

Agenda

Planning Commission - Regular Meeting City and Borough of Juneau Ben Haight, Chair

October 10, 2017
Assembly Chambers
7:00 PM

I. ROLL CALL

II. APPROVAL OF MINUTES

A. September 12, 2017 Draft Minutes - Regular Planning Commission Meeting

III. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS

IV. PLANNING COMMISSION LIAISON REPORT

V. RECONSIDERATION OF THE FOLLOWING ITEMS

VI. CONSENT AGENDA

VII. CONSIDERATION OF ORDINANCES AND RESOLUTIONS

VIII. UNFINISHED BUSINESS

IX. REGULAR AGENDA

A. SMP2017 0001: A Modification to the Pederson Hill Subdivision Preliminary Plat

X. BOARD OF ADJUSTMENT

XI. OTHER BUSINESS

XII. DIRECTOR'S REPORT

XIII. REPORT OF REGULAR AND SPECIAL COMMITTEES

XIV. PLANNING COMMISSION COMMENTS AND QUESTIONS

XV. ADJOURNMENT

Agenda
Planning Commission
Regular Meeting
CITY AND BOROUGH OF JUNEAU
Ben Haight, Chairman
September 12, 2017

I. ROLL CALL

Ben Haight, Chairman, called the Regular Meeting of the City and Borough of Juneau (CBJ) Planning Commission (PC), held in the Assembly Chambers of the Municipal Building, to order at 7:09 p.m.

Commissioners present: Ben Haight, Chairman; Paul Voelckers, Vice Chairman; Michael LeVine, (telephonically), Nathaniel Dye, Dan Miller, Percy Frisby, Dan Hickok, Carl Greene (telephonically)

Commissioners absent: Kirsten Shelton

Staff present: Rob Steedle, CDD Director; Beth McKibben, Planning Manager; Jill Maclean, Senior Planner; Tim Felstead, Planner II; Allison Eddins, Planner I; Alan Steffert, Project Engineer; Dan Bleidorn, Deputy Land Manager

Assembly members: Debbie White, Loren Jones

II. APPROVAL OF MINUTES

July 25, 2017 Draft Minutes - Regular Planning Commission Meeting

MOTION: *by Mr. Dye, to approve the July 25, 2017 regular Planning Commission meeting minutes, with any minor adjustments by staff or Commission member.*

The motion passed with no objection.

III. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS - None

IV. PLANNING COMMISSION LIAISON REPORT

Assembly Liaison to the Planning Commission Debbie White reported that the next Assembly meeting is Monday, September 18, (2017).

V. RECONSIDERATION OF THE FOLLOWING ITEMS - None

VI. CONSENT AGENDA

A member of the public requested that CSP2017 0014 be pulled from the Consent Agenda and placed on the Regular Agenda.

CSP2017 0015: A City Project to grant a portion of CBJ property, located at 3252 Hospital Drive, to the Sleepy Spruce apartments for the purposes of a drainage easement.

Applicant: CBJ Lands Department

Location: 3252 Hospital Drive

Staff Recommendation

Staff recommends that the Planning Commission finds CSP2017 0015, review for the provision of a drainage easement to Lot 2, Block 3 Salmon Creek Subdivision, consistent with the 2013 Comprehensive Plan and Title 49 and forward to the Assembly a recommendation for approval.

MOTION: *by Mr. Miller, to approve the Consent Agenda as amended with staff's findings, analysis and recommendations.*

The motion passed with no objection.

VII. CONSIDERATION OF ORDINANCES AND RESOLUTIONS - None

VIII. UNFINISHED BUSINESS - None

IX. REGULAR AGENDA

CSP2017 0014: A City Project Review of an extension of the West Douglas Pioneer Road through CBJ lands on the west side of Douglas Island.

Applicant: City & Borough of Juneau

Location: North Douglas Highway

Staff Recommendation

Staff recommends that the Planning Commission recommend the Assembly APPROVE CSP2017 0014, an extension of the West Douglas Pioneer Road through CBJ lands on west side of Douglas Island.

The following conditions are recommended:

1. To minimize any increased pressure on the Douglas Island deer population due to the improved hunter access, future public use of the CBJ North Douglas 'pioneer road' shall be restricted to non-motorized vehicles.

2. If public or private motorized vehicles are allowed to use the CBJ North Douglas 'pioneer road', they shall be limited to using the improved access road surface in order to protect surrounding sensitive areas including wetlands and fish habitat.
3. To mitigate for the fill of wetlands for the construction of the CBJ North Douglas 'pioneer road', CBJ shall provide suitable mitigation areas and consult with the Wetlands Review Board on the location of these areas.
4. The CBJ project manager shall ensure the contractors are made aware of the possibility of finding burials, artifacts or other archeological finds during the project construction. If any historic, prehistoric, or archeological sites, locations, remains, or objects are discovered during development activity, all work in the area must cease, and the applicant/permittee/whomever must immediately notify the State Historic Preservation Officer at the Department of Natural Resources and the Douglas Indian Association.

Mr. Felstead told the Commission that this is a review of an extension of the West Douglas Pioneer Road through CBJ lands on the west side of Douglas Island. There is money left over from phase 1 of this project to continue another 1.15 miles, said Mr. Felstead.

Mr. Voelckers interjected and stated that MRV Architects had been involved in the original West Douglas master plan, in case Planning Commission members may feel there was a conflict of interest.

No Commission member found a conflict of interest on the part of Mr. Voelckers.

This phase of the project would extend almost to Middle Creek, said Mr. Felstead. The proposed road would run through areas identified as new growth areas in the Comprehensive Plan, he said. They have very specific requirements listed in the Land Use Code as well, said Mr. Felstead. The original 2.25 mile access road was reviewed in 2016 by the Planning Commission, he noted. This most recent phase will consist of a fill of 1.14 acres of delineated wetlands. There will be 12 culverts required for this phase, three of which will be designed to allow fish passage, said Mr. Felstead.

Funding for this project was allocated from the state, said Mr. Felstead. The application states the purpose of the road is to allow access into these new growth areas, to facilitate further study of these areas, he said. It will also provide a recreational trail for the community, he added. The road will be 14 feet wide with eight foot turnouts, he described.

This additional phase needs to come back to the Planning Commission for review, he said, with a subsequent recommendation to the Assembly. They have looked at the Land Use Code, particularly the habitat standards and the requirements for development in new growth areas,

said Mr. Felstead. They also reviewed the 2013 Comprehensive Plan, the 1997 West Douglas Conceptual Plan, and the Juneau Economic Development Plan.

The Land Use Code is very clear that before the new growth areas can be developed, that a master plan needs to be created, said Mr. Felstead. An Army Corps of Engineers permit will be required for any fill that is required of the wetlands, he said. CBJ has submitted an application for this, he said. The Wetlands Review Board at its meeting last month wanted to emphasize that the CBJ Storm Water Management best practices should be strictly followed, he said. A mitigation area should be provided as well, he said. The Wetlands Review Board asked that they be consulted on the location of the mitigation areas, said Mr. Felstead. They also recommended that motorized vehicles be limited to the improved road surface only, he said. They expressed the concern that off-road vehicles may disturb the habitat in the area, he said.

They also requested that a wider study be undertaken to examine appropriate buffers along the Peterson Creek and Middle Creek drainage areas, said Mr. Felstead. The Alaska Department of Fish and Game Habitat Division has made site visits and has determined that three of the 12 streams crossed in this most recent phase should have culverts designed to allow fish passage, said Mr. Felstead. Normal requirements are that a 50 foot buffer surrounds anadromous streams, he added. In this circumstance there is an exception which allows crossings across anadromous streams, he added.

The CBJ General Engineering Department commented that Phase 1 was appropriately permitted, and that permits would also be required for Phase 2, said Mr. Felstead. They also noted that a subdivision would be required if a right-of-way should be designated in the future, he said, which would be triggered if this were to become a public road. The CBJ Lands Committee proposed at its meeting last month that public vehicular access to the road be restricted until it is upgraded to accommodate public traffic. The Alaska Department of Fish and Game Wildlife Conservation Division noted the importance of the area in terms of its deer habitat, said Mr. Felstead.

The recommendation has been made that motorized access be restricted, said Mr. Felstead. The Alaska Department of Environmental Conservation has no issues with the project. This department would oversee the storm water prevention plan, he said. The Alaska Department of Transportation said that the existing trail parking lot appears suitable for the public, said Mr. Felstead. They recommended the entrance to the road be gated until it is upgraded to a public road, he said. The Juneau Commission on Sustainability suggested that any of the timber which is felled be made available to the public, he said.

CBJ Engineering leaves the disposal of the felled timber up to the contractor, said Mr. Felstead. The Douglas Indian Association has commented that the road may be near locations where burials or artifacts could be found, he said. A condition has been added that any discoveries of this nature be disclosed to the Douglas Indian Association as well as the relevant state agencies,

said Mr. Felstead. He added that the West Douglas Conceptual Plan requires a master plan to be developed and adopted by the Assembly before anything more than minor development can occur. The Comprehensive Plan requires that each new growth area be developed according to a master plan, said Mr. Felstead.

The Juneau Economic Development Plan identifies the development of West Douglas in the Enhance Essential Infrastructure initiative, said Mr. Felstead. The staff finds that the proposal is consistent with the Comprehensive Plan, Title 49, and other associated plans which have been identified, said Mr. Felstead.

There has been a public comment received requesting that the findings be linked more strongly to the adopted chapter of the West Douglas Plan, said Mr. Felstead, and clarify that the purpose of this access road is to facilitate studies for the development of a West Douglas master plan.

Mr. Felstead said the Commission may want to amend the finding stipulating that off-road vehicles may not go off the road surface to allow vehicles to go off the road to where they are performing further studies, he added.

Commission Comments and Questions

Mr. Frisby asked if this portion of the project was from the initial \$500,000 or if that is the estimate of just this portion of the project.

Mr. Steffert said the project will cost less than \$600,000. He said hopefully the cost would be closer to \$400,000.

Mr. Frisby asked where the project was in terms of the permitting process.

Mr. Steffert said the necessary permits should be in place within the next few weeks.

In answer to a question of Mr. Voelckers, Mr. Steffert said the plan is to have this phase of the road section ending approximately 50 feet from the top of the bank of Middle Creek.

Mr. Voelckers asked if there would be a recreational creek crossing in place across Middle Creek at the end of this project.

There are many ways to cross the creek, said Mr. Steffert. There are smaller banks of the creek both up and down stream, he commented, where people could walk across.

Mr. LeVine asked if for some reason the City decided not to go forward with this project at this time if there were other uses to which the funds could be allocated.

If these funds were not used for this project, said Mr. Steffert, since they are grant funds, they would not be available for anything else.

Public Comment

Nancy Waterman said she wanted to compliment the staff on their thorough review of this project. She said she would like to recognize that the West Douglas area is different from other CBJ property that was within the urban service boundary like Pedersen Hill and the hundred acres or so that are above the Auke Rec bypass road. Those areas within the urban service area boundary are already served by public infrastructure. This new growth area is outside of the urban service area boundary and requires an adopted master plan, said Ms. Waterman, to proceed in a unified manner.

Murray Walsh asked why motorized vehicles are not being allowed access on this road. He also asked if this road was being designed so that it could be widened at a later date.

Mr. Voelckers said the Lands Committee forwarded an active recommendation to the Assembly stipulating that the Pioneer Road is for non-motorized vehicles at this time. That was for safety issues, he said. They felt the road is not developed to the standard providing safe access to motorized vehicles, he said. He said he agreed with Mr. Walsh and that it was not appropriate to have this as a Planning Commission condition.

Mr. Steffert said the Lands Manager, Greg Chaney, went to the Lands Committee to obtain guidance for interim use of the road. The road is designed at this stage as a single lane with the turnout with a rock surface and steep drop-offs. It is not designed for use as a public road, he said, for the use of motorcars. Therefore it is restricted to authorized vehicles only which is why they will have a locked gate at the beginning of the road, he said. Eventually the intent for the road is that it will be upgraded for full public use, he said.

Mr. Hickok said it appeared to him that the first two conditions contradicted each other.

Mr. Felstead explained that the recommendations had been written so that the public motorized access is not allowed under Condition 1. This was to limit access to the wildlife so that it would not be easily taken advantage of for hunting, he said. The second condition is to restrict any motorized vehicles, public or private, to only the surfaced area, he said. That is to protect sensitive habitat such as the wetlands, he said.

Mr. Hickok asked if this would be considered a road, which would require hunters to hunt a quarter mile from the road.

Mr. Steffert said for hunting purposes this would not be considered a road.

