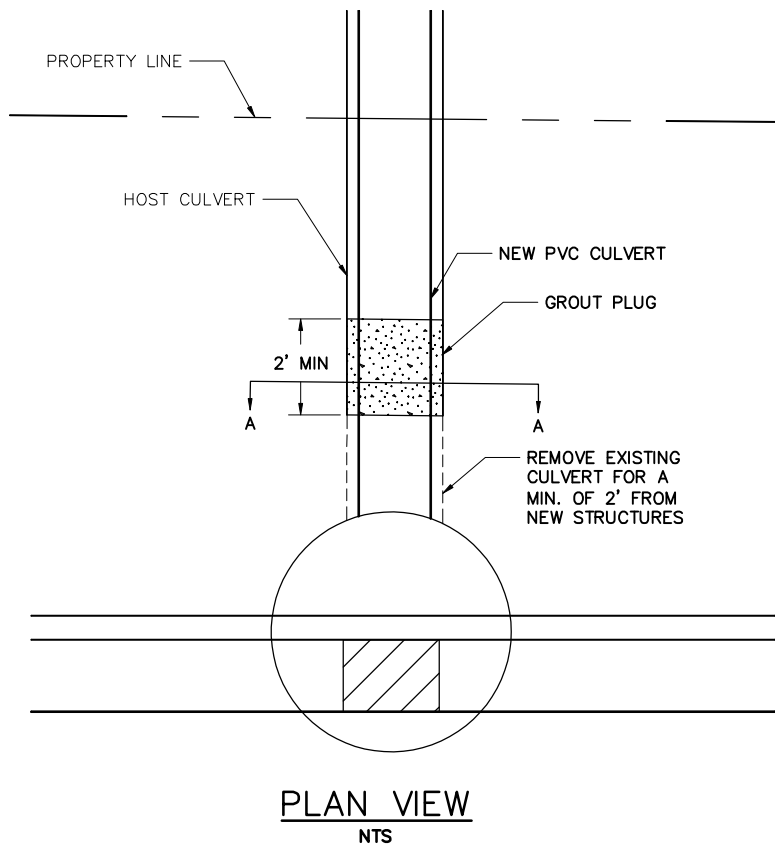


GOODWIN ROAD RECONSTRUCTION  
E20-255  
MISCELLANEOUS DETAILS

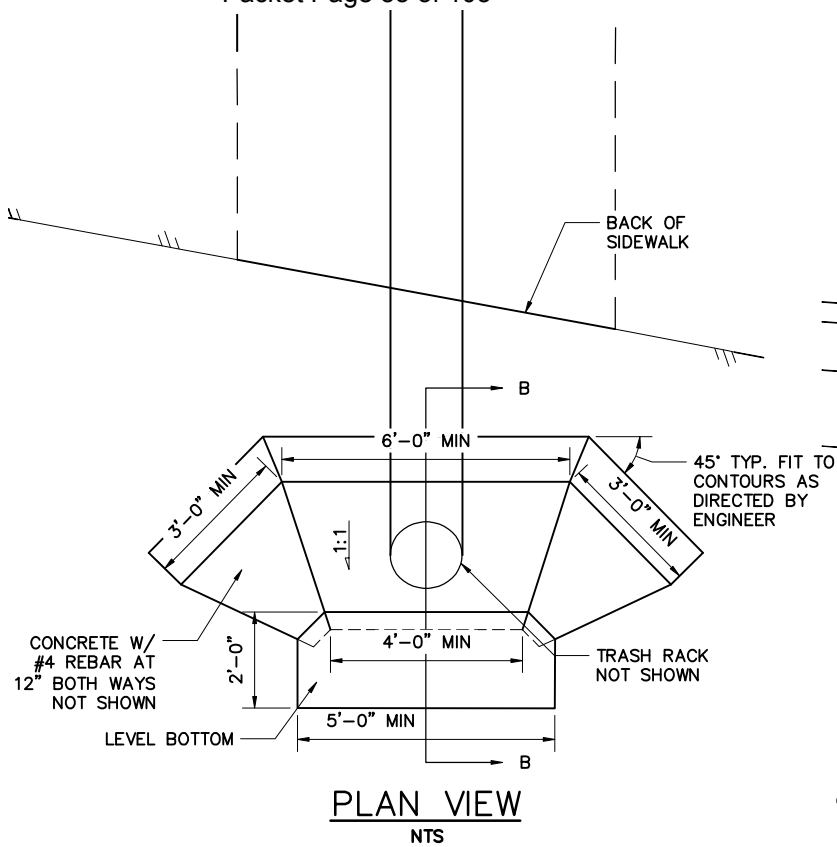
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| PROJECT | 71078.01   |
| DATE    | 11/10/2020 |
| SHEET   | 05 OF 14   |

\\JNU-FS\JNU-Projects\22\71078-01\65CAD\Civil\SA20-CT-DT-71078.dwg PLOT DATE 2020-11-10 11:48 SAVED DATE 2020-11-10 08:26 USER: csims

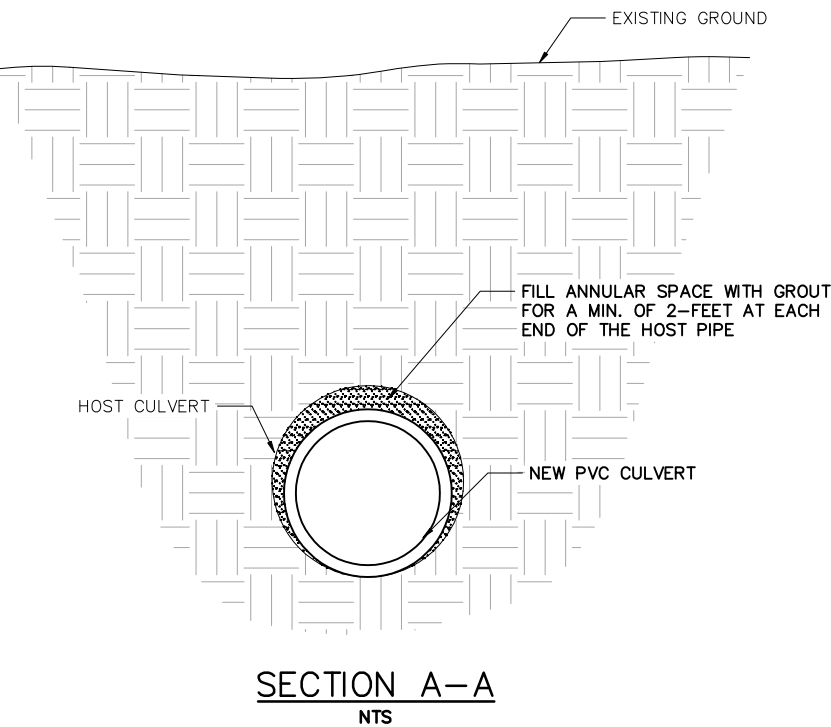




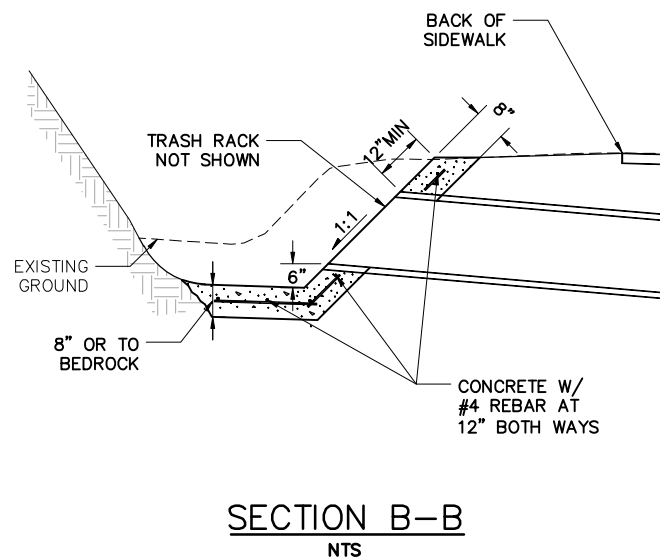
PLAN VIEW  
NTS



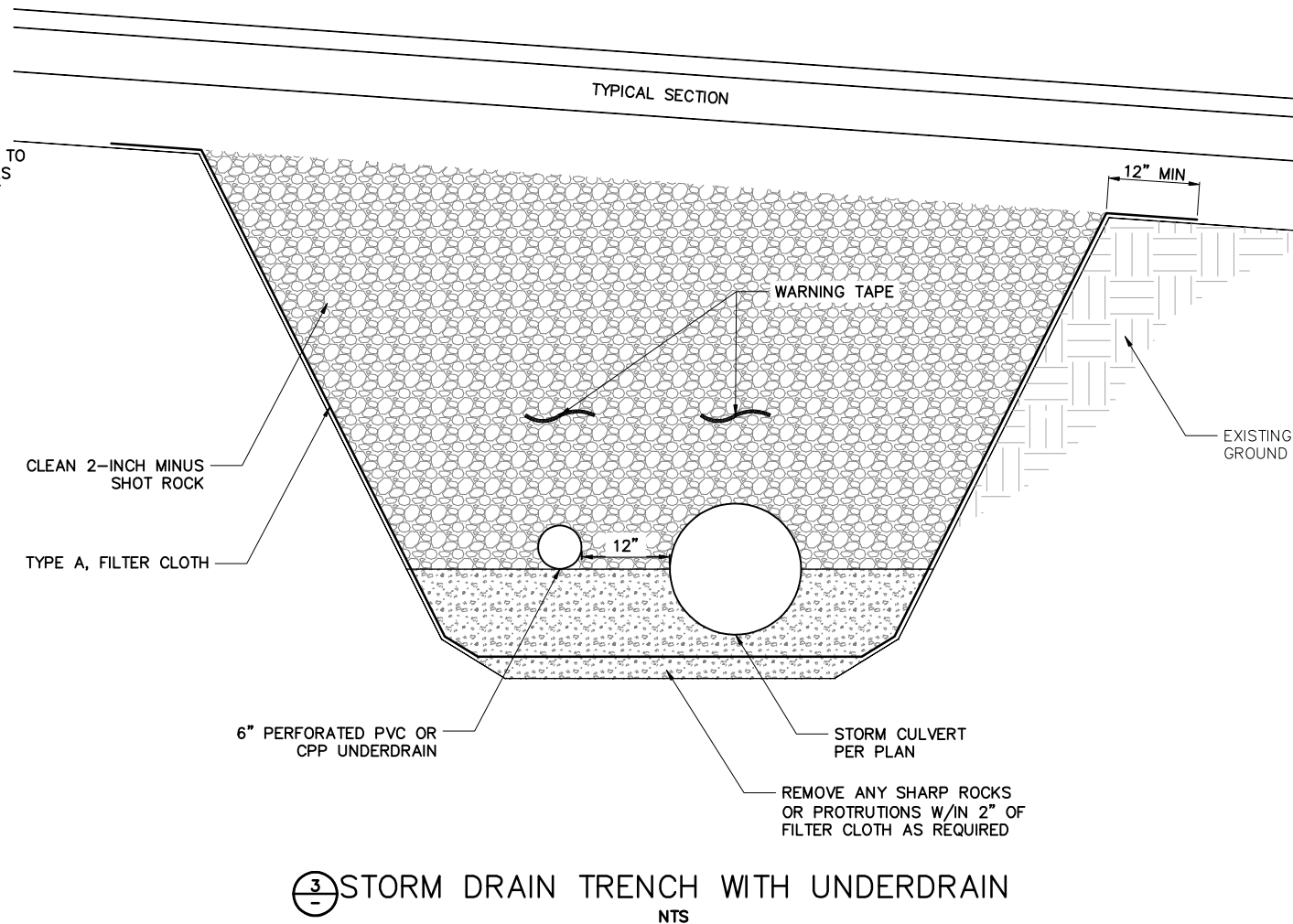
PLAN VIEW  
NTS



SECTION A-A  
NTS



SECTION B-B  
NTS



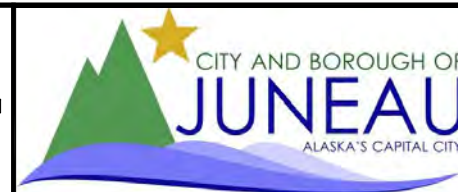
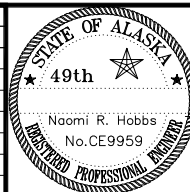
3 STORM DRAIN TRENCH WITH UNDERDRAIN  
NTS

1 STORM DRAIN - SLIPLINE  
NTS

2 CONCRETE HEADWALL WITH TRASHRACK  
NTS

NOTE: EXISTING CULVERT TO BE REMOVED A MINIMUM OF 2- FEET FROM NEW STRUCTURE. FOR CONNECTIONS TO EXISTING STRUCTURES, THE HOST PIPE SHALL NOT BE CUT BACK 2- FT.

| REVISIONS |      |             |    |
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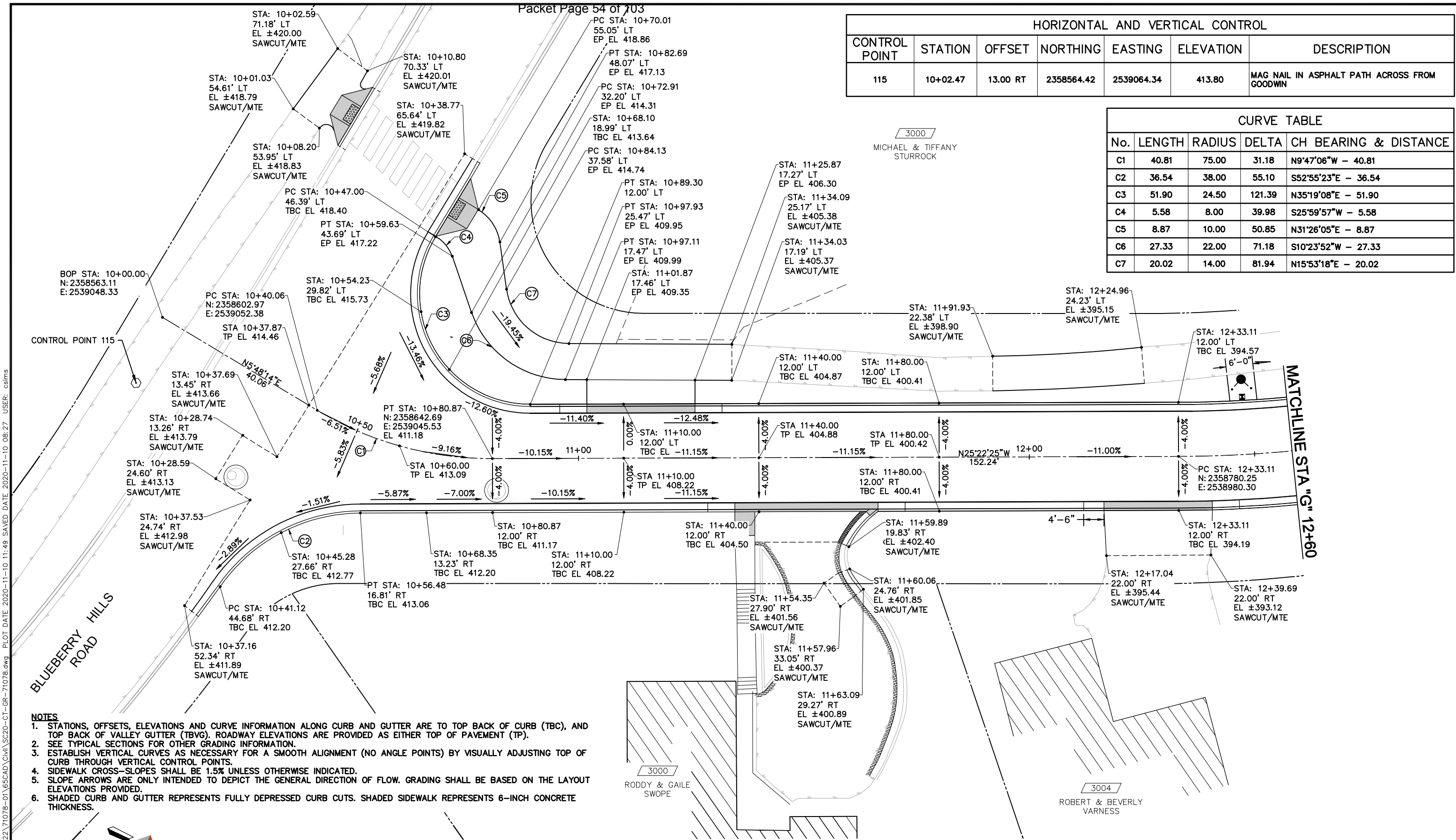


GOODWIN ROAD RECONSTRUCTION  
E20-255  
MISCELLANEOUS DETAILS

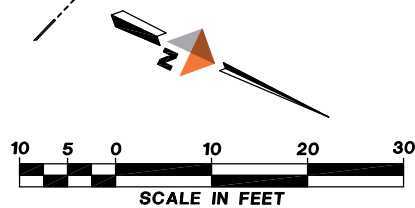
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| PROJECT | 71078.01   |
| DATE    | 11/10/2020 |
| SHEET   | 06 OF 14   |

| HORIZONTAL AND VERTICAL CONTROL |          |          |            |            |           |                                              |
|---------------------------------|----------|----------|------------|------------|-----------|----------------------------------------------|
| CONTROL POINT                   | STATION  | OFFSET   | NORTHING   | EASTING    | ELEVATION | DESCRIPTION                                  |
| 115                             | 10+02.47 | 13.00 RT | 2358564.42 | 2539064.34 | 413.80    | MAG NAIL IN ASPHALT PATH ACROSS FROM GOODWIN |

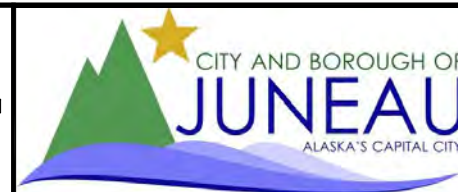
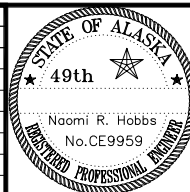
| CURVE TABLE |        |        |        |                       |
|-------------|--------|--------|--------|-----------------------|
| No.         | LENGTH | RADIUS | DELTA  | CH BEARING & DISTANCE |
| C1          | 40.81  | 75.00  | 31.18  | N9°47'06"W - 40.81    |
| C2          | 36.54  | 38.00  | 55.10  | S52°55'23"E - 36.54   |
| C3          | 51.90  | 24.50  | 121.39 | N35°19'08"E - 51.90   |
| C4          | 5.58   | 8.00   | 39.98  | S25°59'57"W - 5.58    |
| C5          | 8.87   | 10.00  | 50.85  | N31°26'05"E - 8.87    |
| C6          | 27.33  | 22.00  | 71.18  | S10°23'52"W - 27.33   |
| C7          | 20.02  | 14.00  | 81.94  | N15°53'18"E - 20.02   |



- NOTES**
1. STATIONS, OFFSETS, ELEVATIONS AND CURVE INFORMATION ALONG CURB AND GUTTER ARE TO TOP BACK OF CURB (TBC), AND TOP BACK OF VALLEY GUTTER (TBVG). ROADWAY ELEVATIONS ARE PROVIDED AS EITHER TOP OF PAVEMENT (TP), AND TOP BACK OF VALLEY GUTTER (TBVG). ROADWAY ELEVATIONS ARE PROVIDED AS EITHER TOP OF PAVEMENT (TP).
  2. SEE TYPICAL SECTIONS FOR OTHER GRADING INFORMATION.
  3. ESTABLISH VERTICAL CURVES AS NECESSARY FOR A SMOOTH ALIGNMENT (NO ANGLE POINTS) BY VISUALLY ADJUSTING TOP OF CURB THROUGH VERTICAL CONTROL POINTS.
  4. SIDEWALK CROSS-SLOPES SHALL BE 1.5% UNLESS OTHERWISE INDICATED.
  5. SLOPE ARROWS ARE ONLY INTENDED TO DEPICT THE GENERAL DIRECTION OF FLOW. GRADING SHALL BE BASED ON THE LAYOUT ELEVATIONS PROVIDED.
  6. SHADED CURB AND GUTTER REPRESENTS FULLY DEPRESSED CURB CUTS. SHADED SIDEWALK REPRESENTS 6-INCH CONCRETE THICKNESS.



| REVISIONS |      |             |    |
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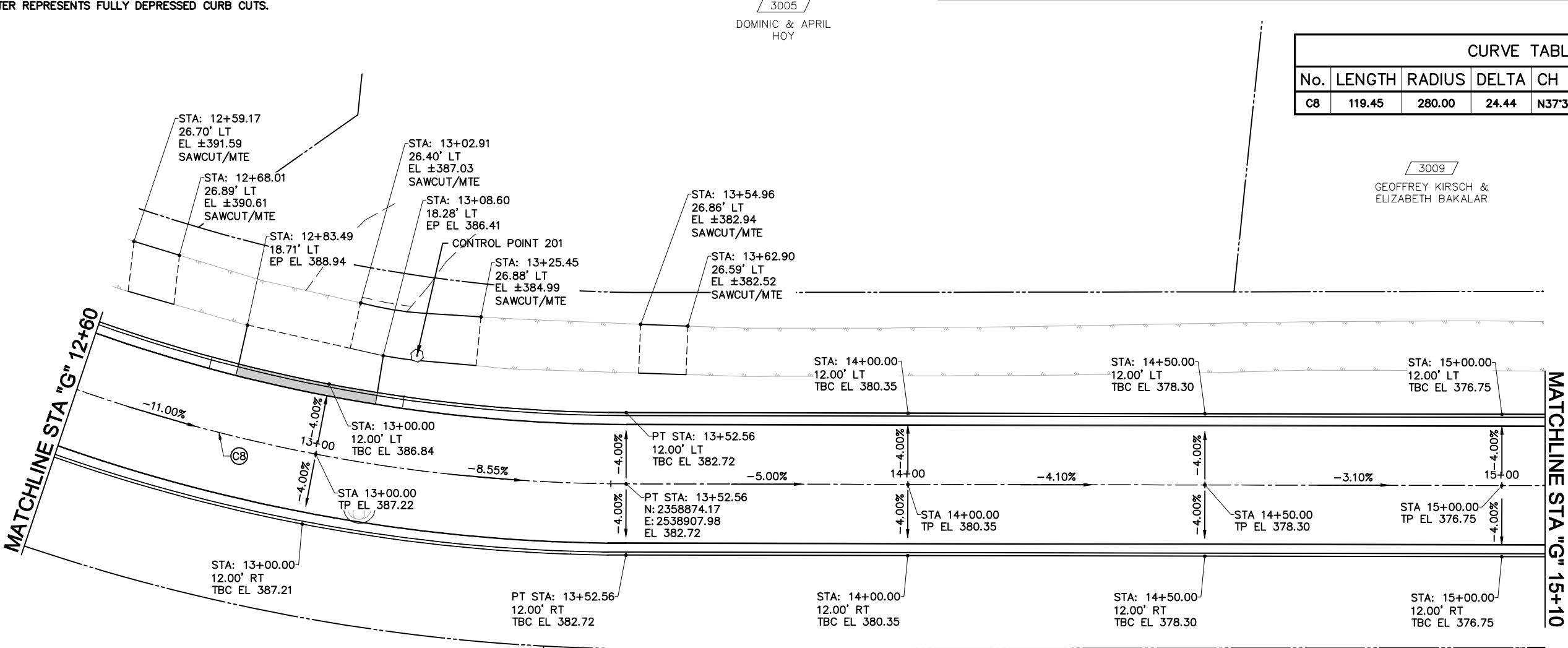
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| GOODWIN ROAD RECONSTRUCTION<br>E20-255                                                                      |  | PROJECT 71078.01<br>DATE 11/10/2020 |
| HORIZONTAL AND VERTICAL CONTROL<br>CURB AND GUTTER LAYOUT AND GRADES<br>BLUEBERRY HILLS RD TO STA "G" 12+60 |  | SHEET<br>07 OF 14                   |

NOTES

1. STATIONS, OFFSETS, ELEVATIONS AND CURVE INFORMATION ALONG CURB AND GUTTER ARE TO TOP BACK OF CURB (TBC), AND TOP BACK OF VALLEY GUTTER (TBVG). ROADWAY ELEVATIONS ARE PROVIDED AS EITHER TOP OF PAVEMENT (TP)..
2. SEE TYPICAL SECTIONS FOR OTHER GRADING INFORMATION.
3. ESTABLISH VERTICAL CURVES AS NECESSARY FOR A SMOOTH ALIGNMENT (NO ANGLE POINTS) BY VISUALLY ADJUSTING TOP OF CURB THROUGH VERTICAL CONTROL POINTS.
4. SIDEWALK CROSS-SLOPES SHALL BE 1.5% UNLESS OTHERWISE INDICATED.
5. SLOPE ARROWS ARE ONLY INTENDED TO DEPICT THE GENERAL DIRECTION OF FLOW. GRADING SHALL BE BASED ON THE LAYOUT ELEVATIONS PROVIDED.
6. SHADED CURB AND GUTTER REPRESENTS FULLY DEPRESSED CURB CUTS.

| HORIZONTAL AND VERTICAL CONTROL |          |          |            |            |           |                          |
|---------------------------------|----------|----------|------------|------------|-----------|--------------------------|
| CONTROL POINT                   | STATION  | OFFSET   | NORTHING   | EASTING    | ELEVATION | DESCRIPTION              |
| 201                             | 13+16.72 | 21.50 LT | 2358835.26 | 2538920.56 | 385.75    | MAG NAIL IN ASPHALT PATH |

| CURVE TABLE |        |        |       |                       |
|-------------|--------|--------|-------|-----------------------|
| No.         | LENGTH | RADIUS | DELTA | CH BEARING & DISTANCE |
| C8          | 119.45 | 280.00 | 24.44 | N37°35'41"W - 119.45  |

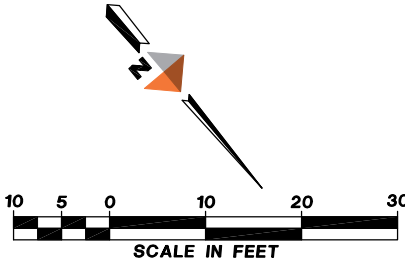


3005  
DOMINIC & APRIL  
HOY

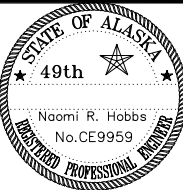
3009  
GEOFFREY KIRSCH &  
ELIZABETH BAKALAR

3004  
ROBERT & BEVERLY  
VARNES

3008  
KELLIE & SHAUN  
LEWIS



| REVISIONS |      |             |    |
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GOODWIN ROAD RECONSTRUCTION  
E20-255  
HORIZONTAL AND VERTICAL CONTROL  
CURB AND GUTTER LAYOUT AND GRADES  
STA "G" 12+60 TO STA "G" 15+10

|         |            |
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| PROJECT | 71078.01   |
| DATE    | 11/10/2020 |
| SHEET   | 08 OF 14   |

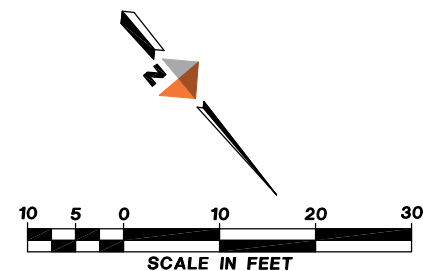
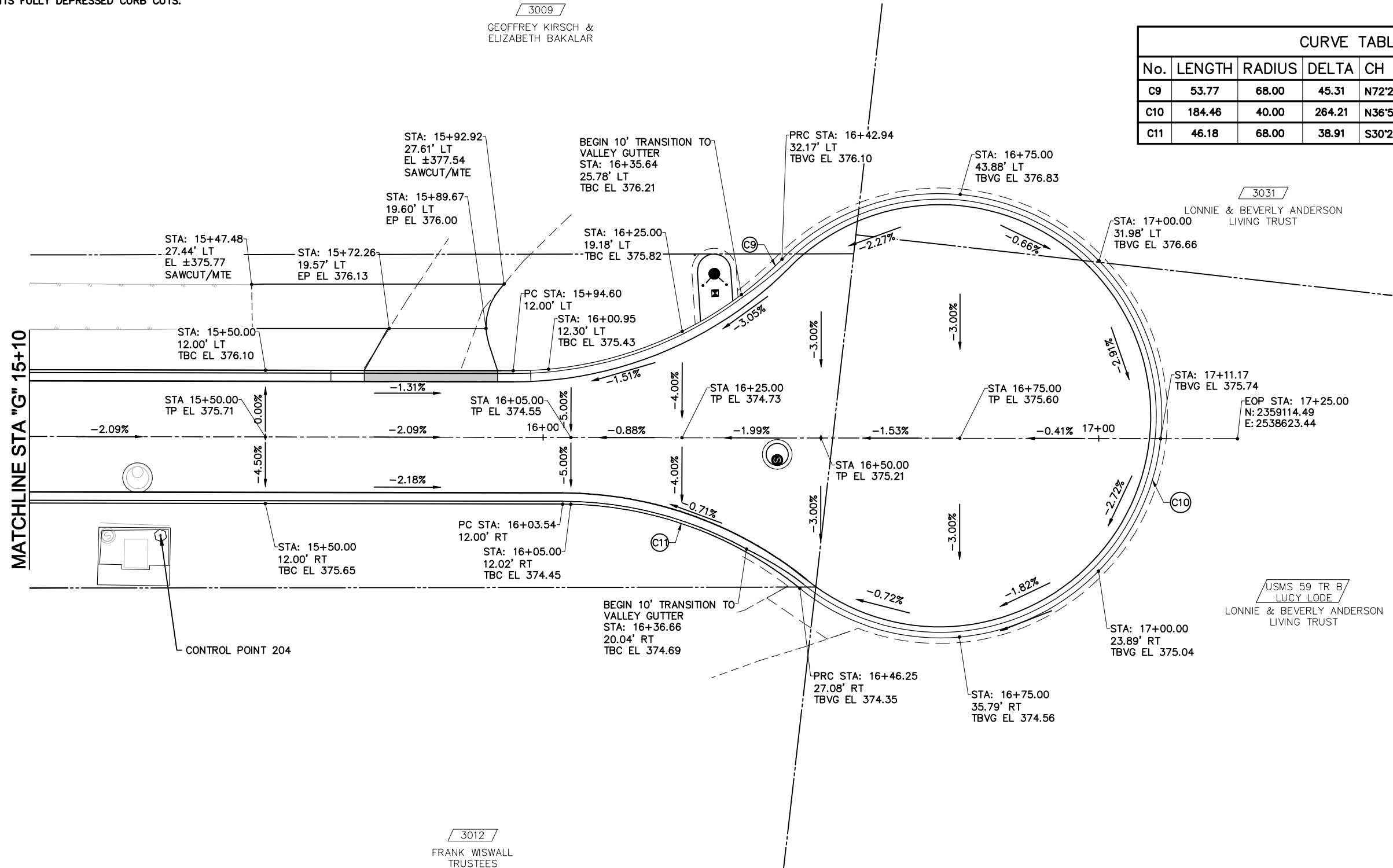
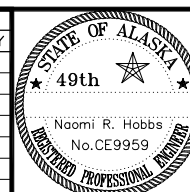


## NOTES

1. STATIONS, OFFSETS, ELEVATIONS AND CURVE INFORMATION ALONG CURB AND GUTTER ARE TO TOP BACK OF CURB (TBC), AND TOP BACK OF VALLEY GUTTER (TBVG). ROADWAY ELEVATIONS ARE PROVIDED AS EITHER TOP OF PAVEMENT (TP).
2. SEE TYPICAL SECTIONS FOR OTHER GRADING INFORMATION.
3. ESTABLISH VERTICAL CURVES AS NECESSARY FOR A SMOOTH ALIGNMENT (NO ANGLE POINTS) BY VISUALLY ADJUSTING TOP OF CURB THROUGH VERTICAL CONTROL POINTS.
4. SIDEWALK CROSS-SLOPES SHALL BE 1.5% UNLESS OTHERWISE INDICATED.
5. SLOPE ARROWS ARE ONLY INTENDED TO DEPICT THE GENERAL DIRECTION OF FLOW. GRADING SHALL BE BASED ON THE LAYOUT ELEVATIONS PROVIDED.
6. SHADED CURB AND GUTTER REPRESENTS FULLY DEPRESSED CURB CUTS.

| HORIZONTAL AND VERTICAL CONTROL |          |           |            |            |           |                                          |
|---------------------------------|----------|-----------|------------|------------|-----------|------------------------------------------|
| CONTROL POINT                   | STATION  | OFFSET    | NORTHING   | EASTING    | ELEVATION | DESCRIPTION                              |
| 204                             | 15+33.60 | 15.52' RT | 2359003.31 | 2538783.27 | 375.79    | MAG NAIL IN CONCRETE PAD AT LIFT STATION |

| CURVE TABLE |        |        |        |                       |
|-------------|--------|--------|--------|-----------------------|
| No.         | LENGTH | RADIUS | DELTA  | CH BEARING & DISTANCE |
| C9          | 53.77  | 68.00  | 45.31  | N72°28'09"W – 53.77   |
| C10         | 184.46 | 40.00  | 264.21 | N36°59'03"E – 184.46  |
| C11         | 46.18  | 68.00  | 38.91  | S30°21'45"E – 46.18   |

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GOODWIN ROAD RECONSTRUCTION  
E20-255  
HORIZONTAL AND VERTICAL CONTROL  
CURB AND GUTTER LAYOUT AND GRADES  
STA "G" 15+10 TO EOP

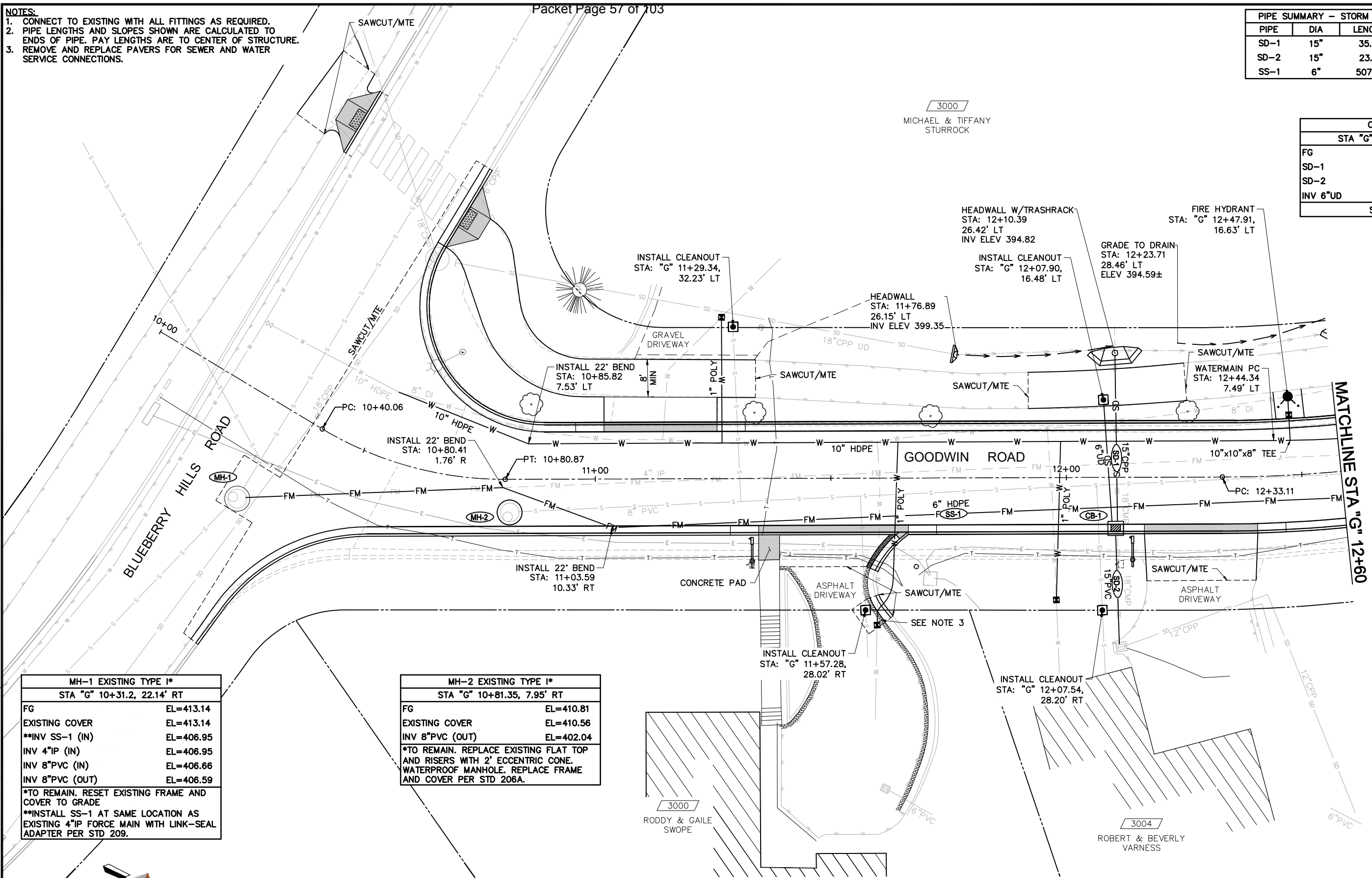
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| PROJECT   | 71078.01     |
| DATE      | 11/10/2020   |
|           |              |
|           |              |
| SHEET     |              |
| <b>09</b> | <b>OF 14</b> |

1. CONNECT TO EXISTING WITH ALL FITTINGS AS REQUIRED.
2. PIPE LENGTHS AND SLOPES SHOWN ARE CALCULATED TO ENDS OF PIPE. PAY LENGTHS ARE TO CENTER OF STRUCTURE.
3. REMOVE AND REPLACE PAVERS FOR SEWER AND WATER SERVICE CONNECTIONS.