Mr. Miller said he did not think the word “future” should be used to describe public use in condition number one. According to statements of Mr. Steffert, said Mr. Miller, the “future” of the road is intended for it to be a public road. Mr. Miller said he would also like to add the findings of Ms. Waterman into the record as part of the analysis and findings.

*The proposed access road across CBJ land on the west side of Douglas Island near the end of Douglas Highway is intended to implement the recommendations of the 1997 West Douglas Concept Plan, **Chapter 6** and to provide for access into CBJ lands for **future New Growth area master planning**. The provision of access to these lands is also consistent with the Juneau Economic Development Plan Initiative that supports development of West Douglas. Staff finds that the proposal is consistent with the 2013 Comprehensive Plan, Title 49, and other associated plans mentioned herein. [Emphasis added on Ms. Waterman’s additions to recommended findings]*

MOTION: by Mr. Miller, to approve CSP2017 0014 removing the word “future” from condition one, and adding the findings of Ms. Waterman to the staff’s analysis and findings.

Mr. Voelckers said he was generally in support of the motion, and wanted to offer several friendly amendments. He said he liked Ms. Waterman’s improved findings with one caveat: the purpose of the road is not just to do a master plan but to do a master plan leading to development. Mr. Voelckers said he would like to add a sentence after the sentence in the findings concluding in “CBJ lands for future development”. He suggested that a sentence be added stating “Such development would follow CBJ new growth and area provisions.”

Mr. Voelckers said he thought it may be the most clear to simply strike condition one. That condition is already being dealt with by the Assembly, he said.

Mr. Miller accepted Mr. Voelckers’ two friendly amendments.

Mr. Dye asked if condition number one was eliminated, then what was the purpose of condition number two?

Mr. Voelckers said there was debate on the Lands Committee as to whether it was too onerous to allow no types of motorized vehicles of any kind on the road. If some types of motorized vehicles were allowed, he said, then condition two would be relevant.

Mr. Hickok said it was his feeling that motorized vehicles were not wanted in the area due to negative impacts on habitat and wildlife. Therefore, he said, he did not think condition number two was necessary.

Mr. Dye said they have repeatedly heard this is a non-motorized road. He suggested that condition one read that, “The Pioneer road shall be restricted to non-motorized vehicles.” He added that he felt condition two should be deleted.

Mr. Frisby asked if it had been verified that the Assembly is already dealing with this issue.

Mr. Miller said he was not on the Planning Commission when it reviewed Phase 1 of this project. He asked if there were similar findings for that phase of the road.

Mr. Felstead said there were no conditions regarding access to the road for Phase 1. These two conditions were developed based upon comments provided by the State and the Wetlands Review Board.

Mr. Dye said he thought he recalled that part of the condition for Phase 1 involved boulders being placed in front of the road to prohibit motorized vehicle traffic.

Mr. Steffert said it was always intended that a gate be placed in front of the road as they have on the other roads of this nature.

To clarify the amended motion, Mr. Miller said that condition one could be struck, with number two remaining, basically restricting motorized vehicles except for when they are used for further studies.

Mr. Steedle said he felt the purpose of condition two was to keep vehicles on the road itself prohibiting them from wandering into adjacent habitat. Mr. Steedle said he felt that conditions one and two were different. Condition two is addressing off-road access, he said.

Mr. Dye suggested blending conditions number one and two by stating: "Public use of CBJ North Douglas Pioneer Road shall be restricted to non-motorized vehicles except to facilitate further studies."

Mr. Voelckers added "and further construction" to conclude the above sentence suggested by Mr. Dye.

Mr. LeVine said he felt any condition placed here should be limited to Phase 2 of the road project. He said they should interject that language within the condition. He said otherwise he felt that the Commission would be overreaching its authority.

Mr. Voelckers said he supported the blended phrasing of conditions one and two. He said he had some concerns about condition number three being too broad. He said he had concerns that the words "suitable mitigation" were not specific enough.

Mr. Felstead said "suitable mitigation" would be based upon consultation with the Wetlands Review Board.

Mr. Voelckers asked if they could add the words “as determined by the Director” to further define the condition.

Mr. Steedle said he felt this was beyond the purview of the Director of Community Development.

Mr. Voelckers said he was concerned that they may have created an issue that may bog down the process of moving forward with obtaining the necessary permits. He asked Mr. Steedle for some background on why he felt this would not be an instance for a Director of Community Development decision.

Mr. Steedle said he did not think this would be a decision that the Director would make in a vacuum. It would be made in consultation with the Wetlands Review Board and with the Planning Commission as well as the Engineering Department. The decision would ultimately be coming back to the Planning Commission, he added, for its recommendations to the Assembly.

Mr. Miller said he has served on the Wetlands Review Board for a long time. He said he felt that CBJ can provide suitable mitigation areas for this project. Mr. Miller said he agreed with the Director that it will be a community decision to decide what is suitable.

Mr. Voelckers asked about Mr. LeVine’s point about limiting these conditions and analysis to the current phase.

Mr. Miller said he felt these conditions did apply only to this phase. He said this is the only project they are making a decision on at this time.

Mr. LeVine said he wanted to state that he is fully in support of development further along Douglas supportive of master planning, and for all of the reasons for which he objected to Phase 1, he will be voting “no” on this motion.

MOTION: *(by Mr. Miller, incorporating friendly amendments by Mr. Voelckers and Mr. Dye): Public use of the CBJ North Douglas Pioneer Road shall be restricted to non-motorized vehicles except to facilitate further studies and construction. A sentence will be added after the first sentence in the findings to state: “Such development would follow CBJ new growth area provisions.”*

Roll Call Vote:

Yeas: Miller, Dye, Greene, Frisby, Hickok, Voelckers, Haight

Nays: LeVine

The motion passed.

AME2017 0010: A rezone request from Waterfront Industrial to Light Commercial or D18 at 824 Front Street, Douglas.

Applicant: Deborah & Kent Hart

Location: 824 Front Street

Staff Recommendation

Staff recommends that the Planning Commission concur with the Director's analysis and findings and recommend approval to the Assembly for the rezone of 824 Front Street, Mill site Addition to Douglas Town site, Block 32, Tract A, from Waterfront Industrial to Light Commercial.

Ms. Maclean said this is a rezone in Douglas adjacent to the CBJ Docks and Harbors parking lot. The property is currently zoned Waterfront Industrial. There are currently no buildings on the site, she said. Since it is an almost 16,000 square foot parcel it must be an extension of an adjacent zoning district, said Ms. Maclean. The Comprehensive Plan land use designation is for Mixed-Use, she said. This is no longer a shoreline property, noted Ms. Maclean. The property faces both Front Street and Dock Street, she noted.

The applicant intends to construct boat condos, said Ms. McLean, but since this is a zone change, the Commission may not provide conditions for a zone change, so therefore its decision cannot be based upon what the applicant intends to do in the future, explained Ms. Maclean.

The lot previously contained the Washateria which has been gone for some time, said Ms. Maclean. The property was granted an Allowable Use Permit in 2010 which was not constructed. It was also denied a variance to back-out parking, noted Ms. Maclean.

They held a neighborhood meeting on August 9, (2017) on this rezone request at which about 10 people attended, said Ms. Maclean. Those present at the meeting were generally in favor of a zone change for this property, she said. The property is adjacent to both Light Commercial and D-18 properties, said Ms. Maclean. It could be rezoned to either of those zones. Marine Mixed Use allows for medium and high density residential uses ranging from 10 to 60 residential uses per acre, noted Ms. Maclean. Currently the waterfront industrial zoning does not allow for residential units except for one caretaker unit per lot, she noted.

Comprehensive Plan land use designations are basically an umbrella designation applicable to multiple zoning types which could be applied to fit the Comprehensive Land Use Plan, said Ms. Maclean. In this instance, to meet Marine Mixed-Use there could be Waterfront Industrial, Waterfront Commercial, Light Commercial or D-18, she said. At the staff's recommendation the owners originally applied for Light Commercial zoning, said Ms. Maclean. Marijuana would be allowed in Light Commercial zoning, said Ms. McLean, and it is not allowed in D-18 zoning. Therefore the staff recommended that the applicant apply for both Light Commercial and D-18

zoning, so if the neighbors objected to the marijuana use permitted with Light Commercial zoning they would still have the option of D-18 zoning, explained Ms. Maclean.

Light Commercial zoning is to permit commercial development which is generally less intensive than is permitted in the General Commercial zones, said Ms. Maclean. It is primarily located next to existing residential areas, she said. D-18 zoning is for multi-family development with a density of up to 18 units per acre, she said. Light Commercial would allow 30 units per acre, she added. On this property under D-18 zoning they could have up to six dwelling units, and with Light Commercial zoning they could have up to 11 units on the site, said Ms. Maclean. Either of the proposed zones would allow for child care, adult day care, rooms for rent, common wall construction, and accessory apartments, said Ms. Maclean. Those uses would not currently be allowed under the current Waterfront Industrial zone, she added. Sales and rentals are allowed in light commercial zones but not in D-18 zones, said Ms. Maclean. Manufacturing would be allowed in some instances, she said.

The lot sizes are larger in D-18 zones than in Light Commercial, said Ms. Maclean. The Overlay District has been adopted and is applicable to this area, said Ms. Maclean. Therefore any residential development would be allowed to apply for reduced setbacks, lot and vegetative coverage, she said.

The existing Waterfront Industrial zoning is consistent with the Comprehensive Plan and land use designations, but it is not allowed for residential uses. Waterfront Industrial zoning is intended for industrial use which would substantially benefit from a shore front location which is no longer applicable to this property, said Ms. Maclean.

The staff recommends the Light Commercial over D-18 zoning, said Ms. Maclean. The residents at the public meeting were in favor of the zone change, and the property has been viewed as blight for some years now, she noted. Marijuana in a light commercial zone was not a concern for the residents either, she said. The location of this property near the Montessori school would make a marijuana business on this property difficult but not impossible, noted Ms. Maclean. The applicants have stated they would prefer the Light Commercial zone because it gives them a little more flexibility in their plans, said Ms. Maclean.

Commission Comments and Questions

Mr. Miller asked the applicant, Kent Hart, if he preferred the Light Commercial zone option.

Mr. Hart said that he did prefer the Light Commercial zone option.

MOTION: *by Mr. Miller, to approve AME2017 0010 for Light Commercial zoning and accept staff's findings, analysis, and recommendations.*

Speaking in favor of the motion, Mr. Voelckers said the rezone request had been thoroughly studied by the staff, and that he agreed that Light Commercial zoning was appropriate for the neighborhood.

The motion passed with no objection.

AME2017 0003: Proposed revision to CBJ code 49.15.423 regarding Panhandle Lots

Applicant: City and Borough of Juneau

Location: Borough-Wide

Staff Recommendation

Staff recommends that the Planning Commission review and consider the proposed ordinance and forward a recommendation for approval to the Assembly.

This proposal has been discussed at two Title 49 Committee meetings in February and June, said Ms. McKibben. Currently the minimum lot size created by a panhandle subdivision is 20,000 square feet, when served by City water and sewer, and 36,000 square feet when sewer is not available. By allowing smaller lots to subdivide through the panhandle provisions, more “infill” lots may be created in the zoning districts that have smaller minimum lot size requirements. These lots would continue to be required to have frontage on a public right-of-way, said Ms. McKibben.

The minimum width of the stem is required to be 30 feet, and the maximum grade of the driveway to no more than 15 percent, said Ms. McKibben. It requires that the panhandle lot share one access and that it be shown on the plat with an easement or a plat note, and requires a maintenance agreement for the shared driveway, and limits the panhandle to two lots.

The proposed amendment would allow any lot to be subdivided through the panhandle provision if the lots created meet the minimum dimensional standards of the underlying zoning district, said Ms. McKibben. This is exclusive of the stem, she noted. Both the front lot and the panhandle lot will have the minimum square feet of lot area and meet both lot width and depth requirements, she said. This creates a new option as a type of “infill” development, she noted. This provides applicants with a larger variety of options from which to choose, she noted.

The proposed amendment does preserve the opportunity for lots in the D-1 zoning district to use up to 30 feet of the width of the handle to calculate the width of the front lot, said Ms. McKibben. There are long, deep lots on North Douglas which could be panhandled and this provision is to provide for the subdivision of those lots, she said. The stem of the Panhandle is reduced from 30 to 20 feet, said Ms. McKibben.

This proposed ordinance removes the 15 percent grade requirement, and means that the applicant may request that the Fire Marshall grant an exception to the fire code to have a

driveway grade of more than 10 percent, she said. The clarifying language requires that access be through the stem, said Ms. McKibben, to prevent the City from being at risk for “takings”. If the stem is required for access and it is not used for access then potentially the City could be “taking” the use of that property, she added.