3000  
MICHAEL & TIFFANY  
STURROCK

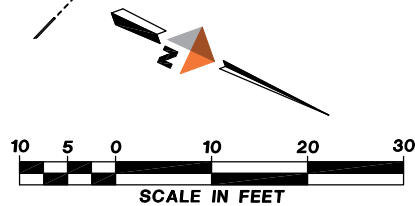
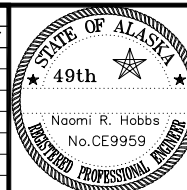
| PIPE SUMMARY -- STORM SEWER AND SANITARY SEWER |     |        |      |          |
|------------------------------------------------|-----|--------|------|----------|
| PIPE                                           | DIA | LENGTH | TYPE | SLOPE    |
| SD-1                                           | 15" | 35.8'  | CPP  | 0.030    |
| SD-2                                           | 15" | 23.1'  | PVC  | SLIPLINE |
| SS-1                                           | 6"  | 507.7' | HDPE | VARIES   |

| CB-1, TYPE IV              |           |
|----------------------------|-----------|
| STA "6" 12+10.4, 12.00' RT |           |
| FG                         | EL=396.50 |
| SD-1                       | EL=393.75 |
| SD-2                       | EL=392.75 |
| INV 6"UD                   | EL=393.95 |
| SUMP 16" MIN               |           |



| MH-1 EXISTING TYPE I*                                                                           |           |
|-------------------------------------------------------------------------------------------------|-----------|
| STA "G" 10+31.2, 22.14' RT                                                                      |           |
| FG                                                                                              | EL=413.14 |
| EXISTING COVER                                                                                  | EL=413.14 |
| **INV SS-1 (IN)                                                                                 | EL=406.95 |
| INV 4"IP (IN)                                                                                   | EL=406.95 |
| INV 8"PVC (IN)                                                                                  | EL=406.66 |
| INV 8"PVC (OUT)                                                                                 | EL=406.59 |
| *TO REMAIN. RESET EXISTING FRAME AND COVER TO GRADE                                             |           |
| **INSTALL SS-1 AT SAME LOCATION AS EXISTING 4"IP FORCE MAIN WITH LINK-SEAL ADAPTER PER STD 209. |           |

|                                                                                                                                             |           |
|---------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| MH-2 EXISTING TYPE 1*                                                                                                                       |           |
| STA "G" 10+81.35, 7.95' RT                                                                                                                  |           |
| FG                                                                                                                                          | EL=410.81 |
| EXISTING COVER                                                                                                                              | EL=410.56 |
| INV 8" PVC (OUT)                                                                                                                            | EL=402.04 |
| *TO REMAIN. REPLACE EXISTING FLAT TOP<br>AND RISERS WITH 2' ECCENTRIC CONE.<br>WATERPROOF MANHOLE. REPLACE FRAME<br>AND COVER PER STD 206A. |           |

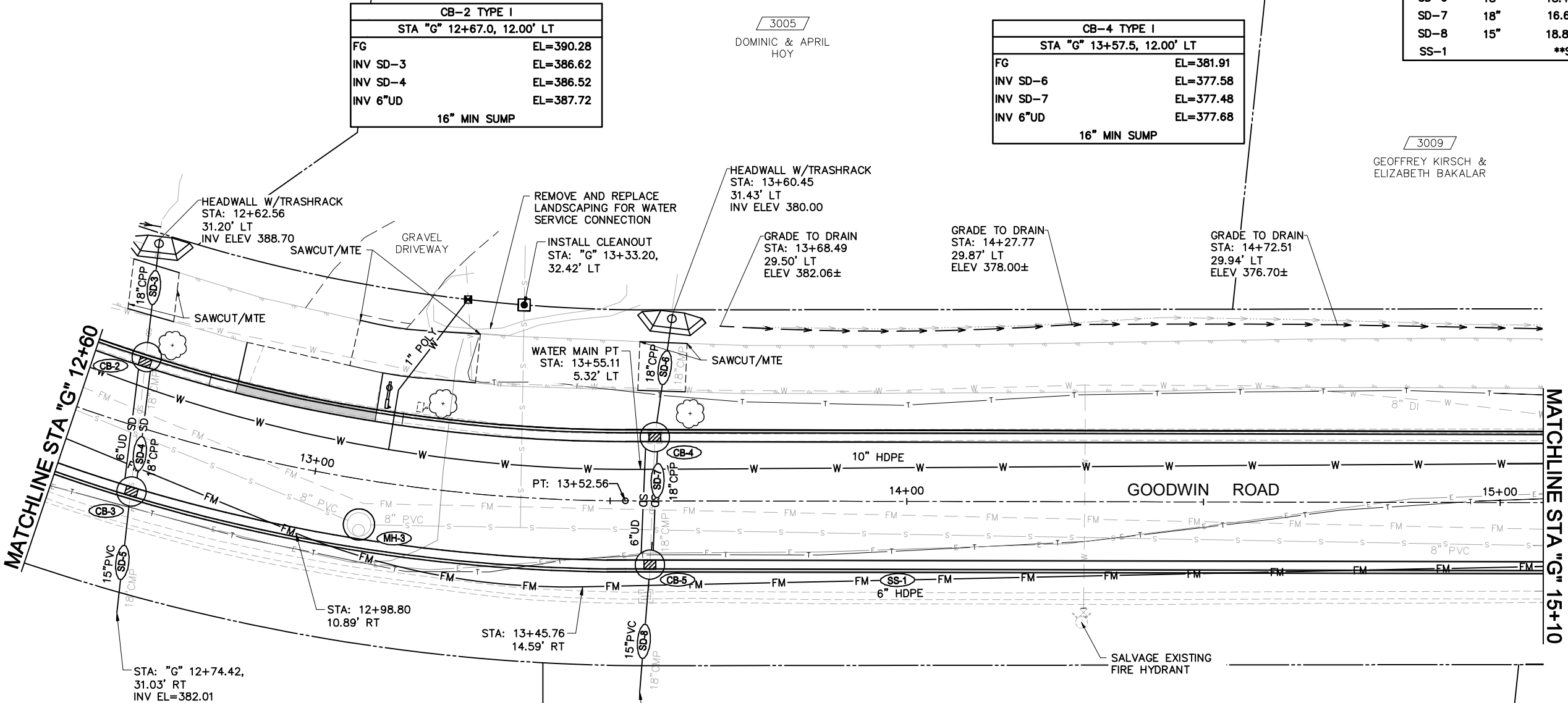
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GOODWIN ROAD RECONSTRUCTION  
E20-255  
PLAN - GOODWIN ROAD  
BLUEBERRY HILLS RD TO STA "G" 12+60

PROJECT 71078.01  
DATE 11/10/2020

- NOTES:
1. CONNECT TO EXISTING WITH ALL FITTINGS AS REQUIRED.
  2. PIPE LENGTHS AND SLOPES SHOWN ARE CALCULATED TO ENDS OF PIPE. PAY LENGTHS ARE TO CENTER OF STRUCTURE.

| PIPE SUMMARY - STORM SEWER AND SANITARY SEWER |     |                  |      |          |
|-----------------------------------------------|-----|------------------|------|----------|
| PIPE                                          | DIA | LENGTH           | TYPE | SLOPE    |
| SD-3                                          | 18" | 17.5'            | CPP  | 0.119    |
| SD-4                                          | 18" | 18.1'            | CPP  | 0.089    |
| SD-5                                          | 15" | 18.1'            | PVC  | SLIPLINE |
| SD-6                                          | 18" | 18.4'            | CPP  | 0.131    |
| SD-7                                          | 18" | 16.6             | CPP  | 0.131    |
| SD-8                                          | 15" | 18.8'            | PVC  | SLIPLINE |
| SS-1                                          |     | **SEE SHEET 11** |      |          |



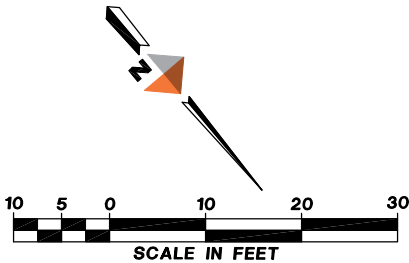
| CB-3 TYPE I               |           |
|---------------------------|-----------|
| STA "G" 12+71.3, 12.00 RT |           |
| FG                        | EL=389.81 |
| INV SD-4                  | EL=384.92 |
| INV SD-5                  | EL=383.92 |
| INV 6"UD                  | EL=385.12 |
| 16" MIN SUMP              |           |

| MH-3 EXISTING TYPE I*                                                                                   |           |
|---------------------------------------------------------------------------------------------------------|-----------|
| STA "G" 13+08.8, 8.58' RT                                                                               |           |
| FG                                                                                                      | EL=386.12 |
| EXISTING COVER                                                                                          | EL=385.90 |
| INV 8"PVC (IN)                                                                                          | EL=380.15 |
| INV 8"PVC (OUT)                                                                                         | EL=379.97 |
| *TO REMAIN. REPLACE EXISTING FRAME AND COVER. WATERPROOF MANHOLE. REPLACE FRAME AND COVER PER STD 206A. |           |

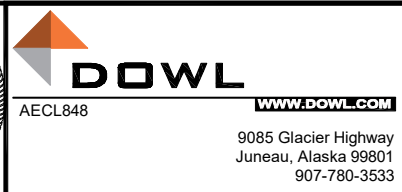
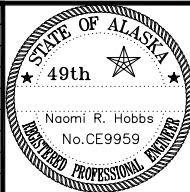
| CB-5 TYPE I                |           |
|----------------------------|-----------|
| STA "G" 13+56.7, 12.00' RT |           |
| FG                         | EL=381.95 |
| INV SD-7                   | EL=375.29 |
| INV SD-8                   | EL=374.29 |
| INV 6"UD                   | EL=375.49 |
| 16" MIN SUMP               |           |

3004  
ROBERT & BEVERLY  
VARNES

3008  
KELLIE & SHAUN  
LEWIS



| REVISIONS |      |             |    |
|-----------|------|-------------|----|
| REV       | DATE | DESCRIPTION | BY |
|           |      |             |    |
|           |      |             |    |
|           |      |             |    |
|           |      |             |    |



GOODWIN ROAD RECONSTRUCTION  
E20-255  
PLAN - GOODWIN ROAD  
STA "G" 12+60 TO STA "G" 15+10

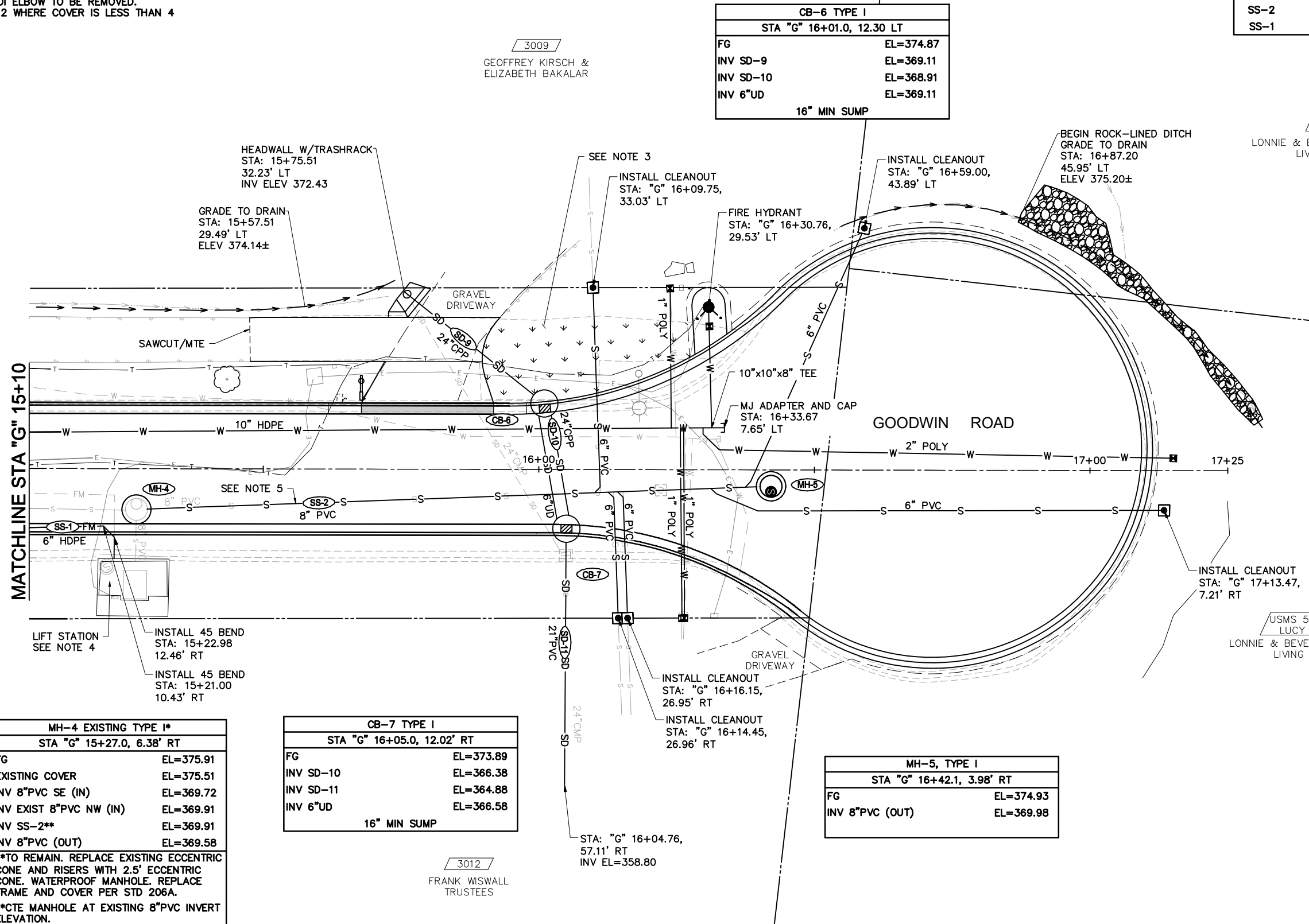
|         |            |
|---------|------------|
| PROJECT | 71078.01   |
| DATE    | 11/10/2020 |
| SHEET   | 11 OF 14   |



- NOTES:
1. CONNECT TO EXISTING WITH ALL FITTINGS AS REQUIRED.
  2. PIPE LENGTHS AND SLOPES SHOWN ARE CALCULATED TO ENDS OF PIPE. PAY LENGTHS ARE TO CENTER OF STRUCTURE.
  3. REMOVE EXISTING ASPHALT, REPLACE WITH 3" OF TOPSOIL WITH SEEDING. GRADE TO DRAIN.
  4. CONNECT SS-1 TO EXISTING VERTICAL 4-IN DI FLANGE WITHIN PUMP STATION VALVE VAULT. EXISTING 45' DI ELBOW TO BE REMOVED.
  5. INSTALL 2-IN INSULATION ABOVE SS-2 WHERE COVER IS LESS THAN 4 FEET.