When there is a shared driveway it must be shown in the plat and a maintenance agreement recorded, said Ms. McKibben. The front lot may have its own access to a right-of-way if the driveway can be approved by the CBJ or the Department of Transportation and Public Facilities. Some of the larger lots already have two driveways, or homes may already have a garage and driveway with the stem on the other side of the property, said Ms. McKibben. The City does not want to force those types of land owners to close their existing driveway, she explained.

Access for the lots shall be located in the panhandle. The lot fronting a right-of-way may have a separate and additional access if approved by the government entity that controls the right-of-way. Access to each lot shall be designated on the plat in the form of an easement.

There is also added language that requires the portion of the driveway in the right-of-way, or the first 20 feet from the edge of the public roadway, to be paved, noted Ms. McKibben. This is consistent with the language from the recently adopted private shared access provisions, as well as limit the potential for gravel to wash into the right-of-way, creating an ongoing maintenance challenge, she noted.

New language added to the amendment states that while current Panhandle subdivision regulations prohibit back-out parking; with this ordinance language is added that states, “unless approved by the Director”, said Ms. McKibben.

This ordinance also removes the prohibition limiting panhandle subdivisions to two lots, said Ms. McKibben. However, the intent is that panhandle subdivisions will only include pairs of lots, she said. The intent is that when pairs of panhandle lots are created side-by-side, the access to the rear lots will be shared by the two rear lots within the stem, she explained. If the front lots do not receive driveway permits for direct access to the adjacent streets, then they will also use the stem for access, explained Ms. McKibben. A maintenance agreement will be required for the shared driveway.

The proposed ordinance requires that the front lot of the Panhandle subdivision be treated as a corner lot and the front setback and street side yard setback may be chosen from either the right-of-way or the stem of the panhandle lot, said Ms. McKibben.

The proposed ordinance removes the lot size requirements for lots not on public sewer and specific dimensional requirements for lots using marine outfall for wastewater disposal, said Ms. McKibben. Marine outfalls are still allowed by the state, but the requirements in the CBJ

code may not be sufficient depending on the individual location of the lot and proposed outfall. By removing these specific requirements for panhandle subdivisions, the standard in CBJ Title 49 Soils Report will now apply, she said.

By allowing smaller lots within the urban service area to be further subdivided, it will allow for panhandle subdivision of smaller lots as infill development, said Ms. McKibben. This will allow for better use of property for the community as outlined in the Comprehensive Land Use Plan, said Ms. McKibben. It is one way of increasing the intensity of development using the existing infrastructure, she noted. This is also in accordance with the Juneau Economic Development Plan, she said, which encourages better use of land for increased residential development, she said.

This ordinance is in substantial compliance with the CBJ Land Use Code: specifically items numbered two, three, four and six, said Ms. McKibben.

The findings are that the proposed text amendment to Title 49 is consistent with the goals and policies of the Comprehensive Plan, the Juneau Economic Development Plan, the Housing Action Plan, and Title 49, said Ms. McKibben. Additionally, the change would not create any internal inconsistencies within any plans or codes, she noted.

Commission Comments and Questions

Mr. Miller said multiplying the minimum width by the minimum depth there are 5,950 square feet. If somebody had a 14,000 square foot lot in the Valley they could have both the front and back lots to be 7,000 square feet. However, he said, in this hypothetical they could not get to 7,000 square feet for both the front and back lots without utilizing the panhandle area. In almost every situation when considering basic minimum lot sizes the square footage of the panhandle would need to be utilized. Otherwise, in order to meet that requirement there would need to be a 15,000 square foot lot, he said. Counting the panhandle square footage of the total dimension of the lots would not affect the density, said Mr. Miller.

They pulled a number of lots to look at within various zoning districts and determined that they could meet these lot requirements, said Ms. McKibben. There are lots that can be subdivided and meet this requirement, she noted. She said there are more lots that can may not meet the setback requirement from the stem than the lot size being an issue.

Mr. Voelckers said he had independently come up with a similar concern. He referred to lot requirement (1) (A) within the proposed ordinance which states that, "The front and panhandle lots, excluding the panhandle, must meet all the dimensional and area requirements of this title." Mr. Voelckers said he could not really see a negative from simply removing that language.

If that language was removed they would still be in compliance with the lot requirements, he said.

Ms. McKibben agreed that (1) (A) was probably not necessary.

Public Comment

Mr. Murray Walsh said this is a great proposal and that the last time he checked it cost \$2,000 a lineal foot to build a CBJ compliant road scaled for residential use. It would cost \$70,000 on a lot in a D-5 zone for construction of the road, he said. This is a way to use CBJ standard roads more efficiently, said Mr. Walsh. A road that supported 20 lots would now support 30 lots, he said.

MOTION: *by Mr. Voelckers, to approve AME2017 0003 striking the language “excluding the Panhandle” in (a) (1) (A) of Lot requirements.*

Mr. LeVine said he supported the motion and that he commended the staff who moved this forward. He said this has been in development for a couple of years.

The motion passed with no objection.

AME2017 0006: Text Amendment to Title 49 to provide for siting Essential Public Facilities.

Applicant: City & Borough of Juneau

Location: Borough-Wide

Staff Recommendation

Staff recommends that the Planning Commission forward the draft text amendment to the Assembly with a recommendation for approval. Additionally, staff recommends that the next update to the Comprehensive Plan include policies that expressly address the need for flexibility in providing for Essential Public Facilities.

The contents of this ordinance were discussed by the Planning Commission at its last Committee of the Whole meeting, noted Mr. Steedle. This ordinance contains changes recommended by the Commission at that meeting, said Mr. Steedle. They appear on page 5 in the Habitat section, he said. Minor grammatical edits were also suggested, he said, and upon discussion with the City Attorney they decided not to include those.

The Essential Public Facilities process is very similar to a Conditional Use Permit process, said Mr. Steedle. The key distinction is that the use and location are not governed by the Table of Permissible uses, he said. The use of this permitting process is limited to governmental functions that provide a service to benefit the health, safety and welfare of the public, said Mr. Steedle.

To be considered for this process the purpose must be to benefit the health, safety and welfare

of the community, and it has to be delivered either by a government agency or funded by a government agency, said Mr. Steedle. In order to approve this, the Planning Commission needs to make two findings, said Mr. Steedle - that the development project that is proposed is consistent with the Comprehensive Plan, and that the application is complete. In the process followed for Conditional Use Permits, the Director needs to make some findings which are then in turn reviewed by the Commission. For this ordinance Ms. Mead simplified the language considerably, said Mr. Steedle.

In the best case scenario, if the staff and Commission relied on the conditional use process and does not have a warming shelter for example in the Table of Permissible Uses, there would be numerous and timely steps which would need to be taken to approve a use taking months of time, said Mr. Steedle. This ordinance shaves approximately three months off of the typical Conditional Use process, noted Mr. Steedle.

Commission Comments and Questions

Mr. Voelckers suggested that the first sentence of item (b) (1) be amended to add "an essential" prior to the word "service". He added that sometimes there may be the need to an uncommon weather event for an immediate response. Mr. Voelckers said he did not notice anywhere a comment on the duration of such an essential facility.

A special weather event necessitating a facility would be a very temporary solution to an emergent problem, said Mr. Steedle. There is already a provision in the code for that, which the Manager can implement, he added. This code before the Commission does not contemplate limited duration, said Mr. Steedle. He added a key difference in this ordinance is that the applicant for this facility is limited to the CBJ Manager.

Mr. Miller asked what the nature of a private organization might be where it is listed on line 11, page two of the draft ordinance.

Mr. Steedle said that it is not necessarily the CBJ which would own and operate an essential facility. This was broadly written so that any entity could enter into a contract with the CBJ to construct and operate a facility. That would flow from the Manager, to Community Development, and then to the Commission, he explained.

Mr. LeVine said he has similar questions to those of Commissioners Dye, Miller and Voelckers. He said he thinks this is in part because there is no definition of what an essential facility is.

Also, he said, nowhere in the ordinance does it explicitly state that this facility is not listed within the TPU.

Mr. Voelckers suggested that under (10) *Habitat* that after the first word "Development", that "conditions or limitations" be added.

Mr. Steedle said if the Commission were to pass this ordinance, that he would give the recommendations to the Law Department that it be defined what an essential facility is, and that it be explicitly stated that the TPU is not referenced for the facility.

MOTION: *by Mr. LeVine, that AME2017 0006 be recommended for adoption to the Assembly subject to the changes recommended by the Planning Commission, specifically adding a definition of an essential public facility and that it be stated that the essential public facility could be cited independent of the restrictions of the TPU.*

The motion passed with no objection.

IX. BOARD OF ADJUSTMENT

X. UNFINISHED BUSINESS

Change of Comprehensive Plan Land Designation

Mr. LeVine had made a motion at the July 25, 2017 meeting which was tabled until a larger quorum could be present.

MOTION: *by Mr. LeVine, that the Assembly change the Comprehensive Plan land designation for lots one through eight of Block 25, which includes 415 Fifth Street, and 416 and 419 Sixth Street, from Medium Density Residential to Traditional Town Center.*

Chairman Haight and Vice Chairman Voelckers recused themselves due to conflicts of interest.

Mr. Miller said that while Chairman Haight and Vice Chairman Voelckers were conflicted out for the zoning change work performed by the Commission, that even though this decision is related, the item for which they were conflicted has already been acted upon by the Commission. This decision is about whether the Comprehensive Plan land maps are changed, which is a broader question that he did not feel the two Commissioners had a conflict with.

Mr. Steedle said he believed that the question currently before the Commission is so directly linked to its previous action on this related item that a potential conflict still exists. While he said he felt Mr. Miller had a good point, that the Deputy City Attorney had suggested that the two Commissioners recuse themselves from this item as well.

This question arose in the process of a rezone of this particular parcel from D-18 to Mixed Use. The Commission did approve the rezone and tabled this motion to discuss the Comprehensive plan land designation, said Mr. LeVine. Mr. LeVine said he made this motion because he felt it was the job of the Commission to correct these sorts of problems. The Comprehensive Plan

states that the Planning Commission is intended to adopt procedures for considering amendments to the Comprehensive Plan. It provides three criteria, said Mr. LeVine:

- a) That the original decision was in error because information available at the time was not adequately considered
- b) Changing conditions or new information renders the original decision inappropriate
- c) The proposed change is inconsistent with applicable policies of the Comprehensive Plan

Mr. LeVine said he feels this parcel should have been changed from MDR to TTC when the Traditional Town Center designation was created over five years ago. The uses of this parcel more closely comply with the TTC designation, said Mr. LeVine.

Speaking in favor of the motion, Mr. Miller said that this situation has been closely evaluated by the Commission, and he said he did feel it was the responsibility of the Commission to change the designation of the Comprehensive Plan.

Mr. LeVine said it is not his intent to engender a free-for-all on the Comprehensive Plan and that it is due for an update which would provide a good opportunity for similar concerns to be addressed.

Roll Call Vote:

Yeas: Greene, Frisby, LeVine, Hickok, Miller, Dye

Nays:

The motion passed by unanimous vote.

XI. DIRECTOR'S REPORT

Lemon Creek Neighborhood Plan

Mr. Steedle said that The Lemon Creek Neighborhood Plan is drawing to a successful conclusion. On September 26, (2017) there will be a Committee of the Whole meeting at which the Lemon Creek Neighborhood Plan will be presented to the Commission. At the regular Planning Commission meeting following the Committee of the Whole meeting, the Commission will be voting on that plan prior to sending it to the Assembly for approval.

Downtown Area Plan

Mr. Steedle said for some months the planners have been thinking about what a Downtown Area Plan would look like. There is some opinion that another stand-alone area plan was not needed, but instead a catalogue of existing plans that identify what has already been

accomplished and what remains to be accomplished. There would be an implementation table accompanying that overview, he added.

Ms. McKibben said the concept is not yet fully formulated and that as a group the staff has not arrived at a recommendation. There are more than 26 plans which affect the downtown area, said Ms. McKibben. The staff is questioning whether they actually need yet another plan for downtown or whether they need to evaluate the current plans. They will write a white paper and make a recommendation to the Commission, she said. One of the potential outcomes would be an implementation table where all of the implementation actions for all of the plans would be catalogued. They would then possibly recommend, for example, the top 10 actions, said Ms. McKibben. They were also contemplating creating an umbrella chapter which brings all of these plans together, said Ms. McKibben.

Commission Comments and Questions

Mr. Voelckers said there seems to be a consensus that there is a malaise downtown and that there has been a loss of housing opportunity, for instance. He said while there may be numerous plans, do any of them actually identify what the problems are in the downtown area. There still needs to be a mechanism where a requisite group can identify what has already been done and what is in fact still missing from a good downtown area plan, he added.

Ms. McKibben agreed with Mr. Voelckers, and said that it may be that from reviewing all of the existing plans that they can identify the gaps which need to be addressed for the town area. This is a different situation from Auke Bay or Lemon Creek, where previously there was little overarching planning for the areas, said Ms. McKibben.

Mr. Steedle said it may be that what the community needs is not a beautiful document such as what was developed for Auke Bay or for Lemon Creek, but rather an identification of what core evaluations still need to be made. The other element at play in the town area is the “ticking time bomb” of the ADOD ordinance, said Mr. Steedle. There are 20 months remaining to implement rezoning areas of the downtown area, said Mr. Steedle.

Auke Bay Area Plan Implementation

There has been a considerable pause in the Auke Bay Area Plan implementation, said Mr. Steedle, due to staff turnover. There are two new zoning districts, contemplated to implement the Auke Bay Area Plan, said Mr. Steedle. The planners have discussed how these districts need to be created, he said. They will be useful not only for Auke Bay, but could be applied to other areas of town as well, he said.

Comprehensive Plan Update

The Comprehensive Plan is overdue for an update, said Mr. Steedle. They need to identify what areas of the Comprehensive Plan are in most need of an update and what that process will be,

he said. Mr. Steedle proposed that in November the Commission develop a work plan for the coming year during a Committee of the Whole meeting.

Chairman Haight said this is a good proposal, but there may be an element of timing involved if they need to bring new Planning Commissioners up to date.

Title 49/Sign Code

Mr. Steedle said during the Committee of the Whole meeting in November, the staff can update the Commission on the legislation which will be coming shortly to Title 49. There are a couple of large topics which need to be addressed, one of which is the sign code, said Mr. Steedle. One of the problems with the sign code is that it is not constitutional, said Mr. Steedle. He said he felt the issue merited a discussion involving the entire community. There are many types of signs currently posted within the community which are against the code, he added.

The parking code also needs some deep consideration, said Mr. Steedle.

XII. REPORT OF REGULAR AND SPECIAL COMMITTEES - None

XIII. PLANNING COMMISSION COMMENTS AND QUESTIONS

Chairman Haight said they should start beginning to review the CIP.

Mr. Steedle said they could discuss that at the November Committee of the Whole meeting.

XIV. ADJOURNMENT

The meeting was adjourned at 9:35 p.m.



(907) 586-0715
CDD_Admin@juneau.org
www.juneau.org/CDD
155 S. Seward Street • Juneau, AK 99801

DATE: October 5, 2017

TO: Planning Commission

FROM: Jill Maclean, AICP, Senior Planner
Community Development Department

FILE NO.: SMP2017 0001

PROPOSAL: Modification to the Pederson Hill Preliminary Plat

A handwritten signature in black ink, appearing to read "Jill Maclean", is written over the printed name in the "FROM:" field.

GENERAL INFORMATION

Applicant: City & Borough of Juneau

Property Owner: City & Borough of Juneau

Legal Description: Pederson Hill Lot 2

Parcel Code No.: 4B2201010101

Site Size: Approximately 120 acres

Project Size: Approximately 20 acres

Comprehensive Plan Future
Land Use Designation: Medium Density Residential (MDR)

Zoning: D-10SF

Utilities: CBJ Water / Sewer

Access: Glacier Highway

Existing Land Use: Undeveloped Vacant Land

Planning Commission
File No.: SMP2017 0001
October 5, 2017
Page 2 of 7

Surrounding Land Use: North – Vacant, University of Alaska (D1(T) D5)
 South – Vacant, Sherwood Lane (I)
 East – Vacant, University of Alaska (D1(T) D5)
 West – Church (D10)

VICINITY MAP



ATTACHMENTS

Attachment A: Application for Modification to Pederson Hill Preliminary Plat
Attachment B: Pederson Hill Modified Preliminary Plat and Phasing Overview
Attachment C: Pederson Hill Subdivision Design 65% Excerpt
Attachment D: SMP2016 0002 Staff Report and Attachments for Pederson Hill Subdivision
Attachment E: Agency Review and Public Comments

BACKGROUND

The Planning Commission approved with conditions the preliminary plat for Pederson Hill Subdivision (SMP2016-02) on February 28, 2017 (see Attachment A p.33 Notice of Decision and Attachment D Staff Report and Attachments). Due to internal financing mechanisms necessary to complete the project, the applicant is seeking to modify the approved subdivision into three phases of development – Phases 1A, 1B, and 1C. The subdivision remains essentially the same, except for a new emergency vehicle access via the Christ Evangelical parking lot, rather than using the equestrian trail as previously intended (see Attachment A p.36).

As the proposed modifications are minor in scope and do not affect the analysis and review of the subdivision, attached is the staff report from the previously approved subdivision for reference (see Attachment A Application and Attachment D SMP16-02 Staff Report).

The Notice of Decision (see Attachment A p.33) issued by the Planning Commission included the conditions listed below, several of which the applicant has subsequently addressed and the status of which are shown below in bold font following the condition.

Please note that due to the modification to the subdivision and phasing of development, the lot numbering has changed from the preliminary plat approved on February 28, 2017. Where renumbering has occurred, the condition(s) below identifies the new lot number.

The conditions from the February 28, 2017, NOD are:

1. Prior to Construction Plan approval, the applicant shall submit detailed data for future utilities per 49.15.411(f)(7). **(This condition has been met – see Attachment C.)**
2. Prior to Construction Plan approval, the applicant shall submit required documentation meeting 49.15.411(6) *Erosion Control*. **(This condition has been met – see Attachment A p.42.)**
3. Prior to Construction Plan, the applicant shall submit an updated lot closure report. **(This condition has been met.)**
4. Prior to Construction Plan approval, the applicant shall submit another subdivision plat to ensure labels and naming are consistent throughout the plat sheets. **(The modified preliminary plat sheets are consistent. This condition has been met.)**
5. Remove labels 'Preservation Lot' and 'Park Lot' and replace with new plat note, as shown below. [Note: this is in reference to Condition 6.] **(The modified preliminary plat includes this note. This condition has been met.)**
6. Prior to Final Plat approval, the applicant shall submit a draft plat with the following plat notes on the subdivision plat:
 - a. Plat Note: "Right-of-way access for Lots 1-7 Block C (modified on Phase 1A Lots 2-7) shall be restricted to common driveways for each pair of lots. Only one of the seven

Planning Commission
 File No.: SMP2017 0001
 October 5, 2017
 Page 4 of 7

lots may have its own driveway that is not common to an adjacent lot.” **(The modified preliminary plat includes this note. This condition has been met.)**

- b. Plat Note: “Corner lots abutting Karl Reishus Boulevard shall have driveways limited to accessing a street other than Karl Reishus Boulevard.” **(The modified preliminary plat includes this note. This condition has been met.)**
 - c. Plat Note: “Wetlands exist throughout this subdivision. Approval to impact these wetlands has been given by the US Army Corps of Engineers (COE). Consult COE for more information.” **(The modified preliminary plat includes this note. This condition has been met.)**
 - d. Plat Note: “Lots 10 & 12 Block A and Lot 9 Block C (modified to Phase 1A Lot 9 and Phase 1B Lots 5, 7) shall be Public Use Lots. Restriction of building development, further subdivision, and other limitations or restrictions apply. **(The modified preliminary plat includes notes to this effect. This condition has been met.)**
7. Prior to Plat recording, the applicant shall submit documentation that places a permanent protected status on Lots 10 & 12 Block A and Lot 9 Block C (modified to Phase 1A Lot 9 and Phase 1B Lot 7) in accordance with 49.15.422.
 8. Prior to Construction Plan approval, the applicant shall submit a design showing a drainage infrastructure that would allow fish passage through the equestrian trail east of Karl Reishus Boulevard. **(This condition has been met – see Attachment C.)**
 9. Prior to Construction Plan approval, the applicant shall submit a design showing a minimum 10-foot wide walking surface within the Wild Rose Walk ROW per 49.35.610(a). **(This condition has been met – see Attachment C.)**
 10. Prior to Construction Plan approval, the applicant shall submit a lighting plan meeting applicable CBJ standards. **(This condition has been met – see Attachment C.)**
 11. Prior to Construction Plan approval, the applicant shall submit documentation ensuring compliance with section D107.1 of the International Fire Code. **(This condition has been met.)**

The NOD also contained the following Staff Note:

*After the publication of staff’s memorandum 2/21/2017, the applicant submitted and the Planning Commission approved a design change that relocated the western portion of the proposed Cheex Equestrian Trail from behind Lots 1-5 BL C to along the eastern side of the proposed Karl Reishus Boulevard. This new portion of the trail would be five feet wide. This design change also reduced the width of the planned east side sidewalk along Karl Reishus Boulevard from six feet to five feet. This is the design of the preliminary plat that was approved by the Planning Commission. **(The modified preliminary plat addresses this item. This item has been met.)***

AGENCY REVIEW

The following agencies provided comments on the proposed modification to the preliminary plat.

Capital City Fire/Rescue: *Capital City Fire Rescue has no objections to the Pederson Hill Subdivision proceeding as planned. The fire access and water requirements have been reviewed and are acceptable to the fire department.*

Alaska Dept. of Fish and Game Wildlife Division: *In our experience even after development occur wildlife will continue to use historical travel corridors which will bring animals, primarily bears, into contact and perhaps conflict with future residents. Both CBJ and DWC resources are already overburdened responding to the current level of human- wildlife conflicts, so we believe steps should be taken in design of this and any new subdivision to minimize the potential for new conflicts before any houses are built. To ensure we maintain safe neighborhoods for both people and wildlife we offer the following ideas for minimizing effects on wildlife and the potential for conflicts between future residents of the subdivision and wildlife.*

To mitigate wildlife conflicts we recommend that builders be required to include bear-proof trash structures sized to accommodate the larger trash and recycling cans with each house built. We understand that a borough-wide requirement would be ideal, but it would be difficult to enact. Limited staff and resources make enforcement of existing CBJ ordinances and subsequent management of nuisance urban wildlife (managed by the State) conditioned to trash difficult. We continue to believe there would be value in using this development as a demonstration project to evaluate the effectiveness of such a requirement. If residents use them and they are effective, it would be much easier to sell the idea as a borough-wide requirement. Alternately, perhaps the city could work with the local refuse company to aid in purchasing effective bear-resistant trash cans, such as the Kodiak Products KP95-HD can, for newly developed residential areas to minimize future human-bear conflicts.

These comments only reflect the division of wildlife conservation (see Attachment E for full comment letter; see Attachment A p.30 for comments regarding wildlife corridors provided by CBJ Lands and Resources Division).

Alaska Dept. of Fish and Game Habitat Division: *No comments at this time (see Attachment A p.5 for Minutes from SMP2016-02 hearing on February 28, 2017).*

Alaska Dept. of Environmental Conservation: *No issues at this time.*

PUBLIC COMMENTS

Two comments were received from the public (for complete emails, see Attachment E):

- Bobbie Epperly, James Pietan and Esther K. Epperly: *Are concerned with over-building and spending funds that the city does not have but are more supportive of the phasing of the*

Planning Commission
 File No.: SMP2017 0001
 October 5, 2017
 Page 6 of 7

development, rather than developing the entire subdivision at once. There is concern with the proposed intersection at Karl Reishus Blvd and Sherwood Lane, and they request that the city work with DOT to lower the speed limit to 40MPH.