Packet Page 59 of 103

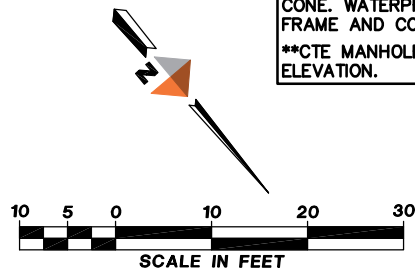
| PIPE SUMMARY - STORM SEWER AND SANITARY SEWER |                  |        |      |          |
|-----------------------------------------------|------------------|--------|------|----------|
| PIPE                                          | DIA              | LENGTH | TYPE | SLOPE    |
| SD-9                                          | 24"              | 30.0'  | CPP  | 0.107    |
| SD-10                                         | 24"              | 18.4'  | CPP  | 0.139    |
| SD-11                                         | 21"              | 43.8'  | PVC  | SLIPLINE |
| SS-2                                          | 8"               | 109.9' | PVC  | 0.005    |
| SS-1                                          | **SEE SHEET 11** |        |      |          |



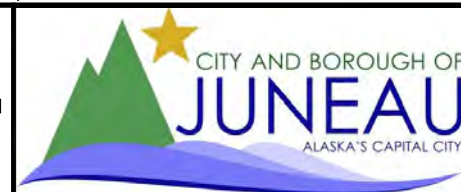
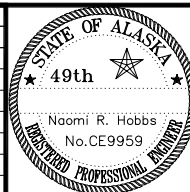
| MH-4 EXISTING TYPE I*                                                                                                                       |           |
|---------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| STA "G" 15+27.0, 6.38' RT                                                                                                                   |           |
| FG                                                                                                                                          | EL=375.91 |
| EXISTING COVER                                                                                                                              | EL=375.51 |
| INV 8"PVC SE (IN)                                                                                                                           | EL=369.72 |
| INV EXIST 8"PVC NW (IN)                                                                                                                     | EL=369.91 |
| INV SS-2**                                                                                                                                  | EL=369.91 |
| INV 8"PVC (OUT)                                                                                                                             | EL=369.58 |
| **TO REMAIN. REPLACE EXISTING ECCENTRIC CONE AND RISERS WITH 2.5' ECCENTRIC CONE. WATERPROOF MANHOLE. REPLACE FRAME AND COVER PER STD 206A. |           |
| **CTE MANHOLE AT EXISTING 8"PVC INVERT ELEVATION.                                                                                           |           |

| CB-7 TYPE I                |           |
|----------------------------|-----------|
| STA "G" 16+05.0, 12.02' RT |           |
| FG                         | EL=373.89 |
| INV SD-10                  | EL=366.38 |
| INV SD-11                  | EL=364.88 |
| INV 6"UD                   | EL=366.58 |
| 16" MIN SUMP               |           |

| MH-5, TYPE I              |           |
|---------------------------|-----------|
| STA "G" 16+42.1, 3.98' RT |           |
| FG                        | EL=374.93 |
| INV 8"PVC (OUT)           | EL=369.98 |

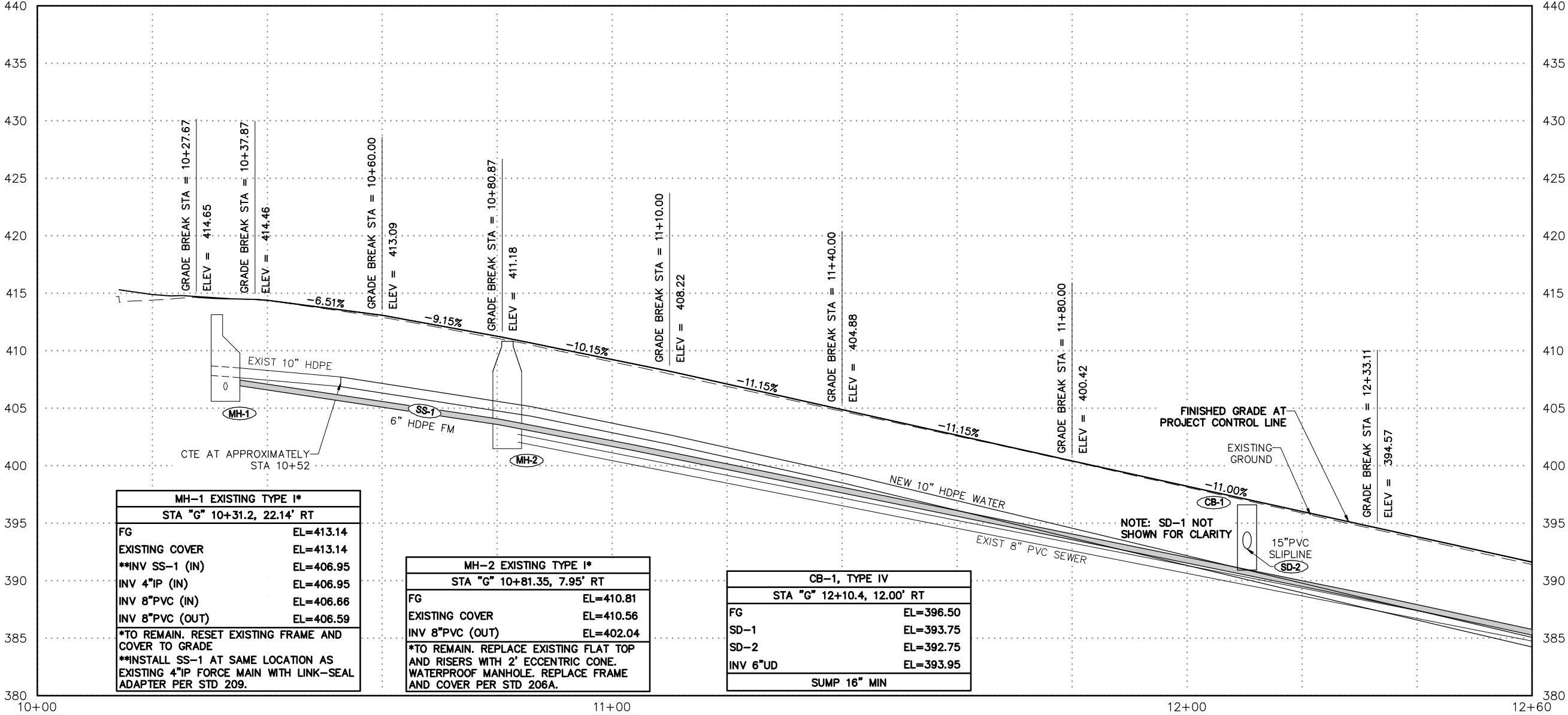


| REVISIONS |      |             |    |
|-----------|------|-------------|----|
| REV       | DATE | DESCRIPTION | BY |
|           |      |             |    |
|           |      |             |    |
|           |      |             |    |
|           |      |             |    |



GOODWIN ROAD RECONSTRUCTION  
E20-255  
PLAN - GOODWIN ROAD  
STA "G" 15+10 TO EOP

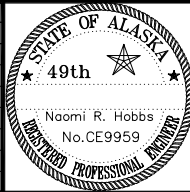
|         |            |
|---------|------------|
| PROJECT | 71078.01   |
| DATE    | 11/10/2020 |
| SHEET   |            |
| 12      | OF 14      |



BLUEBERRY HILLS ROAD TO STA "G" 12+60

- NOTES:
- 1. SERVICES AND 6" UNDERDRAINS NOT SHOWN FOR CLARITY.
  - 2. LONGITUDINAL RUN OF UTILITIES NOT SHOWN FOR CLARITY.
  - 3. HEADWALLS NOT SHOWN FOR CLARITY.

| REVISIONS |      |             |    |
|-----------|------|-------------|----|
| REV       | DATE | DESCRIPTION | BY |
|           |      |             |    |
|           |      |             |    |
|           |      |             |    |
|           |      |             |    |
|           |      |             |    |



AECL848

www.dowl.com

9085 Glacier Highway  
Juneau, Alaska 99801  
907-780-3533

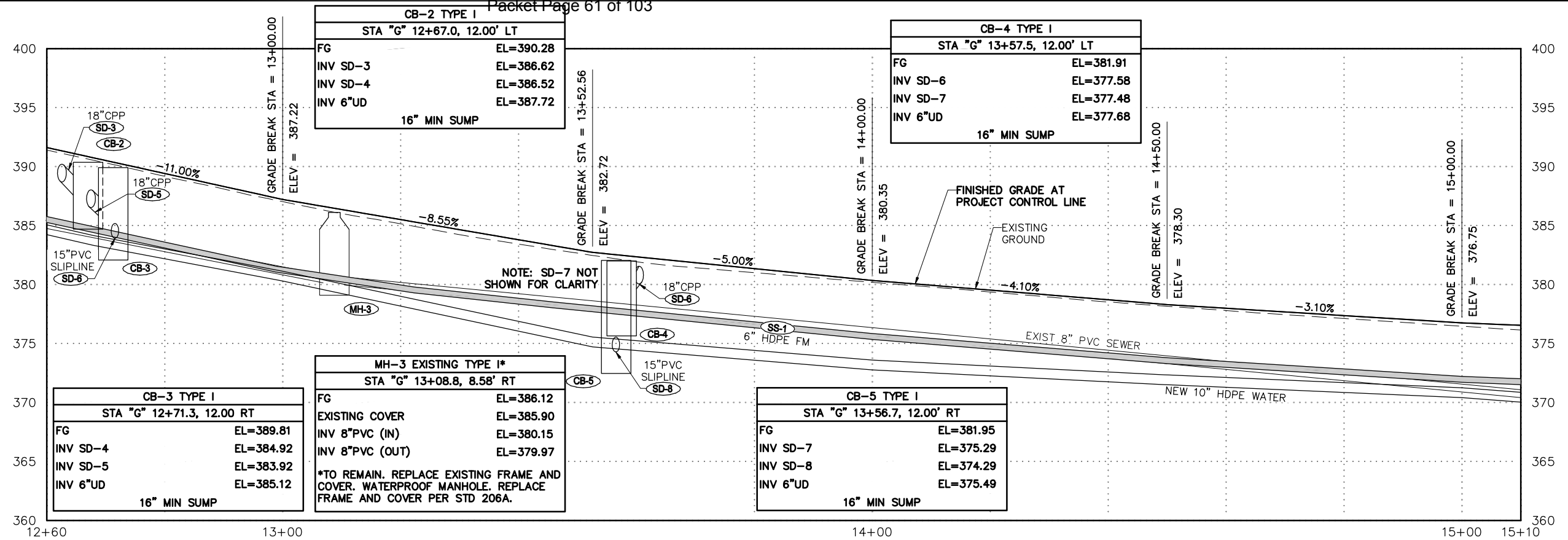


GOODWIN ROAD RECONSTRUCTION  
E20-255

PROFILE - GOODWIN ROAD  
BLUEBERRY TO STA "G" 12+60

|         |            |
|---------|------------|
| PROJECT | 71078.01   |
| DATE    | 11/10/2020 |
| SHEET   | 13 OF 14   |

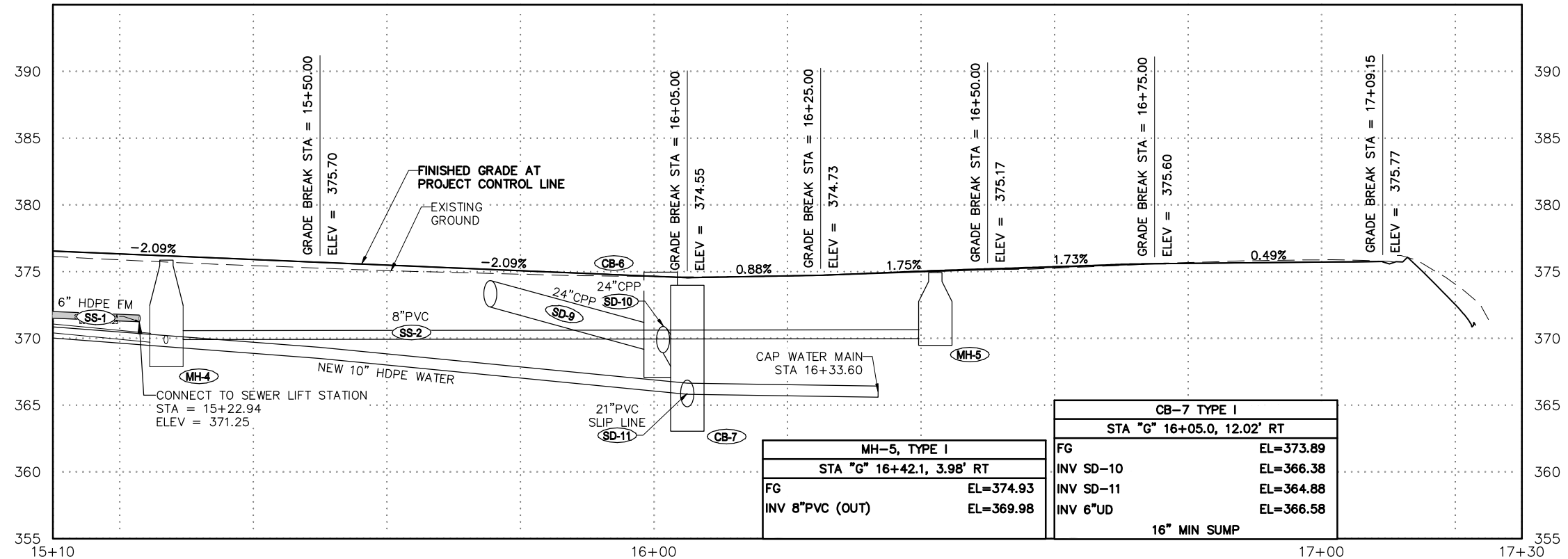




STA "G" 12+60 TO STA "G" 15+10

| CB-6 TYPE I               |           |
|---------------------------|-----------|
| STA "G" 16+01.0, 12.30 LT |           |
| FG                        | EL=374.87 |
| INV SD-9                  | EL=369.11 |
| INV SD-10                 | EL=368.91 |
| INV 6"UD                  | EL=369.11 |
| 16" MIN SUMP              |           |

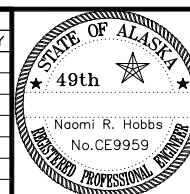
| MH-4 EXISTING TYPE I*                                                                                                                       |           |
|---------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| STA "G" 15+27.0, 6.38' RT                                                                                                                   |           |
| FG                                                                                                                                          | EL=375.91 |
| EXISTING COVER                                                                                                                              | EL=375.51 |
| INV 8"PVC SE (IN)                                                                                                                           | EL=369.72 |
| INV EXIST 8"PVC NW (IN)                                                                                                                     | EL=369.91 |
| INV SS-2**                                                                                                                                  | EL=369.91 |
| INV 8"PVC (OUT)                                                                                                                             | EL=369.58 |
| **TO REMAIN. REPLACE EXISTING ECCENTRIC CONE AND RISERS WITH 2.5' ECCENTRIC CONE. WATERPROOF MANHOLE. REPLACE FRAME AND COVER PER STD 206A. |           |
| **CTE MANHOLE AT EXISTING 8"PVC INVERT ELEVATION.                                                                                           |           |



STA "G" 15+10 TO EOP

- NOTES:
- SERVICES NOT SHOWN FOR CLARITY.
  - LONGITUDINAL RUN OF UTILITIES NOT SHOWN FOR CLARITY.
  - HEADWALLS NOT SHOWN FOR CLARITY.

| REVISIONS |      |             |    |
|-----------|------|-------------|----|
| REV       | DATE | DESCRIPTION | BY |
|           |      |             |    |
|           |      |             |    |
|           |      |             |    |
|           |      |             |    |



GOODWIN ROAD RECONSTRUCTION  
E20-255

PROFILE - GOODWIN ROAD  
STA "G" 12+60 TO EOP

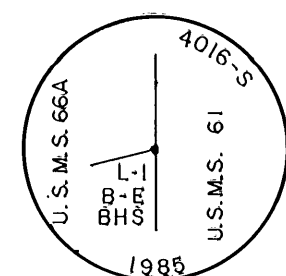
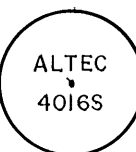
|         |            |
|---------|------------|
| PROJECT | 71078.01   |
| DATE    | 11/10/2020 |
|         |            |
| SHEET   |            |
| 14      | OF 14      |





Goodwin Road  
Project Location



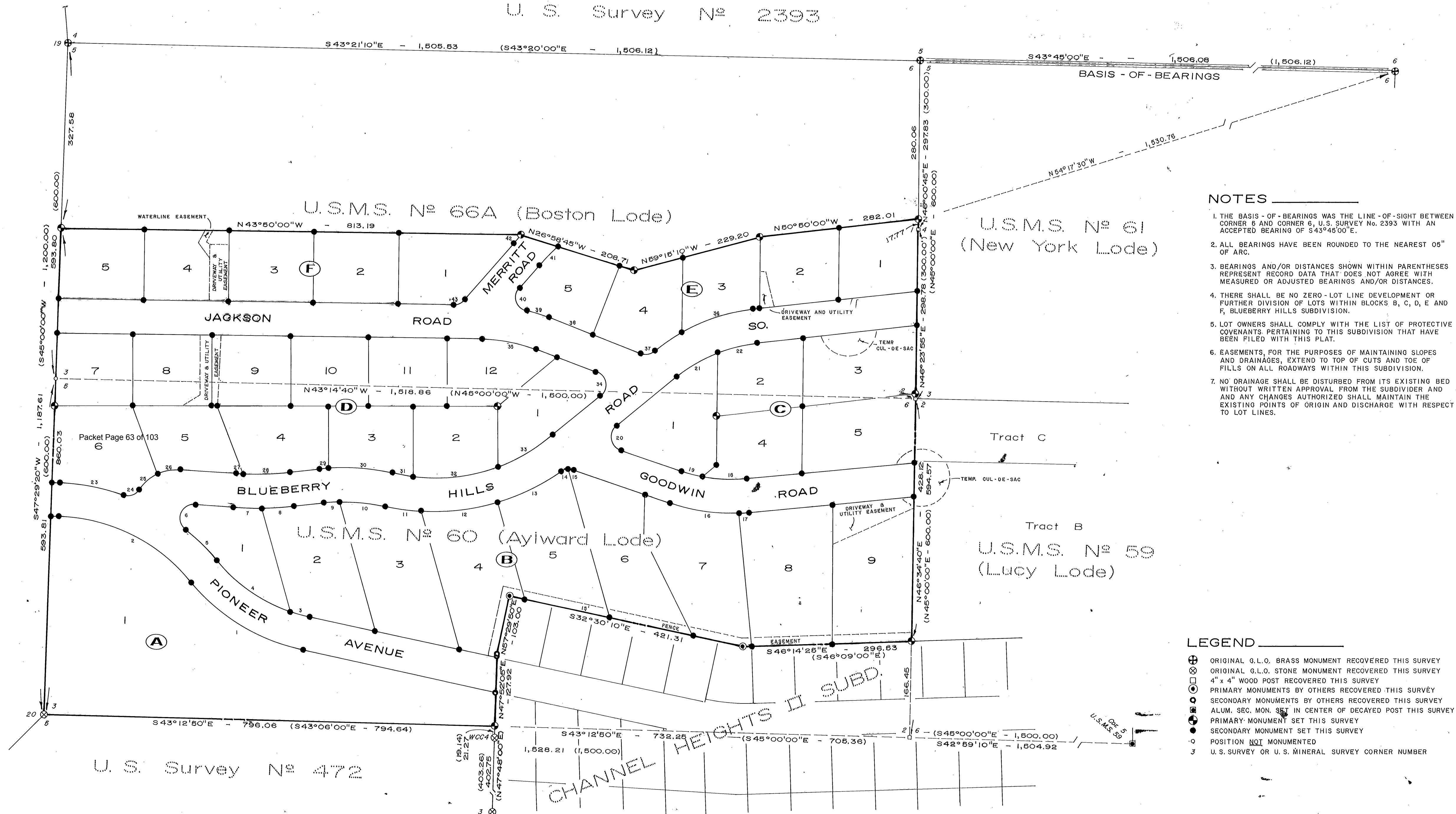
PRIMARY  
3 1/4" ALUMINUM CAP  
ON 2 1/2" x 30" ALUMINUM POSTSECONDARY  
1 1/4" ORANGE PLASTIC CAP  
ON NO. 5 REBAR

TYPICAL MONUMENTS SET THIS SURVEY

| TABLE OF LOT CURVES |            |        |        |                      |         |            |        |        |                      |
|---------------------|------------|--------|--------|----------------------|---------|------------|--------|--------|----------------------|
| ARC No.             | ARC        | LENGTH | RADIUS | CHORD                | ARC No. | ARC        | LENGTH | RADIUS | CHORD                |
| 1                   | 38°08'28"  | 234.47 | 352.64 | N13°20'47"W - 230.18 | 22      | 16°07'08"  | 71.26  | 270.00 | N68°23'34"W - 71.04  |
| 2                   | 48°12'28"  | 269.24 | 320.00 | N18°23'47"W - 261.37 | 23      | 17°17'53"  | 114.72 | 390.00 | S33°51'03"E - 114.29 |
| 3                   | 6°09'50"   | 35.73  | 292.64 | S28°54'05"E - 35.70  | 24      | 76°05'02"  | 33.12  | 26.00  | S63°09'38"E - 30.76  |
| 4                   | 31°08'36"  | 158.84 | 292.64 | S 9°50'52"E - 156.90 | 25      | 30°45'54"  | 42.96  | 80.00  | S85°44'12"E - 42.44  |
| 5                   | 11°47'02"  | 78.16  | 380.00 | S 0°11'05"E - 78.02  | 26      | 29°03'15"  | 41.73  | 80.00  | S55°24'38"E - 41.26  |
| 6                   | 145°46'12" | 63.60  | 26.00  | S68°36'54"W - 47.79  | 27      | 1°28'10"   | 13.34  | 620.00 | S41°12'05"E - 13.34  |
| 7                   | 4°07'17"   | 50.18  | 680.00 | N42°56'38"W - 50.14  | 28      | 5°03'50"   | 82.28  | 620.00 | S46°28'05"E - 82.18  |
| 8                   | 8°34'43"   | 66.47  | 680.00 | N48°12'35"W - 66.45  | 29      | 2°12'01"   | 14.98  | 390.00 | S49°54'00"E - 14.98  |
| 9                   | 4°47'59"   | 27.64  | 330.00 | N48°36'51"W - 27.64  | 30      | 16°02'59"  | 114.92 | 390.00 | S40°21'30"E - 114.90 |
| 10                  | 14°17'01"  | 85.27  | 330.00 | N39°03'31"W - 82.05  | 31      | 8°18'11"   | 36.32  | 330.00 | S39°04'06"E - 35.28  |
| 11                  | 3°21'14"   | 63.97  | 390.00 | N35°35'37"W - 63.60  | 32      | 28°28'17"  | 152.46 | 330.00 | S61°27'20"E - 151.11 |
| 12                  | 20°09'54"  | 137.28 | 390.00 | N61°21'11"W - 135.55 | 33      | 19°28'32"  | 112.17 | 330.00 | S74°25'44"E - 111.63 |
| 13                  | 18°19'45"  | 124.76 | 390.00 | N70°36'00"W - 124.23 | 34      | 119°05'00" | 61.98  | 26.00  | N36°17'30"E - 43.10  |
| 14                  | 29°59'00"  | 13.08  | 26.00  | N64°46'23"W - 12.93  | 35      | 20°35'00"  | 97.00  | 270.00 | N33°32'30"W - 96.48  |
| 15                  | 24°36'52"  | 10.74  | 26.00  | N37°28'26"W - 10.66  | 36      | 23°09'38"  | 133.39 | 330.00 | S62°24'49"E - 132.49 |
| 16                  | 21°36'42"  | 124.47 | 330.00 | N35°56'21"W - 123.74 | 37      | 10°10'22"  | 66.69  | 330.00 | S79°04'49"E - 58.51  |
| 17                  | 3°13'18"   | 18.56  | 330.00 | N48°23'21"W - 18.55  | 38      | 60°55'00"  | 26.68  | 26.00  | S53°42'30"E - 25.35  |
| 18                  | 16°28'43"  | 77.65  | 270.00 | N41°45'39"W - 77.39  | 39      | 6°53'13"   | 39.67  | 330.00 | S26°41'36"E - 39.64  |
| 19                  | 8°21'17"   | 39.37  | 270.00 | N29°20'38"W - 39.34  | 40      | 116°08'13" | 60.67  | 26.00  | S27°55'54"W - 42.43  |
| 20                  | 121°00'00" | 52.80  | 26.00  | S35°20'00"W - 43.82  | 41      | 10°10'03"  | 47.91  | 270.00 | N88°54'59"W - 47.85  |
| 21                  | 18°12'52"  | 65.83  | 270.00 | N76°03'34"W - 65.47  | 42      | 3°35'45"   | 20.71  | 330.00 | N87°47'52"E - 20.71  |
|                     |            |        |        |                      | 43      | 50°10'00"  | 21.69  | 26.00  | S68°55'00"E - 21.20  |

U. S. Survey No. 2393

U. S. Survey No. 3853



## NOTES

1. THE BASIS - OF - BEARINGS WAS THE LINE - OF - SIGHT BETWEEN CORNER 6 AND CORNER 5, U.S. SURVEY No. 2393 WITH AN ACCEPTED BEARING OF S43°45'00"E.
2. ALL BEARINGS HAVE BEEN ROUNDED TO THE NEAREST 05" OF ARC.
3. BEARINGS AND/OR DISTANCES SHOWN WITHIN PARENTHESES REPRESENT RECORD DATA THAT DOES NOT AGREE WITH MEASURED OR ADJUSTED BEARINGS AND/OR DISTANCES.
4. THERE SHALL BE NO ZERO - LOT LINE DEVELOPMENT OR FURTHER DIVISION OF LOTS WITHIN BLOCKS B, C, D, E AND F, BLUEBERRY HILLS SUBDIVISION.
5. LOT OWNERS SHALL COMPLY WITH THE LIST OF PROTECTIVE COVENANTS PERTAINING TO THIS SUBDIVISION THAT HAVE BEEN FILED WITH THIS PLAT.
6. EASEMENTS, FOR THE PURPOSES OF MAINTAINING SLOPES AND DRAINAGES, EXTEND TO TOP OF CUTS AND TOE OF FILLS ON ALL ROADWAYS WITHIN THIS SUBDIVISION.
7. NO DRAINAGE SHALL BE DISTURBED FROM ITS EXISTING BED WITHOUT WRITTEN APPROVAL FROM THE SUBDIVIDER AND ANY CHANGES AUTHORIZED SHALL MAINTAIN THE EXISTING POINTS OF ORIGIN AND DISCHARGE WITH RESPECT TO LOT LINES.

## LEGEND

- ⊕ ORIGINAL G.L.O. BRASS MONUMENT RECOVERED THIS SURVEY
- ⊗ ORIGINAL G.L.O. STONE MONUMENT RECOVERED THIS SURVEY
- ⊙ 4" x 4" WOOD POST RECOVERED THIS SURVEY
- PRIMARY MONUMENTS BY OTHERS RECOVERED THIS SURVEY
- ALUM. SEC. MON. SET IN CENTER OF DECAYED POST THIS SURVEY
- PRIMARY MONUMENT SET THIS SURVEY
- SECONDARY MONUMENT SET THIS SURVEY
- POSITION NOT MONUMENTED
- 3 U.S. SURVEY OR U.S. MINERAL SURVEY CORNER NUMBER

U. S. Survey No. 472

BOUNDARY RETRACEMENT SURVEY  
SCALE: 1" = 100'

## BLUEBERRY HILLS SUBDIVISION

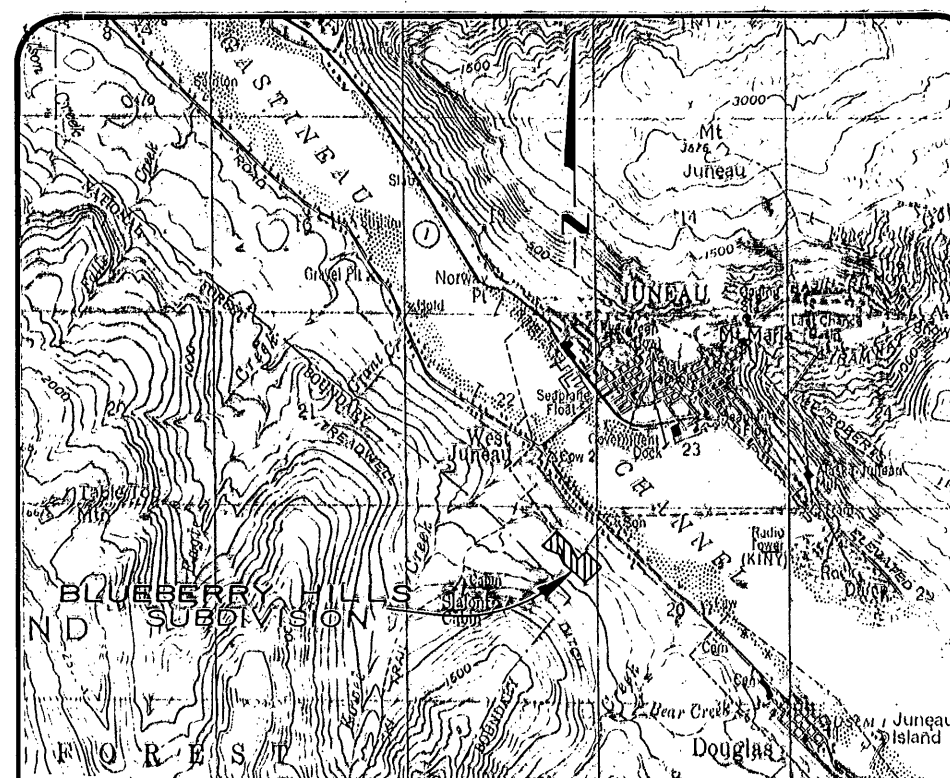
AREA = 27.174 Acres (Including 5.715 Acres of Right-of-Way)



Plat 85-98

|                  |                  |
|------------------|------------------|
| RECORDED - FILED | 12.00            |
| JUNEAU, ALASKA   |                  |
| DATE             | 8-23-1985        |
| TIME             | 3:41 P.M.        |
| Requested by     | Mark S. Sirode   |
| Address          | 150 S. 4th St.   |
|                  | JUNEAU, AK 99801 |

Sht. 1 of 2



## VICINITY MAP

SCALE: 1" = 1 Mile  
SOURCE: U. S. G. S. Quadrangle "Juneau (B-2)"  
DATE: 1962, Minor Revisions 1966 & 1974CERTIFICATION OF APPROVAL  
BY THE BOARD

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY AND BOROUGH OF JUNEAU, ALASKA, AND THAT SAID PLAT HAS BEEN APPROVED BY THE PLATTING BOARD BY PLAT RESOLUTION No. 1985-08 AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT RECORDING OFFICE, JUNEAU, ALASKA.

DATED August 23, 1985

Mark S. Sirode  
CHAIRMAN  
CITY AND BOROUGH OF JUNEAU  
PLATTING BOARD

ATTEST:

Mark S. Sirode  
CLERK  
CITY AND BOROUGH OF JUNEAU  
PLATTING BOARD

## STATEMENT OF OWNERSHIP

I (WE) HEREBY CERTIFY THAT I (WE ARE) THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH MY (OUR) FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE August 23, 1985

John D. Sirode  
WITNESS  
Mark S. Sirode  
WITNESS  
Mark S. Sirode  
OWNER - TRUSTEE  
Mark S. Sirode  
OWNER - TRUSTEE

## NOTARY'S ACKNOWLEDGEMENT

THIS IS TO CERTIFY THAT ON THIS 23rd day of August, 1985, BEFORE THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, APPEARED Mark S. Sirode known to me to be the person described in and who executed the foregoing instrument and acknowledged to me that they signed and sealed the same freely and voluntarily for uses and purposes therein mentioned.

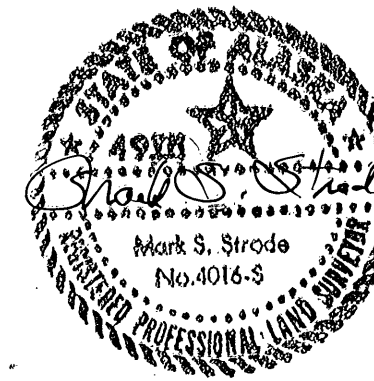
WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

Mark S. Sirode  
NOTARY FOR ALASKA  
MY COMMISSION EXPIRES: Jan 31st 1986

## SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, AND THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATE 8-23, 1985

ALASKA  
TECHNICAL  
SERVICES

LAND SURVEYORS

JUNEAU, AK 99803  
(907) 798-0565

A SURVEY PLAT OF  
BLUEBERRY HILLS SUBDIVISION  
A SUBDIVISION OF FRACTIONS OF  
U. S. M. S. No. 60 (Aylward Lode)  
AND  
U. S. M. S. No. 66A (Boston Lode)

THE CITY AND BOROUGH OF JUNEAU, ALASKA  
DATE: Feb. 1985  
DRAWN: M.S.  
SCALE: 1" = 100'  
FILE NO. 1233



1985-088  
#2 80049.1

U. S. Survey N° 3853

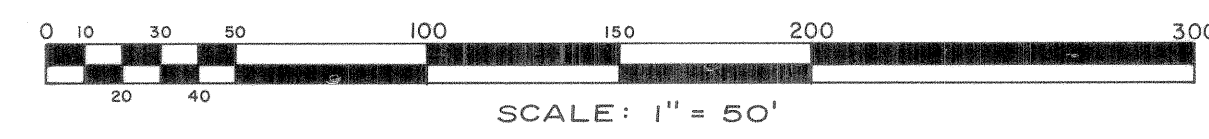
Remainder U. S. M. S. N° 66A (Boston Lode)

U. S. M. S. N° 61 (New York Lode)  
U. S. M. S. N° 59 (Lucy Lode)

Plat 15-98  
RECORDED - FILED 12.00  
JUNEAU REC. DEPT.  
DATE 8-23-95  
TIME 3:41 PM  
Requested by J.C. Seward  
JUNEAU AR 9901



U. S. Survey N° 472



NOTE: See Sheet 1 for Table of Lot Curves and Boundary Retracement Survey.

Sht. 2 of 2

|                                                                                                          |                                                                                                                                                                                                                            |       |          |          |
|----------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|----------|----------|
| <br>ALASKA<br>TECHNICAL<br>SERVICES<br>LAND SURVEYORS<br>BOX 3080<br>JUNEAU, AK. 99803<br>(907) 789-0565 | A SURVEY PLAT OF<br><b>BLUEBERRY HILLS SUBDIVISION</b><br>A SUBDIVISION OF FRACTIONS OF<br>U. S. M. S. N° 60 (Aylward Lode)<br>AND<br>U. S. M. S. N° 66A (Boston Lode)<br>WITHIN<br>THE CITY AND BOROUGH OF JUNEAU, ALASKA |       |          |          |
|                                                                                                          | DATE                                                                                                                                                                                                                       | DRAWN | SCALE    | FILE NO. |
|                                                                                                          | Feb, 1985                                                                                                                                                                                                                  | M.S.  | 1" = 50' | 1233     |
|                                                                                                          |                                                                                                                                                                                                                            |       |          |          |
|                                                                                                          |                                                                                                                                                                                                                            |       |          |          |

PROJECT DESCRIPTION  
BLUEBERRY HILLS SUBDIVISION  
R&M PROJECT NO. 961720

Blueberry Hills Subdivision was platted and constructed between the years 1980 and 1985. Subdivision developer was Lance Youngquist, later joined by Henry Tiffany. The subdivision land surveyor was Alaska Technical Services Inc. (ALTECH). The civil engineer of record was Nelson & Lium dba Tongass Engineering Inc. followed by Cooper Consulting Engineers Inc.. The subdivision was approved for and recorded in 1985.

The land and its subdivision fell into harms way during Juneau's mid 1980's recession. Later, the land and its subdivision fell into our court system and was in "limbo" until 1996. All legal actions concerning the land and its subdivision were cleared this year.

Messrs. Youngquist and Tiffany requested R&M to recover the subdivision land monuments to aid in preparing it for sale. In attempting to recover the land monuments for said the subdivision, ***we discovered that ALTECH Inc. had not monumented the land.*** We also discovered that the original U.S. Survey and Mineral Survey did not close to modern 3rd Order Survey Accuracy standards. We also discovered that ALTECH's retracement survey did not close to a 3rd Order Survey Accuracy standards. Finally, we discovered that in the center of the subdivision (see attached plat) a local land surveyor found the same circumstances and monumented in interior Lot 1, Block F; interior Lots 1, 2 and 3, Block D of Blueberry Hill Subdivision. The event complicated the retracement survey.

As Mr. Brenner, P.E., L.S., (CBJ Land Surveyor) is aware, in most circumstances when errors are found in land lines, they are normally proportionately divided amongst various lots or land lines. However, in this case, land monuments for lots were set in the "middle of" Blueberry Hills Subdivision to the record bearings and distances and in no other area. Houses were built on these lots. Title insurance was issued on the lot and house location within the subdivision. Undoubtedly the land monuments were surveyed and placed from principal corners on one end of the subdivision.

Thus, as shown in Note 4 of our survey's General Notes;

The retracement surveys conducted by this firm found distances that did not agree with the original record of Mineral Survey No. 66A, nor did they agree with the subdivision plat by ALTECH Inc.. Some land monuments were found to be established in the center of the subdivision setting distribution of measurement line differences by proportional methods invalid. It was our decision to hold all internal monumented lots and their dimensions, placing all survey differences (land gained) into the exterior (most northwesterly and most southeasterly) lots for this subdivision.

Thus, the simplest way to distribute the error in the original Mineral Survey as well as the original record subdivision survey of 1985, was to place all errors in the end lots of the subdivision. In this instance the end lots *gained* land,

BLUEBERRY HILLS SUBDIVISION  
PROJECT DESCRIPTION  
PAGE 2

not lost land. The existing surveyed lots with their houses would hold to the 1985 recorded location.

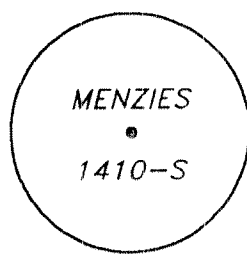
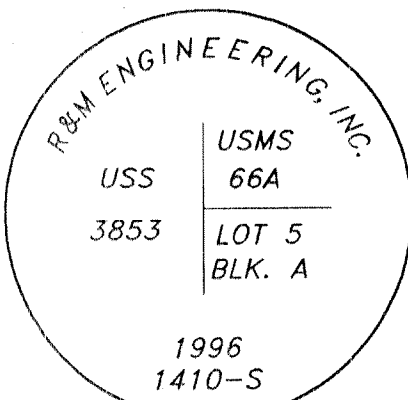
We are asking that a fraction of Blueberry Hills be resubdivided and approved for platting. That fraction is;

- Lot 9, Block B into Lot 9A, Block B.
- Lots 3 and 4 of Block C into Lots 3A and 4A, Block C;
- Lot 1, Block E into Lot 1A, Block E.
- Lots 6 and 7, Block D resubdivided into Lots 6A and 7A, Block D;
- Lot 5, Block F into Lot 5A, Block F.