- Katherine Savage and Chris Cunningham (Frank Maier Drive): *Request that as few trees as possible are removed from the southernmost lot (previously Lot 15 in the original preliminary plat – bordering the Cheex Equestrian Trail, southwest corner) and that Lot 15 (previously Lot 1 in the original preliminary plat) remain CBJ undeveloped property to afford more privacy, protect wildlife and wildlife corridors, and buffer noise. They support affordable housing, while keeping the needs of established neighborhoods on the forefront for a positive outcome for all.*

FINDINGS

CBJ 49.15.402(4) Major Subdivisions, the Director shall prepare and submit a report to the Planning Commission noting any conditions of approval or plat notes recommended and addressing the following criteria:

- (A) Whether the preliminary plat complies with CBJ 49.15.411.
Yes. The modified preliminary plats comply with CBJ 49.15.411.
- (B) Whether the applicable subdivision development standards of this title are met, or can reasonably be met with conditions.
Yes. The modified subdivision meets the standards of Title 49.
- (C) Whether the proposed subdivision will provide building sites suitable for the zoning district.
Yes. All lots have building sites that are suitable for D-10SF zoning district.
- (D) Whether the proposed street names are unique in the City and Borough or are continuations of existing streets and are otherwise acceptable.
Yes. All proposed street names are unique to the City and Borough.
- (E) Whether the director of engineering and public works has reviewed the application and determined that:
 - (i) The subdivision can be constructed to conform to applicable drainage and water quality requirements;

Planning Commission
 File No.: SMP2017 0001
 October 5, 2017
 Page 7 of 7

- (ii) The streets, pioneer paths, and pedestrian ways as proposed accommodate anticipated traffic, align, and, where appropriate, connect with streets and pedestrian ways serving adjacent properties;
- (iii) Any proposed improvements conform to the requirements of this title and can feasibly be constructed in accordance with this title; and
- (iv) Where public sewer is not required, the applicant has shown that soils are suitable for individual on-lot wastewater treatment and disposal or has shown the feasibility of alternative methods for wastewater treatment and disposal.

Yes. The subdivision has been reviewed by the Director of Engineering and Public Works for appropriate drainage, traffic, compliance with code, and access to public sewer.

CBJ 49.15.402(5) Major Subdivisions. *In issuing its notice of decision on a preliminary plat, the Commission may accept, amend, or reject the director's proposed recommendations. The decision of the commission approving or denying a preliminary plat application will be set forth in a notice of decision, and will specify any conditions or plat notes required for final plat approval. If the preliminary plat is denied, the applicant may submit a revised plat application, without paying additional application fees, within 180 days from the date of the notice of decision.*

RECOMMENDATION

Staff recommends that the Planning Commission adopt the Director's analysis and findings and approve the Modification to the Preliminary Plat for Pederson Hill Subdivision. This approval would allow the applicant to submit the Final Plat application.

MEMORANDUM

CITY/BOROUGH OF JUNEAU

Lands and Resources Office
155 S. Seward St., Juneau, Alaska 99801
Dan_Bleidorn@juneau.org
(907) 586-5252

TO: CDD Staff and the Planning Commission

FROM: Dan Bleidorn, Deputy Lands Manager


SUBJECT: Modification to Pederson Hill Preliminary Plat request

DATE: September 19th, 2017

On February 28th, 2017 the Planning Commission reviewed and unanimously approved a preliminary plat request for the Pederson Hill II Subdivision (*SMP2016-0002*). As a result, the Community Development Department issued a Notice of Decision (Attachment A) on March 3, 2017, which outlines the conditions of this approval.

There have been a number of updates to the preliminary plat since its approval, namely the need to approach Pederson Hill in a three-phased development to match the internal financing mechanisms necessary to complete the project. Staff is also using this opportunity to address concerns presented by the Planning Commission and public at the February 2017 preliminary plat hearing. Staff findings addressing these concerns are presented below:

1. Three Phased Development Approach

This is the most substantial change to the preliminary plat request. After evaluating options for financing this project, staff concluded that this project should move forward without the utilization of a central treasury loan. City Manager Rorie Watt stated at the August 10, 2017 Committee of the Whole (CBJ Assembly) meeting that “staff has evolved the project into three phases, which will make development more streamlined, save money, and by not having the whole plat recorded at once, selling and building can move forward without utilization of a central treasury loan. This accomplishes the same goals in a less confusing way. Staff took the complete scope of the project to the Planning Commission for review, so this is not ‘piece-mealing’ or phasing, but just scaling back on the method of development.”

2. Acquisition of Emergency Access Easement

Since the preliminary plat approval the CBJ has secured a secondary emergency access easement through 10300 Glacier Hwy (Christ Evangelical Lutheran Church of Juneau Alaska) and Lot 1 Block C of this proposed subdivision. A copy of this easement has been included with the preliminary plat modification application as attachment B.

3. Change in Cheex Equestrian Trail Location

Due to the concerns of a nearby private property owner, the Cheex Equestrian Trail has been relocated. This change was discussed at the preliminary plat hearing on February 28, 2017 but the plat at that time had not been updated. This change has since been included in the draft plat for phase 1A. The updated trail corridor terminates at Glacier Highway along Karl Reishus Boulevard.

4. Setbacks No Longer Shown on Plat

As per direction given by the City's General Engineering Department, setbacks are no longer shown on the plat.

5. Lots 10 and 12 Block A Renamed "Public Use Lot"

As per direction given by the City's General Engineering Department and per CBJ Code 49.15.422, Lots 10 and 12 Block A, originally platted as "Preservation Lot," were renamed "Public Use Lot."

6. Wildlife Corridor Review with the Alaska Department of Fish and Game (ADF&G)

The Planning Commission asked the applicant to work with ADF&G to address concerns regarding the subdivision's impacts on the wildlife travel corridor that were discussed at the preliminary plat hearing. Attached to this preliminary plat modification request is a memo received from Stephanie Sell, ADF&G Wildlife Biologist III and City staff's follow-up to identify and address these concerns (Attachment C).

Thank you,



Dan Bleidorn
Deputy Lands & Resources Manager
City & Borough of Juneau

Attachments:

- Subdivision or Platting application
- Development Permit application
- Attachment A: NOD from 02/28/2017 Planning Commission review of Pederson Hill preliminary plat
- Attachment B: Emergency access easement
- Attachment C: Memo from Stephanie Sell, ADF&G Wildlife Biologist III & Greg Chaney's response



DEVELOPMENT PERMIT APPLICATION

Project Number	CITY and BOROUGH of JUNEAU	Date Received: 9/22/17
Project Name (City Staff to Assign Name)		

INFORMATION	Project Description Three preliminary plats for the Pederson Hill residential subdivision. (1) Primary access road from Glacier Highway to the subdivision site, second emergency access, and 17 residential lots and two public use lots (1B) Local access roads, two public use lots and 30 residential lots (1C) Additional local access roads and 39 residential lots		
	PROPERTY LOCATION		
	Street Address 10300 Glacier Highway	City/Zip 99801	
	Legal Description(s) of Parcel(s) (Subdivision, Survey, Block, Tract, Lot) USS 5504, Pederson Hill Lot 2		
	Assessor's Parcel Number(s) 4B2201010101		
	LANDOWNER/ LESSEE		
	Property Owner's Name City and Borough of Juneau	Contact Person: Greg Chaney	Work Phone: 586-0205
	Mailing Address 155 South Seward Street, Juneau, Alaska 99801	Home Phone: 586-2594	Fax Number: 465-2465
	E-mail Address greg.chaney@juneau.org	Other Contact Phone Number(s):	
	LANDOWNER/ LESSEE CONSENT ****Required for Planning Permits, not needed on Building/ Engineering Permits****		
PROJECT / APPLICANT	I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for officials and employees of the City and Borough of Juneau to inspect my property as needed for purposes of this application.		
	X	<u>Daniel Reidom</u>	09/15/2017
		Landowner/Lessee Signature	Date
	X		
		Landowner/Lessee Signature	Date
	NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours and will attempt to contact the landowner in addition to the formal consent given above. Further, members of the Planning Commission may visit the property before the scheduled public hearing date.		
	APPLICANT If the same as OWNER, write "SAME" and sign and date at X below		
	Applicant's Name SAME	Contact Person:	Work Phone:
	Mailing Address	Home Phone:	Fax Number:
	E-mail Address	Other Contact Phone Number(s):	
X			
	Applicant's Signature	Date of Application	

-----OFFICE USE ONLY BELOW THIS LINE-----

STAFF APPROVALS	☒	Permit Type	***SIGN	Date Received	Application Number(s)	
		Building/Grading Permit				
		City/State Project Review and City Land Action				
		Inquiry Case (Fee In Lieu, Letter of ZC, Use Not Listed)				
		Mining Case (Small, Large, Rural, Extraction, Exploration)				
		Sign Approval (If more than one, fill in all applicable permit #'s)				
	X	Subdivision (Minor, Major, PUD, St. Vacation, St. Name Change)			SMP 17-CC1	
		Use Approval (Allowable, Conditional, Cottage Housing, Mobile Home Parks, Accessory Apartment)				
		Variance Case (De Minimis and all other Variance case types)				
		Wetlands Permits				
		Zone Change Application				
		Other (Describe)				
	Comments:					Permit Intake Initials <u>JMM</u>

***Public Notice Sign Form filled out and in the file.

SUBDIVISION OR PLATTING APPLICATION

Project Number	Project Name (15 characters)	Case Number <i>SMP 17-001</i>	Date Received
----------------	------------------------------	----------------------------------	---------------

TYPE OF SUBDIVISION OR PLATTING APPROVAL REQUESTED

(see submittal requirements on reverse)

MINOR SUBDIVISION

(changing or creating 13 or fewer lots)

MAJOR SUBDIVISION

(changing or creating 14 or more lots)

- | | |
|---|---|
| ☐ Preliminary Plat (MIP)
☐ Final Plat (MIF)
☐ Panhandle Subdivision
☐ Accretion Survey
☐ Boundary Adjustment
☐ Lot Consolidation (SLC)
☐ Bungalow Lot Subdivision
☐ Common Wall/Zero Lot Subdivision
☐ Other _____ | ☒ Preliminary Plat (SMP)
☐ Final Plat (SMF)
☐ Preliminary Development Plan - PUD (PDP)
☐ Final Development Plan - PUD (PDF)
☐ Bungalow Lot Subdivision
☐ Common Wall/Zero Lot Subdivision
☐ Other _____ |
|---|---|

Please attach a cover letter to fully explain the project if there is not adequate space on this form.

LEGAL DESCRIPTION(S) OF PROPERTY TO BE SUBDIVIDED OR PLATTED:

USS 5504, Pederson Hill Subdivision Lot 2

Number of Existing Parcels 1 Total Land Area 121.4 acres Number of Resulting Lots or Parcels 86

HAS THE PARCEL BEEN CREATED BY A MINOR SUBDIVISION IN THE PRECEDING 24 MONTHS: ☒ NO ☐ YES If Yes, provide the Case Number _____

EXISTING BUILDING(S) OR STRUCTURES ON THE LAND: ☐ YES ☒ NO

CURRENT USE OF LAND OR BUILDING(S): Undeveloped municipal property

PROPOSED USE OF LAND OR BUILDING(S): D10 SF Single Family Residential Subdivision

UTILITIES AVAILABLE: WATER: ☒ Public ☐ On Site SEWER: ☒ Public ☐ On Site

UNIQUE CHARACTERISTICS OF LAND OR BUILDING(S): _____

For more information regarding the permitting process and the submittals required for a complete application, please see the reverse side.

If you need any assistance filling out this form, please contact the Permit Center at 586-0770.

SUBDIVISION/PLATTING FEES

	Fees	Check No.	Receipt	Date
Application Fees	\$ <u>9460</u>	_____	_____	_____
Admin. of Guarantee	\$ _____	_____	_____	_____
Adjustment	\$ _____	_____	_____	_____
Total Fee	\$ _____	_____	_____	_____

NOTE: MUST BE ACCOMPANIED BY DEVELOPMENT PERMIT APPLICATION FORM

Revised December 2015 - Applications

Attachment A: Application

4 Page 1

TO BE COMPLETED BY THE APPLICANT

Agenda
Planning Commission
Regular Meeting
 CITY AND BOROUGH OF JUNEAU
Ben Haight, Chairman
 February 28, 2017

I. ROLL CALL

Paul Voelckers, Vice Chairman, called the Regular Meeting of the City and Borough of Juneau (CBJ) Planning Commission (PC), held in the Assembly Chambers of the Municipal Building, to order at 7:01 p.m.

Commissioners present: Paul Voelckers, Vice Chairman; Michael LeVine, Nathaniel Dye, Dan Miller, Percy Frisby, Dan Hickok, Kirsten Shelton-Walker, Carl Greene (telephonically)

Commissioners absent: Ben Haight

Staff present: Rob Steedle, CDD Director; Beth McKibben, Planning Manager; Laura Boyce, Senior Planner; Jill Maclean, Senior Planner; Eric Feldt, Planner II; Greg Chaney, Lands and Resources Manager; Dan Bleidorn, Deputy Lands and Resources Manager; Robert Palmer, Deputy City Attorney; Michele Elfers, Chief Landscape Architect

Assembly members: Debbie White, Assembly Liaison to the Planning Commission

II. APPROVAL OF MINUTES

- a. January 10, 2017 Draft Minutes – Regular Planning Commission Meeting
- b. January 24, 2017 Draft Minutes – Regular Planning Commission Meeting

MOTION: *by Mr. LeVine, to approve the January 10, 2017 and the January 24, 2017 Planning Commission regular meeting minutes with any minor changes by staff or Commission member.*

III. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS

Juneau resident Mike Allen expressed his concern to the Planning Commission about the over 70 new trees which have been planted in the Statter Harbor parking area. He said the Littleleaf

Linden trees planted in the area are not native to this community and that the view from the road and from the small commercial Auke Bay area including the Squires Rest will be compromised due to the trees blocking the view. Mr. Allen said this is a parking lot, not a park. Mr. Allen showed the Commission pictures indicating how the trees will block the view from the Auke Bay area. Mr. Allen said he was told the trees were required in the Statter Harbor plan or it would not be approved by the Planning Commission. He said this was difficult for him to understand. He said it would be nice if the trees planted along the sea walk from the boat launch to the creek could be moved to restore optimal views for the area.