It is our analysis that this is the cleanest method to replat the land since some of the interior lots have been sold with the dimensions of the 1985 survey. A proportional adjustment of all the lots would lead to confusion in land title, as-built surveys, etc.. This seems to be the cleaner way to resubdivide.







PRIMARY MONUMENT SECONDARY MONUMENT

1-1/4" DIA. ALUMINUM BERNSTEIN FEDERAL ON 5/8" DIA. x 36" RE-BAR SET 34" IN GROUND

### TYPICAL MONUMENTS

(ESTABLISHED THIS SURVEY)

| TABLE OF CURVES |            |        |        |         |             |         |
|-----------------|------------|--------|--------|---------|-------------|---------|
| NUMBER          | DELTA      | RADIUS | ARC    | TANGENT | CHORD BRG.  | CH-DIST |
| C1              | 17°17'53"  | 380.00 | 114.73 | 57.80   | N33°51'30"W | 114.29  |
| C2              | 75°54'14"  | 25.00  | 33.12  | 19.50   | N63°10'00"W | 30.75   |
| C3              | 30°44'55"  | 80.04  | 42.96  | 22.01   | N85°44'45"W | 42.44   |
| C4              | 06°05'47"  | 335.72 | 35.72  | 17.88   | S28°54'00"E | 35.70   |
| C5              | 30°53'01"  | 294.63 | 158.81 | 81.39   | S09°50'45"E | 156.90  |
| C6              | 10°22'52"  | 431.18 | 78.12  | 39.17   | S00°11'00"E | 78.02   |
| C7              | 145°38'26" | 25.01  | 63.57  | 80.89   | S66°44'30"W | 47.79   |
| C8              | 04°32'22"  | 633.00 | 50.15  | 25.09   | N42°57'15"W | 50.14   |
| C9              | 05°16'12"  | 613.94 | 56.47  | 28.25   | N48°13'00"W | 56.45   |
| C10             | 05°25'22"  | 292.11 | 27.65  | 13.83   | N48°36'15"W | 27.64   |
| C11             | 14°34'25"  | 323.60 | 82.31  | 41.38   | N39°03'45"W | 82.09   |
| C12             | 08°55'41"  | 408.45 | 63.65  | 31.89   | N36°36'00"W | 63.58   |
| C13             | 20°09'56"  | 390.00 | 137.26 | 69.35   | N51°21'30"W | 136.56  |
| C14             | 18°20'32"  | 389.73 | 124.76 | 62.92   | N70°36'15"W | 124.23  |
| C15             | 30°18'22"  | 24.74  | 13.08  | 6.70    | N64°47'30"W | 12.93   |
| C16             | 26°57'31"  | 22.87  | 10.76  | 5.48    | N37°28'15"W | 10.66   |
| C17             | 21°23'44"  | 333.27 | 124.45 | 62.96   | N35°58'45"W | 123.73  |
| C18             | 02°16'59"  | 465.86 | 18.56  | 9.28    | N48°23'45"W | 18.56   |

U.S.S. No. 2393

N43°21'15"W - 1506.90' (1505.53') [1506.12']

BASIS OF BEARING

REMAINDER  
M.S. No. 66A  
492,917 S.F.

### CERTIFICATE OF OWNERSHIP

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH MY (OUR) FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER OPEN SPACES TO PUBLIC AND PRIVATE USE AS NOTED.

Packet Page 68 of 103

DATE April 25, 19 97  
WITNESS Mark J. Rasmussen OWNER CHUGACH CREEK CORPORATION  
WITNESS Yvonne S. Hughes OWNER PRESIDENT

### NOTARY'S ACKNOWLEDGEMENT

UNITED STATES OF AMERICA )  
STATE OF ALASKA )ss.

THIS IS TO CERTIFY THAT ON THIS 25 DAY OF April, 19 97 BEFORE THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, APPEARED Mark J. Rasmussen

TO ME KNOWN AND KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE SIGNED AND SEALED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

Yvonne S. Hughes  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 11/7/98

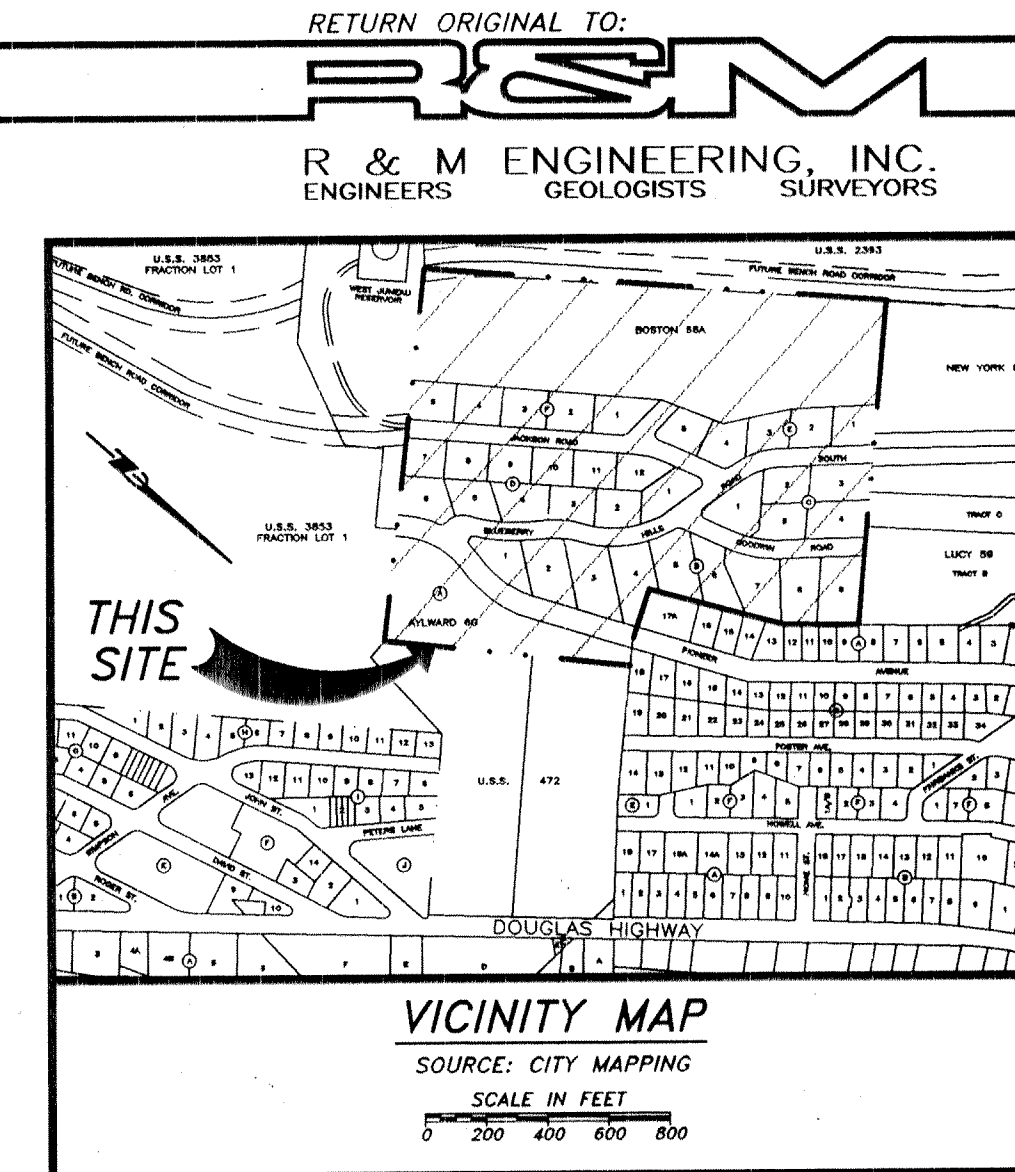
### CERTIFICATE OF PLAT APPROVAL

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY AND BOROUGH OF JUNEAU, ALASKA AND THAT SAID PLAT HAS BEEN APPROVED BY THE PLANNING COMMISSION BY PLAT RESOLUTION NO. 97-14 DATED October 8, 1996, AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT RECORDING OFFICE, JUNEAU, ALASKA. DATED: June 30, 19 97.

Johanna Dylsdahl  
CHAIRMAN  
CITY AND BOROUGH OF JUNEAU  
PLANNING COMMISSION

ATTEST: [Signature]  
CLERK CITY AND BOROUGH OF JUNEAU  
PLANNING COMMISSION

SCALE: 1" = 100'  
0' 50' 100' 200' 400'



### SYMBOLS

- 1410-S PRIMARY MONUMENT (RECOVERED)
- 1410-S PRIMARY MONUMENT (ESTABLISHED)
- 1410-S SECONDARY MONUMENT (ESTABLISHED)
- 1410-S SECONDARY MONUMENT (RECOVERED)
- 3650-S SECONDARY MONUMENT (RECOVERED)
- G.L.O. BRASS CAP MONUMENT (RECOVERED)
- "X" CHISELED IN ROCK (RECOVERED)
- ( ) RECORD PLAT #85-98
- [ ] RECORDED M.S. #66A
- BOUNDARY /PROPERTY LINE
- - - EASEMENT LINE
- (F) BLOCK NUMBER

### GENERAL NOTES

- THE BASIS OF BEARING FOR THIS SURVEY WAS THE LINE OF SIGHT BETWEEN CORNER 5 AND CORNER 6, MINERAL SURVEY NO. 66A AS IT IS COMMON TO CORNER 4 AND CORNER 5, U.S. SURVEY NO. 2393. THE BEARING OF RECORD, PER PLAT NO. 85-98, IS N43°21'15"W.
- BLUEBERRY HILLS SUBDIVISION WAS RECORDED AS PLAT NO. 85-98 IN 1985. THE SUBDIVISION PLAT WAS PREPARED BY ALASKA TECHNICAL SERVICES INC. OF JUNEAU, ALASKA. THAT FIRM NO LONGER EXISTS.
- UPON FIELD REVIEW OF BLUEBERRY HILLS SUBDIVISION, R&M ENGINEERING INC. FOUND THAT ALASKA TECHNICAL SERVICES INC. NEVER MONUMENTED THE SUBDIVISION. SOME MONUMENTS WERE FOUND TO BE ESTABLISHED BY J.W. BEAN, REGISTERED LAND SURVEYOR (LICENSE NO. 3750-S). SEE SYMBOLS & DRAWINGS FOR LOCATIONS.
- THE RETRACEMENT SURVEYS CONDUCTED BY THIS FIRM FOUND DISTANCES THAT DID NOT AGREE WITH THE ORIGINAL RECORD OF MINERAL SURVEY NO. 66A, NOR DID THEY AGREE WITH THE SUBDIVISION PLAT BY ALTECH INC. (SEE SYMBOLS). SOME MONUMENTS WERE FOUND TO BE ESTABLISHED IN THE CENTER OF THE SUBDIVISION THAT SET DISTRIBUTION OF MEASURED LINE DIFFERENCE BY PROPORTION METHODS INVALID. IT WAS OUR DECISION TO HOLD ALL INTERNAL MONUMENTED LOTS AND THEIR DIMENSIONS, PLACING ALL DIFFERENCES (LAND GAINED) INTO THE EXTERIOR (MOST NORTHWESTERLY AND MOST SOUTHEASTERLY) LOTS FOR THIS SUBDIVISION.
- WHERE RECORD SURVEY COURSES (BEARINGS AND/OR DISTANCES) DIFFER FROM FIELD MEASURED OR COMPUTED SURVEY COURSE, THE RECORD COURSE OF RECORD IS PLACED IN PARENTHESES FOLLOWED BY THE FIELD MEASURED OR COMPUTED DISTANCE. THUSLY (N45°50'W - 243.5') N45°51'30"W - 243.98'. ALSO SEE SYMBOLS FOR DIFFERENT RECORD REFERENCES.
- FOR INTERNAL LOT DIMENSIONS SEE SUBDIVISION PLAT NO. 85-98. FOR LAND MONUMENTS SEE RECORD OF SURVEY PLAT NO. 96-31.

### SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, AND THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 4 COMMUNITY DEVELOPMENT REGULATIONS AND TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONAL AND RELATIVE BEARINGS ARE CORRECT AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

JUNEAU RECORDING DISTRICT  
A SUBDIVISION PLAT  
DENOTING LAND GAINS TO  
LOT 9, BLOCK "B"; LOTS 3 & 5, BLOCK "C";  
LOTS 6 & 7, BLOCK "D"; LOT 1, BLOCK "E";  
& LOT 5, BLOCK "F"  
**BLUEBERRY HILLS SUBDIVISION**  
LOCATED WITHIN FRACTIONS OF  
M.S. #60 AND M.S. #66A  
DOUGLAS ISLAND  
CITY AND BOROUGH OF JUNEAU, ALASKA  
CLIENT: HENRY TIFFANY  
P.O. BOX 33679  
JUNEAU, ALASKA 99803  
DATE: APRIL 22, 1997  
SHEET 1 OF 1  
R&M PROJ. NO. 961720



**CERTIFICATION OF PAYMENT OF TAXES  
AND SPECIAL ASSESSMENTS**

I, the undersigned, being duly appointed, qualified Treasurer or Deputy Treasurer for the City and Borough of Juneau, First Federal District, State of Alaska, do hereby certify that, according to the records of the City and Borough of Juneau, the following described property is carried on the tax records in the name of:

Cowee Creek Corporation

Lot 9 Block B; Lots 3, 4, & 5 Block C; Lots 6 & 7 Block D; Lot 1 Block E;  
Lot 5 Block F; Blueberry Hills Subdivision

Description

1-D05-0-102-009-0; 1-D05-0-103-003, -004-0, -005-0; 1-D05-0-104-006, -007-0;  
1-D05-0-105-001-0; 1-D05-0-106-005-0

Parcel Code Number

and that, according to the records in my possession, all taxes and special assessments assessed against said lands and in favor of the City and Borough of Juneau are paid in full; that current taxes of the year 1997 will be due on or before September 30, 1997.

Patricia A. White

Deputy Treasurer or Treasurer  
City and Borough of Juneau, Alaska

6-26-97

Date

CITY AND BOROUGH OF JUNEAU, ALASKA

PLANNING COMMISSION

Platting Resolution Serial No. FP-14-96

WHEREAS, Cowee Creek Corporation has applied to the City and Borough Planning Commission in proper form for the approval of the following described subdivision:

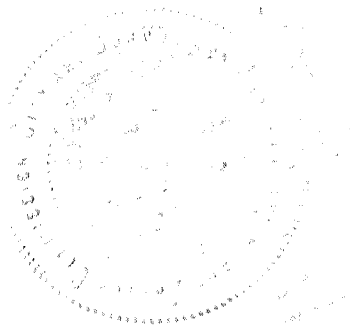
LOT 9 BLOCK B, LOTS 3 & 5 BLOCK C, LOTS 6 & 7 BLOCK D, LOT 1 BLOCK E, AND  
LOT 5 BLOCK F, BLUEBERRY HILLS SUBDIVISION

WHEREAS, the Commission finds that the proposed subdivision complies with subdivision regulations of the City and Borough of Juneau, Alaska,

BE IT RESOLVED BY THE CITY AND BOROUGH PLANNING COMMISSION AS  
THE PLATTING AUTHORITY FOR THE CITY AND BOROUGH OF JUNEAU, ALASKA;

That the said application for a subdivision as shown on the accompanying approved plat of the above described property, prepared by R & M Engineering, Inc., dated April 22, 1997, is hereby granted.

Adopted: October 8, 1996

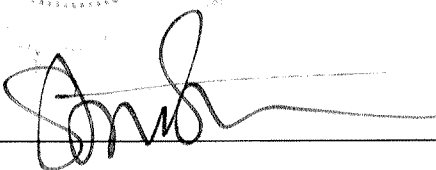


CITY AND BOROUGH OF JUNEAU, ALASKA  
PLANNING COMMISSION

By:

  
Chairman

Attest:

  
Clerk

Dated: 6-27-97

Goodwin Public Meeting

November 12, 2020

Notes by Irene Gallion, Planner

Presentation by the team: Justin Kanouse, Candy Sims and John Nelson

Been reconstructing Blueberry for the last nine years, this is the last part

Water line replacement, improved drainage, repave with 2.5 inch lift and new road base.

Curb and gutter replaced.

*Cul de sac* will now drain.

Details of plans discussed.

Varness: Uphill at 3004, looks like a catch basin or storm drain being installed. Where does that drain to?

Kanouse: Currently has a pipe that drains to your driveway, pipe end is unknown. Added the catch basin so we can intercept the pipe and address any issues in the future by cleaning out the line. Most likely that pipe is in rough shape, metal pipe. Currently that creates erosion through the pipe, causes wash-outs. By replacing with plastic, improves drainage for whole property.

Varness is concerned about managing street water through private catch basin.

Kanouse: Only so many places where water can be intercepted. Will take some surface drainage, but not whole street.

Varness: Put a 2" lip on the driveway to manage water, actually a lot comes down the street. Would rather not be managing more street water through his existing drainage.

Kanouse: Unfortunately can't run a pipe to the Blueberry side because it is uphill, but will discuss internally and get back to you.

Varness: When we built the house we found it was a culvert that was abandoned, city said to try to plug uphill side of the culvert. Gut sense is if that pipe was gone the problem would be gone, but he needs the catch basin for the gutters.

(Numbers exchanged, Kanouse and Varness will discuss)

Kanouse: Don't know how deep the pipe is. If like others, there will be a fairly large amount of hard rock shale. If that was removed and the pipe not put in place, there will be a constant flow whether pipe removed or not.

Mike: The narrowing of the street is a concern. Swope and Varness driveways will be extended five feet, roadway end is five feet narrower. In 2015 went around and around with not narrowing, so why doing it now?

Kanouse: On the downhill side the sloughing was a city concern, getting closer and closer to the edge of the road.

Nelson: Existing curb and gutter is getting close to the edge of the bank, and wanted to extend the life of the road mainly. Jackson and Blueberry, the city has been trying to calm the road by narrowing, not just here but in the valley and other places. Finally, it is just less expensive. We reduce the price of materials for a road that does not go through to anywhere. It was a good candidate.

Varness: Plowed snow for last five winters. Need a grater up here, the vehicles they use cannot push it over the curb. Road gets narrower and narrower as winter goes on. A few times you could not get around parked vehicles. Need width for snow.

Nelson: Is snow stored in the *cul de sac*?

Varness: No, over the bank.

Baxter: Part of 2015 discussion. We get 3x more snow than other areas. The concern is that the city does a great job plowing but only plow to the curb, then it gets bigger and bigger and down to a one lane road until blower comes up. Concern that the road will be one lane all winter. We should leave Goodwin the same width. All one subdivision and needs to stay the same.