IV. PLANNING COMMISSION LIASON REPORT

Assembly Liaison to the Planning Commission Debbie White reported that at last night's Assembly Committee of the Whole (COW) meeting that there were two items which will be coming before the Planning Commission. A drainage easement will be requested between the Johnson Youth Center and the Sleepy Spruce Apartments. The Johnson Youth Center site is leased from the City and Borough of Juneau, she noted.

Also coming before the Commission is the possible downtown transfer of City Star Hill property to a private owner so that they can install retaining walls on their property, said Ms. White.

Of interest to the Commission is information on Senate Bill 14 which has to do with network transportation companies such as Uber and Lyft, said Ms. White. There is concern that this bill would take away local control, and those vehicles are not identified as commercial passenger vehicles, she said. In the past the Planning Commission has provided input on commercial traffic vehicle rules, said Ms. White.

The Assembly also held joint meetings with the school board and the Eaglecrest board, said Ms. White. On February 13, (2017) the Assembly heard the introduction of the ordinance which addresses the Land Use Code and the parking waivers, she said. Those items should be before the Assembly on March 6, (2017) she said.

At the February 13, (2017) meeting the Assembly also adopted their decisions on the Olmo and Meek appeals, upholding the Planning Commission decisions on both issues, she said.

V. RECONSIDERATION OF THE FOLLOWING ITEMS - None

VI. CONSENT AGENDA - None

VII. CONSIDERATION OF ORDINANCES AND RESOLUTIONS - None

VIII. UNFINISHED BUSINESS - None

IX. REGULAR AGENDA

A. SMP2016 0002 A Preliminary Plat for Phase 1 Pederson Hill Subdivision resulting in 86 Residential lots and 5 lots for preservation/park purposes.

B. CSP2016 0006 A City consistency review of Preliminary Plat Phase I Pederson Hill Subdivision resulting in 86 residential lots and five lots for preservation/park purposes.

Vice Chairman Voelckers asked Mr. Steedle to explain the differences between the two items on the same project that were before the Commission.

Mr. Steedle said the Commission has two questions to address: does this City capital project comport with adopted plans and the code, and does this subdivision as proposed meet the requirements of Title 49.15 for a preliminary plat. He said in the past these types of items have been split into two separate staff reports. He said for simplicity he felt this should be combined into one report for the Commission.

Mr. LeVine asked Mr. Steedle if there was any direction he could give to the Commission to assist with evaluating the first issue in terms of the proposed project consistency with the adopted plans. He asked how specific the Commission needs to be regarding this particular plat proposal and subdivision when making its determination about whether the proposed project and City expenditure are consistent with the plans.

Mr. Steedle said he felt the relevant question is whether there is any conflict between this item and the Comprehensive Plan and its subordinate plans. He said recently the Commission has recommended the adoption of the Housing Action Plan. The foundation for this plan is based upon studies performed over the years on Juneau's housing shortage, he added. The Assembly did adopt the Housing Action Plan by resolution, but it was not incorporated into the Comprehensive Plan, said Mr. Steedle. The Juneau Economic Development Plan as well has pointed to a lack of housing in Juneau as a key factor contributing to the constriction of economic growth within the community, he said. Mr. Steedle said he did not feel the Commission needed to get to the level of detail in the Housing Action Plan and the Economic Development Plan and the other housing action plans which have been before the Commission in the past.

Mr. LeVine said his question pertained to the specifics of the actual plat before the Commission. When making its determination, said Mr. LeVine, how specific does the Commission need to be regarding the proposed plat itself, or should it take a broader view as to how the City is using its funds to encourage development on Pederson Hill.

Mr. Steedle said the Commission should separate it from the design of Phase 1 of the subdivision.

Staff Report

Mr. Feldt told the Commission the staff's findings lists all of the findings listed under the preliminary plat section of the Land Use Code in quite extensive detail. He said his verbal report will not go into that level of detail but that he was prepared to answer any questions the Commission may have.

The Commission has two cases for one project, said Mr. Feldt. SMP 2016 0002 is a preliminary plat approval and CSP 2016 0006 is a City consistency review, he said. At the end of the presentation the Commission would have two separate motions for the two separate items on the agenda for the one project, he said.

Pederson Hill is a large vacant area that is covered by multiple properties, said Mr. Feldt. The 120 acre City property is surrounded to the north by vacant University of Alaska land, south by vacant land and Sherwood Lane, to the east by vacant University of Alaska land and to the west by a church and Glacier Highway. The proposed development encompasses about 20 acres of property.

The 1999 CBJ Land Management Plan designated the CBJ land on Pederson Hill to be considered for disposal for development once sewer was provided and a subdivision feasibility study was complete. There is now available sewer at the subject site, noted Mr. Feldt. The current proposal before the Commission is for 10 single-family units per acre, said Mr. Feldt. The subject property was rezoned in 2014 from D-1 / D-5 to a mix of D-10 and D-10 SF, said Mr. Feldt. The D-10 zoning is intended to primarily accommodate multi-family development at 10 units per acre; D-10 SF (Single Family) is intended to primarily accommodate single family residential development also at a density of 10 units per acre, said Mr. Feldt. The smaller lot sizes resulting from the rezone make it possible to achieve lower housing costs, he said. Recently a land swap has transpired between the City and a church in the area making it possible to connect the large CBJ parcel to Glacier Highway, said Mr. Feldt.

Mr. Feldt showed the Commission maps indicating the three phases of development. The D-10 SF piece would be the first to be developed, he said. Phases two and three are concepts to be developed at some point in the future, he said. Multi-family development is offered for consideration as the next phase of development with another connection to Glacier Highway, said Mr. Feldt.

Mr. Voelckers asked if the road proposed for the second phase of development was on land already acquired, or would it be a future acquisition.

Mr. Feldt said that when Mr. Chaney, the Lands and Resources Manager spoke, that he could address that question.

A public meeting on the proposed development was held in early February with Mr. Chaney and a local architect present, noted Mr. Feldt. A very detailed explanation was given regarding the development as well as conceptual drawings of what it might look like provided by the local architect, noted Mr. Feldt.

The project was also sent out for review to various City, State and federal agencies, said Mr. Feldt. The project was reviewed by:

- 🏠 CBJ Engineering
- 🏠 Wetland Review Board
 - Feels the project reduces impact on the wetlands because it proposes higher density and a smaller area which minimizes the total acreage affected and provides - the board emphasized the importance of preserving stream quality while developing the area conservation of highly valued wetlands
- 🏠 US Army Corps of Engineers
 - Involved because the applicant (City) had submitted a wetland fill permit
- 🏠 Alaska Department of Environmental Conservation
 - Involved for habitat purposes -
- 🏠 Alaska Department of Fish and Game
 - Involved because of the fill in the wetlands and the construction plan located near an anadromous stream – there were several salmon in the Pederson Hill Creek
- 🏠 Affordable Housing Commission
 - Supports the project
- 🏠 CBJ Capital City Fire and Rescue
 - That access is provided for emergency vehicles

Mr. Feldt said the first critical step involved in the development of a major subdivision requires Planning Commission review and approval of the preliminary plat. As the project progresses it moves forward to construction drawings prepared by a private engineering company, and then circulated to the various agencies to assure that all of the proposed construction meets local codes, said Mr. Feldt. The infrastructure is then constructed or bonded. These construction improvements consist of the development of roads and utilities, added Mr. Feldt. The project would then come back to the Planning Commission for final plat approval. The subdivision plat itself can then be deemed acceptable to be recorded by the State, he said.

There are three main preliminary plat requirements, said Mr. Feldt:

1. The Platting Standards: the plat itself must be adequately prepared including surveys indicating the lot lines, the monumentation and the technical aspects of the plat itself
2. Public Improvements: must show the layout of the roads, utility lines, etc.
3. Additional Reports or Maps Addressing Unique Aspects of the Site: such as drainage, traffic, flood map, etc.

The plat would address Phase 1 which includes 86 single-family residential lots with access to Glacier Highway, said Mr. Feldt. This includes pedestrian paths and an equestrian trail, said Mr. Feldt. The equestrian trail has been relocated along Karl Reishus Boulevard, said Mr. Feldt. The equestrian trail would be located on the east side of the new street, said Mr. Feldt, showing the Commission a map. Mr. Feldt indicated on the map land allocated for a second access for emergency fire and rescue, which is required, he said, by the International Fire Code. The trail would be essentially a driveway with restricted use for emergency vehicles only, he said. At some point in the future the pedestrian trail would be connected to the trail which leads along the Mendenhall River, said Mr. Feldt.

The average lot size is about 5,000 square feet, said Mr. Feldt. The yard setbacks for the D-10 SF district are 20 feet along the front, a 10-foot rear setback and a 3-foot setback along both side lot lines, he explained. The properties abutting the east side of this subdivision are zoned D-1, said Mr. Feldt. In this situation, he said, the property which holds the greater setback applies, he noted. The project as it moves forward in the future would carry the requirement of two on-site parking spaces, he said.

The unique street names required for the subdivision are:

-  Karl Reishus Boulevard, named after a police officer who died while serving the force. This is the widest street proposed for the development, and would be a collector for the other streets.
-  Yan Street (Hemlock trees)
-  Guwakaan Street (Black Tail deer)
-  Kwalx Street (Fiddlehead ferns)
-  Keishish Lane (Alders)

The interior streets will all be designed the same, with a 50-foot-wide right-of-way, five feet sidewalks on both sides, including two 12.5 feet wide driving lanes, explained Mr. Feldt. The non-motorized pathways including the equestrian trail and pedestrian walk (Wild Rose Walk) will be 10 feet wide, but where the equestrian trail needs to accommodate emergency vehicles it will be expanded to at least 20 feet in width, he said.

The US Army Corps of Engineers has provided approval to fill approximately nine acres of forested wetlands to allow for the construction of the future streets and pedestrian ways, and some buildable lots, said Mr. Feldt.

The portion of Pederson Hill Creek which has been found to be a home to spawning salmon requires a 50-foot setback on each side of the stream, said Mr. Feldt. The stream terminates in one of the preservation lots, he added. With the approval of the sale of certain portions of the wetlands there will be lots set aside in which no development will be allowed, he said. The long, narrow lot will be undeveloped for habitat purposes and to act as a buffer between the privately owned southern lot and the other adjacent development, said Mr. Feldt. City utilities will not be extended to the public use lots as they are not identified for development, said Mr. Feldt. The Land Use Code allows lots to be provided without City services, but they have to be held as public use lots, and noted on the plats, he explained.

The applicant provided a preliminary assessment and map, noted Mr. Feldt. The project is located on a hill and one side slopes toward Glacier Highway he added. The applicant proposes to allow an insignificant amount of that drainage to continue to channel along Karl Reishus Boulevard. The majority of the drainage will be connected to curb and gutter underground, said Mr. Feldt. It would then be directed along the north side of the equestrian trail and to a vacant City property, he said. The applicant has already initiated a request for an easement from the University of Alaska to cross a very small part of its property for access for the trail itself, he noted, and for the drainage as well.

Commission Comments and Questions

Mr. LeVine asked if the drainage plan changed with the relocation of the equestrian trail.

Mr. Feldt said the change to the equestrian trail has happened very recently and that he would like to let Mr. Chaney answer that question.

Staff Report

The land use code requires a fairly extensive analysis to be done regarding drainage. There are still several items on the drainage plan requirement that have not yet been submitted, noted Mr. Feldt. In past major subdivision projects those elements had also not yet been submitted and were a condition of approval, said Mr. Feldt. A detailed drainage plan addressing that section of the code must be provided at the construction drawing step, he said. When the Engineering Department reviews the storm water and drainage plan they will be looking at a complete detailed analysis for their review, said Mr. Feldt.

Commission Comments and Questions

Mr. Voelckers asked if this is the conventional process or if this is a case where it should have already been submitted with the original application.