Nelson: Concern goes back to the sloughing on the channel side. Nelson will talk to the street folks.

Swope: Agree with Baxter and Varness. When originally surveyed did not include five foot reduction, were directed by the engineering department.

Kanouse: Survey is done for all options, so surveyors don't survey for a certain road prism. Surveyors do not read minds. Lots of discussions between CBJ parties on changes throughout the project.

Nelson: There is no difference in survey cost. We are taking away the excavation, fill and asphalt.

Swope: Cannot imagine the five foot savings would be considerable.

Mike: Topsoil, hydroseed, extending both driveways, not much cost saving left in his opinion.

Baxter: Didn't DOWL originally design it as is, then directed to narrow?

Nelson: Correct.

Kanouse: No cost change in that change. Road width is a concern, and everyone has that right, but concerns regarding confusion on cost. This did not cost DOWL any more to do this in one fashion or another, or based on direction from CBJ staff. We started as the RFP stated, then comments resulted in narrowing of the road.

Varness: If you come up tomorrow and throw a tape measure between curb and snow bank, we've already lost six feet of the road. If you took another five feet out there would not be enough room for a vehicle to pass a parked vehicle. 1.5 ton vehicle with a sander on the back cannot push the snow over the edge.

Kanouse: This issue will require an internal discussion between DOWL and the city. Appreciate the comments, don't have the power at this moment to give resolution, just need to have discussions.

Varness: Have a picture of when we built our house up here and the snow is seven feet high. We get a lot of snow.

Kanouse: Snow removal details are worth a discussion, and he promises to get back.

Baxter: Goodwin gets plowed last.

Varness: Or sometimes they don't come back that day.

April: Put notes in the chat box

Kanouse: You are basically saying you are not in favor of reducing road width and it is a big concern for you, and you currently have difficulty with the vehicle getting stuck.

April: When the snow gets larger and larger on sides of road and they don't plow regularly, we had a garbage truck hit our truck.

Kanouse: Not blowing anyone off, just need to have the additional discussion.

Swope: What you guys are hearing is that narrowing the road is a serious problem. This past week we did not even get garbage service. Snow removal did occur, but the street was icy. It is a difficult road, John, to narrow it up is our biggest concern.

Nelson: We do have to address the downhill side somehow, we don't want to take road from you without a reason, but are concerned with the downhill section.

Varness: Let's say you don't deal with the sloughing. Even if you reduce the road it will continue to slough, and needs to be managed.

Nelson: Good point, and it was discussed. Area by the pump station has the curb moving. It could be fine for years, but we thought it would be the earliest and quickest way to fix it. What happens in 20 years we do not know.

Mike: How long is that section?

Nelson: Off and on, showing signs, let's put it that way. Showing in spots. When it is not snowy we could take a look. Do we have pictures?

Kanouse: Always have pre-design pictures. (Sims confirms) Concerns are duly noted, but important to show some other things on the plan sheets. On the second plan sheet, we've done some erosion control with some atypical headwalls that are a bit more extensive. You can see those on the top of the page and they have trash racks. Helps keeps the sloughing and the shale at bay, helps street departments clean it out easier. Also, on previous phases, the waterline was in poor shape, so this is important to get done.

Mike: Is all piping being redone?

Kanouse: All storm, water is being redone including services, sewer is being done as needed. The force main is not in great condition. We camera-ed the sewer main so able to look at it. We've added *cul de sac* manhole where a cleanout used to be. That will be easier to manage, big upgrade for everyone. Also, some sewer and water services for future development, and some upgrade on material for services. Corrosion will be on your own property, rather than in the road, making it easier to identify. The *cul de sac* will be valley gutter, easier for snow to be pushed off. Meets city standards, fire truck will have no problem turning around. Eliminated some sidewalk at the end that went to nowhere, that will

help the Streets department. (Kanouse shows locations of fire hydrants per chat request). Fire hydrant would fall off the side of the cliff soon, that is why it was being relocated. Gives better spacing, closer to NFP for spacing. Streets has put a cross walk on the Blueberry and Goodwin intersection, that will be an ADA crosswalk. Path towards Mike's house will be replaced as well.

Varness: when you talk about the cleanouts, will that push toward the main or the lift station?

Kanouse: It does not affect anything on that side. It allows someone to push toward either direction to address a clog. You can go from manhole to manhole to clean out the main, but when you don't have one you can't address issues in the service.

Varness: On that side of my garage I've got boat storage, want to make sure the access to that cleanout will not interfere.

Kanouse: If you have a clean out on a drivable service, there is a lid you can drive over. Generally the parkable surfaces – clarify where you park your boat? We'll add a note to put a lid on there appropriate to driving surfaces.

Nelson: See the letter that we sent out for contact info for Nelson and Kanouse.

Kanouse would like everyone to send an e mail to have contact info.

Swope: Explain the process from this point on – when will we know what final decisions are being made? What are the options. When will we know what is presented?

(Technical difficulties with sharing information about the Planning Commission meeting). Design team will be contacting all participants.

April had questions about the location of the fire hydrants.





DATE: February 26, 2020

TO: Michelle Hale, Chair  
Public Works and Facilities Committee

FROM: John Bohan, Chief CIP Engineer and Water Superintendent

SUBJECT: CIP Transfer Requests

Staff requests the following transfers be forwarded to the Assembly for approval:

| <b><u>Transfer From:</u></b>                 | <b><u>Transfer Amount</u></b> | <b><u>CIP End Balance</u></b> | <b><u>Project Status</u></b>                                                 |
|----------------------------------------------|-------------------------------|-------------------------------|------------------------------------------------------------------------------|
| R72-120 – River Road Paving LID              | \$2.034 million               | \$196k                        | LID vote failed-<br>perform needed<br>work to facilitate<br>efficient maint. |
| R72-112 – McGinnis Subdivision<br>Paving LID | \$1.19 million                | \$20k                         | Work complete –<br>minor seeding &<br>cleanup remains<br>for spring 2020     |
| Totals:                                      | \$3.224 million               |                               |                                                                              |

| <b><u>Transfer To:</u></b>                 | <b><u>Transfer Amount</u></b> | <b><u>CIP End Balance</u></b> | <b><u>Project Status</u></b>                       |
|--------------------------------------------|-------------------------------|-------------------------------|----------------------------------------------------|
| R72-141 – Hospital Drive<br>Reconstruction | \$700k                        | \$1.99 million                | Phase 1<br>construction to be<br>bid in March 2020 |
| U76-123 – Delta Drive<br>Reconstruction    | \$1.306 million               | \$2.056 million               | Project scheduled<br>for design<br>summer 2020     |
| NEW CIP – Goodwin Road<br>Reconstruction   | \$1.218 million               | \$1.218 million               | Project scheduled<br>for design<br>summer 2020     |
| Totals:                                    | \$3.224 million               |                               |                                                    |

Descriptions for the requested transfers are below:

**River Road LID:** as presented to the PWFC on 2-10-20, the LID neighborhood poll did not receive majority support. This transfer request would move the street reconstruction CIP funds to the next priority street reconstruction CIPs that did not receive funding in the draft FY 21 CIP - Delta Drive Reconstruction (\$1.306mil) and Goodwin Road Reconstruction (\$728k). The remaining balance (\$196k) will be used to remove the failing roadway chip seal road surface treatment and other improvements to facilitate efficient maintenance by the Street Department.

**McGinnis Subdivision Paving LID:** This \$3.6 million, 5 phase, 6 year project is finally complete with the exception of some seeding and addressing of other minor unforeseen issues that will be completed during the spring of 2020. The remaining funds are requested to be transferred to CIPs requiring additional funding: Hospital Drive Reconstruction (\$700k), Goodwin Road Reconstruction (\$490k). Upon the transfer and completion of the outstanding issues, this CIP would be closed.

**Hospital Drive:** this project was funded in with Street Sales tax and Hospital funds to rebuild from Glacier Highway through the hospital campus to Salmon Creek Lane. The project has been broken into 2 phases in order to allow the Hospital to complete their master planning exercise and determine the appropriate alignment and treatment for the road through the campus. The first phase is currently being prepared for bid and extends from Glacier Highway to just before the intersection with the Hospital Campus and will address the failed asphalt segment of the hospital campus road. The project estimate in the FY20 CIP was substantially low as well as the discovery of additional storm drainage and other improvements that were required in addition to pavement replacement. This \$700k funding request takes into account the \$100k of Water Utility funds requested in the FY21 preliminary CIP. This project will be prepared for bid in March of 2020 with approval of this transfer.

**Delta Drive Reconstruction:** This CIP project was nominated as a priority by Wastewater Utilities in the FY20 CIP (\$75k) and is a priority of the Water Utility with a funding request in the FY21 CIP (\$229k); as both the water and wastewater systems require replacement. The project was listed as a priority for the Street Department in FY21 however did not receive funding. It is the next project on the priority list for the Street Department and requires \$1.306 million of funding to proceed. This project would be designed during the summer of 2020, with construction beginning in spring of 2021, with approval of this transfer.

**Goodwin Road Reconstruction:** This CIP project is currently nominated by both Water and Wastewater Utilities for funding in the FY21 CIP as the water system and sewer pumping station require replacement. This project was prioritized as next after Delta Drive in the Street Department's priority list and requires \$1.218 million to proceed. The project design would occur during the summer of 2020, with construction beginning in spring of 2021, with approval of this transfer.

### **Recommendation**

Staff requests the above transfers be forwarded to the Full Assembly for approval.



DATE: September 9, 2020

TO: Michelle Hale, Chair  
Public Works and Facilities Committee

FROM: John Bohan, Chief CIP Engineer

SUBJECT: CIP Water and Wastewater Funds Transfer Requests

The Delta Drive and Goodwin Road reconstruction project designs are well under way in preparation for bidding this fall and construction beginning next spring. Part of the process includes accounting for the water and wastewater utility costs. The CIP contributions from the utilities are low and require additional funding to cover each utilities share of the costs identified by the design process. The accounting is tabulated below:

**Delta Drive Reconstruction - CIP R72-148**

|                    |               | From                                              |
|--------------------|---------------|---------------------------------------------------|
| Water Utility      | \$122k        | W75-061 - Douglas Hwy Water David to I St         |
| Wastewater Utility | \$207k        | U76-114 - Wastewater Infrastructure Maintenance   |
|                    | <b>\$329k</b> | <b>transfer to Delta Drive Reconstruction CIP</b> |

**Goodwin Rd Reconstruction - CIP R72-147**

|                    |              | From                                             |
|--------------------|--------------|--------------------------------------------------|
| Water Utility      | \$24k        | W75-061 - Douglas Hwy Water David to I St        |
| Wastewater Utility | \$74k        | U76-114 - Wastewater Infrastructure Maintenance  |
|                    | <b>\$98k</b> | <b>transfer to Goodwin Rd Reconstruction CIP</b> |

The Douglas Highway CIP was leveraged with a low interest ADEC Loan for the entire cost of the project, so the existing Water Utility revenues budgeted for the project are being reallocated to other Water Utility CIP priorities. The Wastewater Infrastructure Maintenance CIP is currently undergoing some reprioritization to fund ongoing priorities and newly identified needs including those identified above.

**Recommendation**

Staff requests the above transfers be forwarded to the Full Assembly for approval.

**Irene Gallion**

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**From:** Mike Sturrock <mike@islandcontractorsak.com>  
**Sent:** Thursday, November 12, 2020 8:45 PM  
**To:** John Nelson  
**Cc:** Tiffany Sturrock; Rod Swope; tongassrain@gmail.com; dominic59@juno.com; domswife1@gmail.com; geoff@geoffkirsch.com  
**Subject:** Goodwin Road Reconstruction - Narrowing Opposition  
**Attachments:** Goodwin Road Narrowing Opposition.pdf

**EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS**

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Mr. Nelson,

Thank you for the informational meeting tonight. Attached is our letter in opposition of narrowing Goodwin Road. There are many emails where this topic was discussed in depth in 2015. Where the planning commission held a hearing and unanimously agreed with the residents of the Blueberry Hills Subdivision on leaving the trees and not narrowing the streets. They included those items in their recommendation to the assembly members of the Public Works and Facilities Committee. That judgement was honored, so I don't understand why we are having to go down this road again. I gathered your key note on the plan to narrow the road is because of some settlement on the downhill side. The cul-de-sac also shows settlement on the downhill side, yet it is getting bigger so I don't follow that rationale. Please include me in the further discussion of maintaining and improving the city's subdivision, without taking away from the quality and standards that the previous developer was held.

Mike Sturrock  
Island Contractors, Inc.  
PO Box 241036  
Douglas, AK 99824  
P: (907) 500-9041  
F: (907) 500-9051

November 12, 2020

To: John Nelson, CBJ Project Engineer

Re: Opposition to narrowing Goodwin Road

Mr. Nelson,

I am a homeowner within the Blueberry Hill Subdivision, residing at 3000 Blueberry Hills Rd. S at the corner of the beginning of the Goodwin Road. I am in full support of the reconstruction of Goodwin road and would like to see the project happen. I have read RFP E20-255 and see that 100% complete design documents were to be submitted to CBJ on 09/01/20. I've heard those documents were returned by the engineering department to the designer and are in redesign to narrow the width of the road. I am not in favor of the proposed plan to narrow Goodwin road from the curb-to-curb 28' width which at the time the original developer was held to CBJ Standard Detail 102A. The new proposed width of curb to curb 23' will not benefit the residents or the city. Here are some reasons why I think it is not a good idea to narrow the road.

- 1) It simply does not match the rest of the neighborhood, and it will create a snow management problem for the residents on the street. The relatively higher elevation results in greater snowfall and faster accumulation of snow. With narrower roads the city streets department would have to bring their snow blower more often to get rid of the berms that commonly encroach the roadway by about 5', which would cost the city more money in snow removal. Short-term cost savings of building a cheaper road will soon be lost to increased snow management costs that will continue indefinitely, and the public will be exposed to the increased winter traffic hazard.
- 2) Since the sidewalks are closed during the winter months, partially due to the accumulation of snow from the city streets snow blower, it forces residents or hikers to use the road which should be a serious safety consideration during the winter months. Children play outside in the neighborhood. During the winter months, since there's no sidewalk access due to snow storage, the kids may walk the edge of the roadway. Narrowing the streets is not the answer to keeping the streets safe for pedestrians/children/hikers/etc. That means keeping the road at the current 28', so during the winter months kids and all pedestrians have a safer road to travel on.
- 3) Narrower roadway will cause safety concerns during all months with trucks that live on the street and regularly tow trailers.
- 4) Figuring Goodwin Road is about 600 feet long and narrowing the road 5' will then eliminate the cost of about 3,000 square feet of excavation, base course, and asphalt, one could figure a savings of about \$17,000 based on recent CBJ unit price civil construction contracts. The project contractor will then have to topsoil and hydro seed that same 5' outside edge of curb costing about \$6,000 and then extend the two driveways on that side of the road costing about \$6,000 for a construction cost savings of about \$5,000. Assuming the taxpayers are paying for the current redesign of the project, that \$5,000 is likely already spent. So, we would be looking at a narrower road for a net construction savings of \$0, and an indefinite cost of increased snow maintenance and removal.

In closing we ask that you require the current street width of 28' be maintained in the reconstruction of Goodwin road. This was unanimously recommended by the planning commission during the 2015 meetings for the Blueberry Hills Subdivision in all past phases of the neighborhoods adjoining streets reconstruction projects.

Sincerely,



Mike & Tiffany Sturrock  
3000 Blueberry Hills Rd. S  
(907) 321-2528

In agreement are Goodwin Road Residents:

| Signature/Name/Address                 | Contact Info                          |
|----------------------------------------|---------------------------------------|
| Robert A. Jarvess<br>3004 Goodwin Road | 907.321.3012<br>tongassraiv@gmail.com |
| Gooda Gaila Swage<br>3000 Goodwin Road | Tenabee Swage@gmail.com               |
| Dominic + April Hoy<br>3005 Goodwin Rd | 505-670-3161<br>domswife1@gmail.com   |
| Geoff Kirsch<br>3007 Goodwin           | 907 957 3820<br>geoff@geoffkirsch.com |
|                                        |                                       |
|                                        |                                       |
|                                        |                                       |
|                                        |                                       |
|                                        |                                       |

## Irene Gallion

---

**From:** Rod Swope <tenakeeswope@gmail.com>  
**Sent:** Sunday, November 15, 2020 12:04 PM  
**To:** John Nelson  
**Cc:** Tiffany Sturrock; tongassrain@gmail.com; dominic59@juno.com; domswife1@gmail.com; geoff@geoffkirsch.com; mike@islandcontractorsak.com  
**Subject:** Re: Goodwin Road Reconstruction - Narrowing Opposition

EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS

---

John,  
 Thanks for arranging the informational meeting last week regarding the proposed Goodwin Road reconstruction. Per the meeting, it sounds like the primary reason for narrowing the road is to avoid the cost of stabilizing the bank on the north side of the road which is failing and the cause for having to do much of the road repair work. As pointed out in the meeting, if the solution is simply to narrow the road the bank will continue to erode and destabilize, resulting in the need to do more road reconstruction work in the future. Furthermore, when that time comes you won't be able to further narrow the road and will have no choice but to stabilize the road bank. In the end it will be more cost effective to do the work now than defer it to an undetermined future date.

Rod Swope

Sent from my iPad

On Nov 12, 2020, at 8:44 PM, Mike Sturrock <[mike@islandcontractorsak.com](mailto:mike@islandcontractorsak.com)> wrote:

Mr. Nelson,  
 Thank you for the informational meeting tonight. Attached is our letter in opposition of narrowing Goodwin Road. There are many emails where this topic was discussed in depth in 2015. Where the planning commission held a hearing and unanimously agreed with the residents of the Blueberry Hills Subdivision on leaving the trees and not narrowing the streets. They included those items in their recommendation to the assembly members of the Public Works and Facilities Committee. That judgement was honored, so I don't understand why we are having to go down this road again. I gathered your key note on the plan to narrow the road is because of some settlement on the downhill side. The cul-de-sac also shows settlement on the downhill side, yet it is getting bigger so I don't follow that rationale. Please include me in the further discussion of maintaining and improving the city's subdivision, without taking away from the quality and standards that the previous developer was held.  
 Mike Sturrock  
 Island Contractors, Inc.  
 PO Box 241036  
 Douglas, AK 99824  
 P: (907) 500-9041  
 F: (907) 500-9051



**Irene Gallion**

---

**From:** Bob Varness <robert.varness@acsalaska.net>  
**Sent:** Friday, November 13, 2020 11:07 AM  
**To:** John Nelson  
**Cc:** jkanouse@dowl.com; Mike Sturrock  
**Subject:** FW: 3004 Goodwin Road Drainage Concern  
**Attachments:** Goodwin Reconstruction Notes 11132020.docx

**EXTERNAL E-MAIL: BE CAUTIOUS WHEN OPENING FILES OR FOLLOWING LINKS**

---

With corrected e-mail address'.  
Thank you  
Bob

---

**From:** [Bob Varness](#)  
**Sent:** Friday, November 13, 2020 10:05 AM  
**To:** [jkanous@dowl.com](mailto:jkanous@dowl.com)  
**Cc:** [john.neilson@juneau.org](mailto:john.neilson@juneau.org); [Mike Sturrock](#)  
**Subject:** 3004 Goodwin Road Drainage Concern

Justin, here are my additional concerns with the Goodwin Road reconstruction, besides narrowing the road 5'. I'm also concerned with the road sluffing down by the fire hydrant, I've seen the water disappear between the joints in the curb in front of that hydrant. If you would like to discuss my concerns please contact me via e-mail or phone or maybe we could walk the area.