Mr. Feldt said the situation contains a little bit of both of those aspects: the staff has accepted a partial submitted analysis knowing that there is the condition that the remainder will be submitted when it is needed at the construction drawing review.

Staff Report

Due to the high number of lots proposed a Traffic Impact Analysis (TIA) was submitted. It indicated that there was acceptable intersection volume, and it did not recommend that any traffic mitigation was necessary, said Mr. Feldt.

This portion of the report involves the City consistency review, noted Mr. Feldt. This project would dispose lots to the private market, said Mr. Feldt. The 2016 Housing Action Plan calls for housing types and sizes to accommodate present and future housing needs for all economic groups, said Mr. Feldt. It also calls for preserving natural areas that possess important recreational and scenic fish and wildlife and other environmental qualities, he added. This would be a development that young families or older families wanting to downsize would be attracted to, noted Mr. Feldt. The 2016 Land Action Plan indicates which CBJ parcels should be disposed of to the general market for future development opportunities, he said.

The 2015 Juneau Economic Development Plan has an initiative to promote housing affordability and availability. Juneau's current housing stock and possible future development include the development of access roads, the installation of utilities and plat subdivision land for about 200 lots, he said. That would include phases one through three of the Pederson Hill subdivision, he said. The 2009 Non-Motorized Transportation Plan indicates a 10-foot-wide separated path across the Pederson Hill subdivision which would connect Auke Lake to the pedestrian bridge at Dimond Park, said Mr. Feldt. This will be realized later on as phases two and three of the development are constructed, he said.

There is currently a new bike path along the north side of Glacier Highway that provides a more indirect connection from Auke Lake and along Riverside Drive to the Dimond Park location, he said. The 2001 Area Wide Transportation Plan recommends support for the development of off-street pedestrian or bicycle pathways in the Mendenhall Valley area that connects to existing main pathway systems, said Mr. Feldt. The east bound pedestrian trail would eventually connect to Dimond Park, said Mr. Feldt.

Regarding the City consistency review, the staff finds that phase 1 of the Pederson Hill subdivision with the conditions and recommendations of SMP2016 0002 complies with the provisions of Title 49, the Comprehensive Plan and the CIP as required by the City and Borough of Juneau land acquisitions, disposals and projects, and the City project review, said Mr. Feldt.

The staff recommends that the Planning Commission accept the Director's analysis and findings and approve the preliminary plat for phase 1 of Pederson Hill subdivision with six conditions. The necessary elements can be met by conditions 3, (Prior to construction plan, the applicant

shall submit an updated lot closure report) 4, (prior to construction plan approval the applicant shall submit another subdivision plat to ensure labels and naming are consistent throughout the plat sheets) 5, (remove labels "Preservation Lot " and "Park Lot " and replace with new plat note as shown below and 6, (prior to final plat approval, the applicant shall submit another draft plat with the identified plat notes on the subdivision plat), said Mr. Feldt.

The second findings shall be met with conditions 1, (prior to construction plan approval, the applicant shall submit detailed data for future utilities per 49.15.411 (F) (7) 9, (prior to construction plan approval, the applicant shall submit a design showing a minimum 10 foot wide walking surface within the Wild Rose walk right-of-way per 49.35.610 (a), 10, (prior to construction plan approval, the applicant shall submit a lighting plan meeting applicable CBJ standards) and 11, (prior to construction plan approval, the applicant shall submit documentation ensuring compliance with section D107.1.1 of the International Fire Code), said Mr. Feldt.

The applicant will also meet conditions 2, (prior to construction plan approval, the applicant shall submit required documentation meeting 49.15.411 (6) and 8, (prior to construction plan approval, the applicant shall submit a design showing a drainage infrastructure that would allow for fish passage to the equestrian trail east of Karl Reishus Boulevard), said Mr. Feldt.

Mr. Feldt said the second motion would forward the subject proposal to the Assembly with the recommendation of approval with the conditions associated with the SMP case. This means that if the Planning Commission approves the SMP case and approves the CSP case then the conditions of the SMP will also relate to the CSP, said Mr. Feldt.

Commission Comments and Questions

Mr. LeVine asked how carefully the Commission needs to consider all 11 conditions outlined in the staff report when deciding how consistent this plan is with the Comprehensive Plan.

Mr. Feldt said the consistency review asks if this is consistent with the adopted City plan. The other part has to do with consistency with Title 49, he said.

Mr. Voelckers said at this point he felt it was appropriate to ask for clarification from the Deputy City Attorney. He said he felt that several Commissioners were concerned about several important distinctions between the items. Mr. Voelckers said, similar to Mr. LeVine, that he was under the impression the general consistency review was far broader in scope and did not address particular items such as conforming lighting.

Mr. Miller said that Mr. Feldt had made a statement that if the Commission approved the SMP with the accompanying conditions, that the CSP would also be approved. Mr. Miller said he did not necessarily agree that this would be the proper order. Mr. Miller said he felt the list of conditions could certainly satisfy the CSP because it is a broader review based upon its

adherence to City plans and codes. Mr. Miller said a preliminary plat is very specific with Title 49 design elements and a very specific listing of things that are required in a preliminary plat. Perhaps the conditions would not satisfy those elements, he said. Mr. Miller said he felt that perhaps consistency should be evaluated before the preliminary plat.

Mr. Palmer said he felt that this case presented one of the most unique opportunities the Commission has had at this juncture to deal with the new subdivision amendments. The CSP review and Title 49.15.580 was drafted with the intent to cover projects that do not have another permit associated with it. This is the first permit which has come before the Planning Commission for a City project that falls cleanly within another permit process that Title 49 provides, said Mr. Palmer.

One way to address this is as described by Mr. Miller, said Mr. Palmer. Another way is to actually look at the more technical aspects of the subdivision permit, review it, and within that same review the CSP process would also be satisfied, he said, because they would be doing the technical review and adherence to Title 49 as they would with any other subdivision project. When the City develops a subdivision it needs to be treated just like any other land owner who is developing a subdivision, said Mr. Palmer. The CSP process was created as a review when there is no other review process in place, said Mr. Palmer.

Mr. Voelckers said the consistency review also covers things like the capital improvement project, and then it is also up to the Planning Commission to see that the project is adequate for the community and that the City is doing the right thing for the population. He said he feels there are situations where there are projects with a permit in place in which the Commission is still asked to review the project on an overview level.

Mr. Palmer said this can certainly be done if the Commission wants to delve into that level of detail. Title 49.15.280 (a) only requires that the Commission reviews City projects for consistency with this Title when it is performing a subdivision review, he added.

Ms. McKibben said the staff recommendation is that if the preliminary plat meets requirements of Title 49 then it meets the consistency review regarding its compliance with Title 49 and in this recommendation staff has said that the preliminary plat requires conditions in order to meet the requirements of Title 49. The other piece of the consistency review is conformance with the plans which the staff has evaluated and found to be consistent with the policies of the plan. She added that there is the third piece which is the CIP (Capital Improvement Projects) under which this project is already listed in various formats.

Mr. LeVine said he understands that the Commission needs to review the plat and its consistency with Title 49 under which there are numerous conditions which must be met. He said from listening to Mr. Palmer and Ms. McKibben that if the Commission finds that the findings and conditions meet Title 49 then they had found consistency with the Plan. He said he

wonders if a subdivision could be concocted by the City which meets Title 49 but which is demonstrably inconsistent with the Housing Action Plan or the Comprehensive Plan, for example. Mr. LeVine said in his opinion he did not think a condition about a lighting plan has anything to do with consistency with the broad policies of the Housing Action Plan, for example.

Ms. McKibben said that goes back to Title 49.10.170 which requires the Planning Commission to review the City projects for consistency with the plans. Ms. McKibben said that perhaps Mr. LeVine was co-mingling the items a bit more than she was. She said to her lighting is part of the preliminary plat review for consistency with Title 49, not necessarily for consistency with the plan.

Mr. LeVine said if they were to approve this they would need two motions: one which would state they would approve the preliminary plat subject to 11 conditions, and another motion stating that the Commission found this proposal consistent with plans.

Applicant

Mr. Chaney said this process has taken over 10 years. The installation of the sewer line in this area was a huge investment by the City making this development possible, said Mr. Chaney. The lots currently up for review are now zoned D-10 SF with the other two phases of the project also zoned D-10SF, said Mr. Chaney. The rest of the region is zoned D-10 for multi-family development. That rezone was approved in 2014, he noted. He said they felt the community needed more small affordable single family homes, and that development within the community has been fairly strong over the last few years with the building of multi-housing developments. The land trade with the church was also critical for this project as it provides access between the project and Glacier Highway, said Mr. Chaney. They are also asked to look for partners, because this is an expensive project, he said. Tlingit and Haida Regional Housing Corporation has expressed interest in partnering with the City on this project, said Mr. Chaney. The City will be seeking other partners as well, he noted.

This is a neighborhood layout, said Mr. Chaney, with sidewalks on both sides of the streets. They have already received an Army Corps of Engineers fill permit, said Mr. Chaney. They are still discussing how they would put the project out to bid; whether to put the lots out for bid in bite-size chunks rather than all at once, said Mr. Chaney. Park Place is a similar type of development in the Mendenhall Valley next to Rotary Park that is zoned D-18, said Mr. Chaney. Those are single-family attached homes with a much denser zoning than the proposed development, he said. Another example of similar density is the lots in Chelsea Court which are closer in size to the proposed Pederson Hill development, said Mr. Chaney.

Mr. Chaney said a 728 square foot starter home with one bedroom and one bathroom could be built for an estimated cost of about \$146,000 for the house itself, excluding the land. The lot would be valued at about \$100,000, said Mr. Chaney. With the cost of land included, there could be a starter home built for \$250,000, said Mr. Chaney. With the cost of a master

bedroom and bath addition the cost for the home itself would climb to about \$211,000, said Mr. Chaney. A third bedroom would put the cost at about \$268,000 he said. So a three bedroom, two bath home with the garage would come to over \$400,000, he said.

It is up to the Assembly to decide how the lots would be released, said Mr. Chaney. They could have some lots open for sealed competitive bids and some blocks of lots open for contractors, or a fair market value lottery, said Mr. Chaney. There are a variety of ways these lots could be released to a variety of groups, said Mr. Chaney.

If the Auke Bay Bypass ever came to fruition, it may nick a corner of the development but probably not, noted Mr. Chaney. If this item is approved tonight it will next go before the Assembly at its March 13, (2017) meeting, said Mr. Chaney. Assuming approval in the spring, detailed engineering for the project would begin, he said. The bid opening would happen sometime in the fall, said Mr. Chaney.

Commission Comments and Questions

Replying to a note from the staff, Mr. Chaney stated that this project is consistent with the Land Management Plan which was adopted in 2016.

Mr. LeVine asked if the plans for drainage have changed with the relocation of the equestrian trail.

The plans have changed somewhat, said Mr. Chaney. They would probably have to construct a berm to direct the drainage to the desired area, said Mr. Chaney.

Mr. Miller asked how far along the plans were when they were reviewed by the Wetlands Review Board in the summer. Mr. Miller noted that the Wetlands Review Board had favorably commented on the open channel streamflow which he does not see in the existing plans. He said he wondered if the wetlands review board was aware that the majority of the drainage would be underground.

Mr. Chaney said the designs were pretty far along when reviewed by the Wetlands Review Board. He said this is a hybrid drainage plan with some sculpting of the landscape to preserve the existing natural drainage on the property. There will also be a fish passage structure, he said. The drainage coming off of the roads will come down, go through an oil water separator, then go to a berm area with a swale in the bottom, he added. There simply is not enough room to have open ditches and sidewalks in a neighborhood with this size of lots, he said.

Mr. Dye asked if the open swale near the equestrian trail would be running perpendicular to the stream.

Mr. Chaney said it will have to be designed to have water running underneath and a swale constructed above. There will be an actual drainage ditch constructed over the stream, said Mr. Chaney.

Mr. Miller asked how the 50-foot setback from the stream could be met with an 80-foot-wide lot.

That lot is set aside as a conservation area and it will not be built upon, said Mr. Chaney.

Mr. Voelckers said he thought the 50-foot buffer ended at lot 12 and then becomes unregulated.

Mr. Hickok asked about how snow storage would be handled.

Mr. Chaney pointed on a map to the areas where snow could be stored. The snow will not need to be trucked out, said Mr. Chaney.

Mr. Hickok asked if parking would be allowed on the streets.

Parking would not be allowed when there was snow which Public Works needed to plow, commented Mr. Chaney.