Best  
Bob  
907-321-3012

11/13/2020

Dear Justin and John, thank you for meeting with the Goodwin neighborhood last evening.

I have a few concerns with the proposed drainage plan and would like to get them on the table. When we built our home we had to strip the original building pad down to the bedrock and build up from there, my engineered driveway is about 23' above that bedrock. There is exposed bedrock in my basement and I would like to avoid water runoff under my home caused by the street reconstruction. In 2006 was told by a CBJ Street Supervisor the culvert would be removed if they ever rebuilt the road because it was probably placed and abandon during the pioneering of the road (It was not on record as part of the subdivision project). We found the abandon culvert when we excavated and placed a catch basin and extended that culvert to mitigate the runoff away from my garage foundation.

- 1.) On page 10 it looks like you're going to replace the abandon culvert that drains into my catch basin with new, and you're going to add a storm drain in the curb as well. My concern is the additional runoff volume that would be accumulating next to my garage, running under my engineered driveway and down along my 23' high retaining wall. Will the CBJ be assuming all maintenance and responsibility for my culvert to manage this runoff A-Z? Additionally my driveway culvert encroaches 1'-2' into the CBJ ROW and was an approved variance by CBJ during construction in 2007. There is also 12' of Geo-grid on each lift of the 9 high block retaining wall from driveway surface to footing, at the ROW/property line.
  - a.) Is there a possibility you could remove and plug that abandon culvert, install the catch basin in the curb, then run a culvert in a French Drain parallel to the street 60' and intersect with another catch basin, with the existing active culvert that crosses from the Sturrock property?
  - b.) It looks like you're adding a new catch basin with a grate on the (Sturrock) uphill side of that abandon culvert location. The 13 years I've lived here I've only seen water run at a little more than a trickle there once. Would it be reasonable to pull the trench from the Sturrock driveway down to the active basin on the Sturrock/Hoy property enlarge that basin and install the grates there? If that culvert is replaced, I would request it's installed in the same location and not be brought closer to my retaining wall.

Looking forward to working with you, thank you.

Robert (Bob) Varness  
 3004 Goodwin Road  
 907-321-3012  
 Robert.varness@acsalaska.net









Attachment H - Relevant Photos





Packet Page 86 of 103





















Packet Page 91 of 103





Packet Page 92 of 103





Packet Page 92 of 103



Presented by: The Manager  
 Introduced: January 4, 2021  
 Drafted by: Finance

TRANSFER REQUEST FOR THE CITY AND BOROUGH OF JUNEAU,  
 ALASKA

SERIAL NUMBER T-1034

It is hereby ordered by the Assembly of the City and Borough of Juneau, Alaska, that \$5,273,237 be transferred:

From: CIP

|         |                                        |             |
|---------|----------------------------------------|-------------|
| U76-014 | Auke Bay Sewer Extension               | \$25,216    |
| U76-015 | JD Plant Infrastructure Improvements   | \$15,019    |
| U76-108 | MWWTP Roof Repair                      | \$39,755    |
| U76-113 | Maier Drive Forcemain Emergency Repair | \$100,000   |
| U76-117 | Anode Replacement Outer Drive FM       | \$98,247    |
| U76-116 | JD Clarifier/Digestertank Improvements | \$225,000   |
| U76-114 | Wastewater Infrastructure Main         | \$1,500,000 |
| U76-119 | MWWTP Improvements                     | \$1,800,000 |
| U76-126 | JDTP WWTP Improvements                 | \$700,000   |
| U76-121 | Collection System Pump Station Upgrade | \$770,000   |

To: CIP

|         |                                              |             |
|---------|----------------------------------------------|-------------|
| U76-103 | Facilities Planning                          | \$79,990    |
| U76-122 | Outer Drive & W. Juneau Station Improvements | \$198,247   |
| U76-112 | JD New Vactor Dump                           | \$4,225,000 |
| U76-100 | Glacier Hwy Sewer-Anka to Walmart            | \$770,000   |

The \$5,273,237 consists of:

|                 |             |
|-----------------|-------------|
| Sales Tax       | \$3,325,216 |
| Wastewater Fund | \$1,948,021 |



Moved and Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
D. Rorie Watt, City Manager

Attest:

\_\_\_\_\_  
Elizabeth J. McEwen, Municipal Clerk





DATE: December 31, 2020

TO: Juneau Assembly

FROM: Lori Sowa, Utilities Engineer

THROUGH: Katie Koester, Director Public Works and Engineering

SUBJECT: CIP Wastewater Funds Transfer Requests

To accommodate the current project needs of the wastewater utility, fund transfers from existing wastewater utility revenue funded CIPs are proposed as outlined below.

| <b>U76-103 Facilities Planning</b>                                    |                                          |                  |  |
|-----------------------------------------------------------------------|------------------------------------------|------------------|--|
|                                                                       | From                                     | Status           |  |
| \$ 25,216.16                                                          | U76-014 Auke Bay Sewer Ext               | Project Complete |  |
| \$ 15,019.04                                                          | U76-015 JD Plant Infr                    | Project Complete |  |
| \$ 39,755.00                                                          | U76-108 MWWTP Roof Repair                | Project Complete |  |
| <b>\$ 79,990.20</b>                                                   | <b>transfer to CIP U76-103</b>           |                  |  |
|                                                                       |                                          |                  |  |
| <b>U76-122 OD / WJ Station Upgrades</b>                               |                                          |                  |  |
|                                                                       | From                                     | Status           |  |
| \$ 100,000.00                                                         | U76-113 Maier Dr FM Repai                | Project Complete |  |
| \$ 98,246.98                                                          | U76-117 Anode Replace OD FM              | Project Complete |  |
| <b>\$ 198,246.98</b>                                                  | <b>transfer to CIP U76-122</b>           |                  |  |
|                                                                       |                                          |                  |  |
| <b>U76-112 JD Vactor Dump</b>                                         |                                          |                  |  |
|                                                                       | From                                     | Status           |  |
| \$ 225,000.00                                                         | U76-116 JD Clarifier/Dig Imp             | Deferred         |  |
| \$ 1,500,000.00                                                       | U76-114 WW Infr Maint                    | Ongoing          |  |
| \$ 1,800,000.00                                                       | U76-119 MWWTP Improvements               | Ongoing          |  |
| \$ 700,000.00                                                         | U76-126 JDTP Improvements                | Ongoing          |  |
| <b>\$ 4,225,000.00</b>                                                | <b>transfer to CIP U76-112</b>           |                  |  |
|                                                                       |                                          |                  |  |
| <b>U76-100 Glacier Hwy Sewer - Anka to Walmart (Gruening Park PS)</b> |                                          |                  |  |
|                                                                       | From                                     | Status           |  |
| \$ 770,000.00                                                         | U76-121 Collection Sys Pump Sta Upgrades | Ongoing          |  |
| <b>\$ 770,000.00</b>                                                  | <b>transfer to CIP U76-100</b>           |                  |  |



The funds requested for the JD Vactor Dump project are expected to provide full funding for design, construction and contract administration for this project based upon the 35% design cost estimate. This project is the highest priority for work at the JD Plant and is very high overall on the utility's priorities. It will eliminate the need for the vactor dump pond by providing receiving station equipment and improved grit and solids handling at the JD Plant. In addition, these upgrades will accommodate discharges from septic haulers. The proposed transfers for this project include a transfer from the MWWTP Upgrades CIP that will be replaced by Wastewater Utility revenue funding in the FY22 CIP request.

Wastewater funds for the Gruening Park Lift Station are being provided to complete the long needed renovation and upgrade of the pump station during the ADOT funded relocation of the Gruening Park generator building to accommodate the upcoming Glacier Highway construction project.

Many of the proposed transfers are reallocation of wastewater funds from completed projects to ongoing work in need of additional funding. This applies to both U76-103 Facilities Planning (supports ongoing permit-required studies including an Industrial User Survey for the Mendenhall treatment plant) and U76-122 Outer Drive and West Juneau Lift Station Improvements.

The ongoing CIPs that are providing funding for the priority projects above retain enough funding to continue developing and building projects within those CIPs. Additional funding for construction will be prioritized and funded by the Wastewater Utility FY22 CIP request.



Presented by: The Manager  
Introduced: December 14, 2020  
Drafted by: Finance

**ORDINANCE OF THE CITY AND BOROUGH OF JUNEAU, ALASKA**

**Serial No. 2020-09(AA)**

**An Ordinance Appropriating \$45,000 to the Manager for Parks and Recreation's Fiscal Year 2021 Dimond Park Field House Operating Costs; Funding Provided by the General Fund's Fund Balance.**

BE IT ENACTED BY THE ASSEMBLY OF THE CITY AND BOROUGH OF JUNEAU, ALASKA:

**Section 1. Classification.** This ordinance is a noncode ordinance.

**Section 2. Appropriation.** There is appropriated to the Manager the sum of \$45,000 for Parks and Recreation's fiscal year 2021 Dimond Park Field House operating costs.

**Section 3. Source of Funds**

|                             |          |
|-----------------------------|----------|
| General Fund's Fund Balance | \$45,000 |
|-----------------------------|----------|

**Section 4. Effective Date.** This ordinance shall become effective upon adoption.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

---

Beth A. Weldon, Mayor

Attest:

---

Elizabeth J. McEwen, Municipal Clerk



Presented by: The Manager  
Introduced: December 14, 2020  
Drafted by: Finance

**ORDINANCE OF THE CITY AND BOROUGH OF JUNEAU, ALASKA**

**Serial No. 2020-09(AB)**

**An Ordinance Appropriating \$376,000 to the Manager for the Planning and Design of Bond-Funded Capital Improvement Projects; Funding Provided by General Obligation Bond Proceeds.**

BE IT ENACTED BY THE ASSEMBLY OF THE CITY AND BOROUGH OF JUNEAU, ALASKA:

**Section 1. Classification.** This ordinance is a noncode ordinance.

**Section 2. Appropriation.** There is appropriated to the Manager the sum of \$376,000 for the planning and design of bond-funded capital improvement projects.

**Section 3. Source of Funds**

|                                  |           |
|----------------------------------|-----------|
| General Obligation Bond Proceeds | \$376,000 |
|----------------------------------|-----------|

**Section 4. Effective Date.** This ordinance shall become effective upon adoption.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

---

Beth A. Weldon, Mayor

Attest:

---

Elizabeth J. McEwen, Municipal Clerk



Presented by: The Manager

Presented: 07/13/2020

Drafted by: R. Palmer III

# **ORDINANCE OF THE CITY AND BOROUGH OF JUNEAU, ALASKA**

**Serial No. 2020-38(b)**

## **An Ordinance Authorizing Docks and Harbors to Execute a Reservation Agreement with Goldbelt, Inc. for Seadrome Dock and the Merchant's Wharf Float.**

WHEREAS, under Title 85 of the City and Borough Code, Docks and Harbors is responsible for the operation, development, and marketing of municipally owned and operated port and harbors, including such facilities as boat harbors, docks, ferry terminals, boat launching ramps, and related facilities except as designated by the Assembly by resolution; and

WHEREAS, Docks and Harbors manages a year-round reservation system for large commercial vessels, yachts and fishing vessels at the Intermediate Vessel Float and along the Statter Harbor Breakwater in Auke Bay; and

WHEREAS, during the summer months, the linear foot capacity at the Intermediate Vessel Float often is exceeded by the demand from small cruise ships, yachts, large pleasure crafts and commercial fishing vessels; and

WHEREAS, Goldbelt, Inc. owns and operates the float at the Seadrome Dock and manages a float facility along the Merchant's Wharf; and

WHEREAS, Docks and Harbors staffing, with demonstrative experience in reservation management, has the capacity to maximize vessel assignments throughout the downtown waterfront; and

WHEREAS, Goldbelt, Inc. has signaled interest in developing a business plan in which Docks and Harbors could collectively manage the reservations of the publicly owned Intermediate Vessel Float and the privately owned Seadrome Dock with adjoining Merchant's Wharf Float for the 2021 summer season; and

WHEREAS, Docks and Harbors views the synergistic opportunity to place the downtown reservation system under a single organization as a financial benefit to the City and Borough of Juneau, administrative personnel cost savings to Goldbelt, Inc., and greater customer service to mariners desiring downtown moorage.

WHEREAS, Title 85 does not provide the Docks and Harbors Board with authority to execute reservation agreements for privately owned docks.



BE IT ENACTED BY THE ASSEMBLY OF THE CITY AND BOROUGH OF JUNEAU, ALASKA:

**Section 1. Classification.** This ordinance is a non-code ordinance.

**Section 2. Authorization.** Despite any provision of Title 85 to the contrary, the Docks and Harbors Board is authorized to execute a reservation agreement with the following essential terms:

- (a) **Scope.** The Docks and Harbors Department may manage reservations, including moorage services, for the privately owned Seadrome Dock and adjoining Merchant's Wharf Float ("Goldbelt facilities").
- (b) **Priority.** Docks and Harbors shall prioritize reservations at and fill CBJ facilities before making reservations at Goldbelt facilities.
- (c) **Compensation.** Docks and Harbors shall receive 30 percent of all new reservation revenues collected at the Goldbelt facilities.
- (d) **Term.** The reservation agreement is only for the 2021 summer season.
- (e) **Liability.** The City and Borough of Juneau is not assuming control, maintenance, or responsibility of any of Goldbelt, Inc.'s real property. The City and Borough of Juneau is not responsible for the inability to make a reservation, reservation disruptions, reservation changes, market fluctuations, or vessel relocations.
- (f) **Public Records.** All records received by the Docks and Harbors Department related to this agreement are public records and subject to the Alaska Public Records Act and CBJC 01.70.

**Section 3. Effective Date.** This ordinance shall be effective 30 days after its adoption and terminate on December 31, 2021.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Beth A. Weldon, Mayor

Attest:

\_\_\_\_\_  
Elizabeth J. McEwen, Municipal Clerk



## REGULATIONS OF THE CITY AND BOROUGH OF JUNEAU, ALASKA

### Amendment of Title 05, Chapter 20 SMALL BOAT HARBOR FEES AND CHARGES

PURSUANT TO AUTHORITY GRANTED BY THE ASSEMBLY OF THE CITY AND BOROUGH OF JUNEAU, THE DOCKS AND HARBORS BOARD PROPOSES TO ADOPT THE FOLLOWING AMENDMENT TO REGULATIONS:

**Section 1. Authority.** These regulations are adopted pursuant to CBJ Ordinance 01.60, 85.02.060, and 85.02.100.

**Section 2. Amendment of Section.** 05 CBJAC 20.044 is amended to read:

#### **05 CBJAC 20.044 Active fishing vessel discount at Statter Harbor.**

- (a) *Discount.* In lieu of the requirement to pay daily fees for use of Statter Harbor as set out in 05 CBJAC 25.060 and 05 CBJAC 25.070, the owner of a fishing vessel that pays annual fees as set out in 05 CBJAC 40.020 may, for up to 20 days in a calendar year, use Statter Harbor without paying daily fees, provided:
  - (1) The owner registers with Statter Harbor Office in advance or upon arrival at Statter Harbor;
  - (2) The owner does not owe past due fees to the Docks and Harbors Department;
  - (3) The owner provides the Harbormaster with proof of significant fish landings within the City and Borough of Juneau during each calendar month the owner uses Statter Harbor; and
  - (4) If the owner has reserved moorage, the owner informs the Docks and Harbors Department of the departure date from and estimated return date to their preferred stall.
- (b) *Exclusions.* This section does not relieve an owner from complying with other applicable requirements for use of Statter Harbor such as maximum time limits or the requirement to pay monthly fees during the winter moorage period.
- (c) *Reciprocation.* Fishing vessels maintaining reserved moorage in Statter Harbor will be allowed 20 days at the downtown harbors during the calendar year provided they comply with the stipulations above.

**Section 3. Notice of Proposed Adoption of a Regulation.** The notice requirements of CBJ 01.60.200 were followed by the agency. The notice period began on November 13, 2020, which is not less than 21 days before the date of adoption of these regulations as set forth below.



### Adoption by Agency

After considering all relevant matter presented to it, the agency hereby amends these regulations as set forth above. The agency will next seek Assembly review and approval.

Date: December 30th, 2020

Carl J Uchytel  
Carl Uchytel  
Port Director

### Legal Review

These regulations have been reviewed and approved in accordance with the following standards set forth in CBJ 01.60.250:

- (1) Its consistency with federal and state law and with the charter, code, and other municipal regulations;
- (2) The existence of code authority and the correctness of the required citation of code authority following each section; and
- (3) Its clarity, simplicity of expression, and absence of possibility of misapplication.

Date: 12/30/2020

Teresa Bowen  
Teresa Bowen  
Assistant Municipal Attorney

### Assembly Review

These regulations were presented to the Assembly at its meeting of \_\_\_\_\_. They were adopted by the Assembly.

Date: \_\_\_\_\_

\_\_\_\_\_  
Elizabeth J. McEwen, Clerk

### Filing with Clerk

I certify, as the Clerk of the City and Borough of Juneau, that the following statements are true:

- (1) These regulations were accepted for filing by the office of the clerk at \_\_\_\_:\_\_\_\_ a.m./p.m. on the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.
- (2) After signing, I will immediately deliver or cause to be delivered copies of this regulation to the attorney and the director of libraries.
- (3) A permanent file of the signed originals of these regulations will be maintained in this office for public inspection.
- (4) Effective date: \_\_\_\_\_.

Date: \_\_\_\_\_

\_\_\_\_\_  
Elizabeth J. McEwen, Clerk