Mr. LeVine said he wondered with the subsequent phases if there had been analysis on the cumulative impacts on the wetlands.

Mr. Chaney said the vast majority of the property in this area owned by the City is not being developed. With development of the subsequent phases more decisions would need to be made, said Mr. Chaney.

Mr. Miller said he has lived in a subdivision with the sidewalk only on one side and that there was room at the end of the road for snow removal. However, he said the snow would not all be able to accumulate at the end of the road and that it would end up on the sides of the road as well, which would put snow over both sidewalks in some places.

Mr. Chaney said there will certainly be years of very heavy snowfall when it could be backed up onto the sidewalks, but that they are designing the development for a typical year.

In answer to Mr. Dye's question about the equestrian trail, Mr. Chaney said when it goes along the sidewalk along the main road it may be as narrow as five feet.

Mr. Voelckers asked if the City currently has reasonably accurate construction cost estimates. He asked how those numbers aggregate for this development.

This is basically a road project, said Mr. Chaney. He added that you never really know until the bids are opened. They currently have rough numbers, he said. The last time they did a subdivision the bid came in 70 percent below the engineer's estimate, he said. The current estimate is for about \$8 million for full construction costs. They hope to bring this project in for less than the fair market value of the lot, he said.

Mr. Miller said other preliminary plats he has seen or been involved with had drainage easements, especially in a tight neighborhood like this. He said every single lot is going to be a challenge. Usually in the preliminary plat phase drainage is required to be shown, he said.

Mr. Chaney said it is their intent to plat drainage easements along property lines. They had a pretty refined plan for this development and then with the subsequent adoption of the new subdivision ordinance they have had to adjust their plans, said Mr. Chaney. He said drainage easements could have been included in this plat and he is sorry that they are not included. The requirements for a preliminary plat are now much more detailed, he said.

Mr. Chaney said if he were in the private sector and required to do this thorough level of detail for the roads and the drainage, it would be extremely unfortunate if it were then denied. Preliminary plats can be denied, said Mr. Chaney. If he were a private developer, said Mr. Chaney, and he put all of this money into developing the plat and that was denied, he would be extremely disappointed. With the final plat, said Mr. Chaney, individuals are investing money in something that they know they will get a return on.

Public Comment

Juneau resident Jeremy Sidney said that his parents own Swampy Acres, land contiguous to the proposed Pederson Hill development. Mr. Sidney asked what the cost was for the City to acquire the Pederson Hill property. He also asked what the property would go for if it was sold on the open market. Mr. Sidney also complained that all of the residents along Glacier Highway in that area had to help pay for the sewer lines which were installed which the City was then going to use for the Pederson Hill development. He said he did not think this was fair.

He asked if the lots in the proposed subdivision would be filled and ready to build. He said after the lots are purchased it will cost \$25,000 - \$35,000 to fill in each lot. He said he felt the City was becoming housing developers for the private sector. He said he felt this was a really big mistake which the City should not have done. He said he did not feel it was the City's role as a government to be in the land developing business.

Carl Koch, wildlife biologist for the Alaska Department of Fish and Game, said there is about 400 acres surrounding that area between the Auke Lake and the Brotherhood Bridge trail. That area is used by black bears, wolves, coyotes and deer, he said. It is a very important travel corridor and most of the animals passed through the proposed subdivision, he said. He said

they recommend some sort of buffers such as around the equestrian trail or the bottom half of the hill.

Commission Comments and Questions

Mr. LeVine said they have notes from Fish and Game regarding the anadromous stream but they have no information on the wildlife in their packet from Fish and Game. He asked if this was just reviewed by the fish portion of Fish and Game and not the wildlife portion.

Mr. Koch said he felt this went through the Habitat Division and it frequently focuses on fish. He said this issue was only brought to his attention today when one of his colleagues asked him to come and speak before the Commission.

Juneau resident Bobbi Epperly said she found the timing of the Pederson Hill subdivision to be poor judgment on the City's part. She said the current economic outlook for Alaska is bleak with the loss of jobs, revenue, and people moving out of the state. She said spending 4 ½ million dollars and asking investors for the balance is fiscally irresponsible during a time of recession. She said CBJ is basing this project upon a housing shortage and demand which was prevalent in the community 10 years ago. Juneau's population has been dropping and in 2016 she said Juneau has lost 600 people from its population. She said the microscopic lots are overpriced and that homes will not sell at a low enough price to be of benefit to individuals with lower incomes.

Dr. Eric Olsen said he is the owner of the Family Practice building which is located across Glacier Highway in close proximity to the proposed development. He asked the Commission to consider the safety of the intersection in this area which would then be a four-way intersection. He said Family Practice must be included as an element when considering the safety concerns on the road. He said that Family Practice alone probably generates 60 trips per hour during certain times of the day in addition to the 86 trips per hour estimated to be engendered by the proposed Pederson Hill development. He said they prepared their lot for construction in 1984 and the cost of clearing out the lot and preparing it was \$100,000 at that time.

Juneau resident Zachary Stetson said he is 23 years old and that he moved to Juneau several years ago. He said he has found the housing market in Juneau to be extremely difficult. He said he purchased a condominium about one year ago. He said, with a degree in accounting, that he cannot afford a house, and there are many other people in Juneau with lower incomes who would also not be able to afford a home. He said he is in full support of more housing in Juneau.

Former Commission member and Juneau resident Dennis Watson said he was in support of this development. He said he has been an employer in Juneau until just a few years ago and that it is very difficult to recruit people to move to Juneau once they discover how much housing costs in the community. In this case the Borough is taking up a lot of the responsibility of the

development of the subdivision providing paved streets and sidewalks on both sides and utilities. Mr. Watson said one concern he has is that although Swampy Acres is currently a farm site, at some point in the future that could be developed into a commercial property. He suggested that potential property buyers in the Pederson Hill development be made aware of that future possibility of commercial development in their area. He said he feels this project is in compliance with the code and that he felt it would be a disservice to the community if the City did not move forward with the development.

Juneau resident and former Chancellor of the University of Alaska Southeast John Pugh spoke in favor of the Pederson Hill subdivision. He said he has been a resident of the “flats” in Juneau for 37 years. Their area is constructed upon small lots with tight housing and he said they have never been bothered by a lack of privacy. He said that he knows his neighbors really well and that they have developed into a neighborhood that takes care of each other because of how close they live together. He said there are real opportunities to develop a tight neighborhood where friends can be made and neighbors can help take care of one another. He said he felt the Pederson Hill neighborhood would provide many advantages for employers such as the University of Alaska employees which would benefit from that housing.

Applicant

The CSP is a recommendation to the Assembly, said Mr. Chaney. The approval or denial of the plat is for the subdivision development, said Mr. Chaney.

The City’s lot preparation will be minimal, said Mr. Chaney. He said he would not be surprised if it did not cost a fair amount to develop the lots prior to construction. The City has spent about \$200,000 on the project to date which is for design, said Mr. Chaney. The amount of money the residents were assessed for the extension of the sewer line was less than half the amount of the cost of that project, said Mr. Chaney. The City pays more than half of those costs, he said. The purpose of extending the sewer was so they could increase the density in the area, he said. The City acquired the property from the State of Alaska, he said. The City’s cash outlay for the project is therefore very low, he said. Providing a buffer for the wildlife is a problem if you only look within the proposed subdivision boundary, said Mr. Chaney. They are leaving a lot of this area outside of the proposed subdivision undeveloped, he noted, which will be available for animal crossings. They do not need to release the lots if the market is flooded and the community is in a recession, said Mr. Chaney.

Commission Comments and Questions

Mr. Miller noted there has been some comment by private developers in the community that they were being held to a different standard than the City in terms of the development process. Mr. Miller said in reviewing the documents he felt there may be some of this transpiring with this project. He said he knew the standard was different for City road construction than those for developers building their own roads, for example. He said he did not feel that the 50-foot stream setback was addressed clearly with this development at the preliminary plat stage. He

said typically in every situation he has been involved in this would have had to have been done at this stage. He said perhaps with the enactment of the new subdivision rules that plat requirements have changed. Mr. Miller said he has never been involved in a situation where a plat note could come before the Planning Commission before it was finalized. He asked Mr. Chaney for his input on any discrepancies between City and private development procedures.

Mr. Chaney said that all subdivisions are different from each other. He said a private developer would have probably kept that lot and simply put a 50-foot setback from the stream. For this development they have actually set aside the lot for conservation purposes rather than for just the provision of a setback. 50' setbacks are rarely shown on the plat because they actually move with the stream and as the stream changes course so will the setback, said Mr. Chaney. They submitted their design about 10 months ago and so far had about five rounds with the reviewing agent for the City involving many corrections. There has been no intent at any point in the review process for the standards for this project to be held any lower than what a private developer would experience, said Mr. Chaney.

Mr. Steedle said the review for this development has been treated the same as the previous subdivision which went through the new subdivision ordinance requirements. They have tightened up the requirement for a preliminary plat, noted Mr. Steedle; maybe they are too tight, he said.

Mr. Frisby asked about the solicitation process for comment from agencies. He said he was referring to Fish and Game which initially just commented on the anadromous stream.

Mr. Feldt said when comments are solicited from other agencies they have one point of contact with that agency.

Ms. Shelton-Walker asked Mr. Chaney if he had any comment on the remarks made by Dr. Olsen, the owner of Family Practice, about traffic intersections in the area.

Mr. Chaney said the traffic engineer reviewed the intersection and determined that putting that intersection in would be acceptable. He said he knows there is an attempt to improve the area around Wild Meadow Lane. That might change the traffic flow in that area as well, he said.

Mr. LeVine said he was troubled on a few levels regarding the lack of proper contact with Fish and Game on this project. He said he felt this reflected a certain lack of communication within its own agency on the part of Fish and Game. He said also he felt it was their job to try to prevent interaction between bears and people. He asked how it would affect the development process to provide a decent buffer for the travel of wildlife in the area. Mr. LeVine said he felt this was an important consideration.

Mr. Chaney said he guessed they would lose about 20 lots because the development is already pushing up the hillside and cannot really proceed any further up the hill. There is already a large portion of land set aside for wildlife habitat which cannot be built on, said Mr. Chaney.

Mr. Voelckers asked if there have been studies done on the travel patterns of the animals in the area as far as where they are coming from and where they are going to.

Mr. Chaney said he knew that wildlife likes to spend the winters on the Mendenhall Peninsula because it is warmer in general. He added there definitely is passage of wildlife in this area. He said he was not aware of the exact corridors that they use for passage.

Mr. Voelckers said there were two motions to be made by the Commission and that perhaps it made the most sense to do the broad consistency review prior to the plat itself.

Mr. Voelckers said they were going to bring Mr. Palmer forward for more commentary on whether the Commission needed to make one motion or two motions regarding the Pederson Hill subdivision.

The first question asked by Mr. LeVine is how deep of a review on this subdivision the commission needs to Perform at this point, said Mr. Palmer. When the subdivision ordinance was amended in 2015 and 49.15.580 (a) was specifically amended to clarify that when a City project is before the Commission the only thing the Commission has to do is to look for consistency with Title 49. This is different than it was in the past, said Mr. Palmer. Mr. Palmer recommended that the Commission look at 49.15.580. He said if the Commission wants to do both a CSP and a subdivision review it can do so. But the code only requires the Commission to do a subdivision review, he said. Part of that logic is that the Planning Commission is the platting authority for major subdivisions, said Mr. Palmer. If the CSP is done there is nothing the Assembly can do because the subdivision determination by the Planning Commission is the final authority on the subdivision.

Mr. Voelckers said based upon the information just provided by Mr. Palmer that the Commission will be reviewing SMP2016 0002.

MOTION: *by Mr. Miller, to approve SMP2016 0002 with staff's findings, analysis and conditions.*

Speaking in favor of his motion, Mr. Miller said this project has been a long time in development and that in the previous nine years he served on the Planning Commission he recalled that a lot of work was done trying to make housing more affordable for the community. He said there is no single action which can accomplish this, and 10 years ago this is one of the few pieces of CBJ property identified as developable. Due to the small size of the lots there will definitely be some issues in their development and that lots of preparation will

certainly be expensive. There is the possibility that smaller homes may be built and there is the possibility that they may provide less expensive homes for members of the community to purchase, said Mr. Miller.

Ms. Shelton-Walker said she does have some concerns about an adequate habitat buffer for the development. She said she does support the motion and she does not want to hold up the development of but that she would like to see attention paid to the wildlife corridor as this project moves forward.

Mr. LeVine said he shared the concerns just expressed by Ms. Shelton-Walker. He said he wanted to encourage the City to think carefully as it moved forward in its development and in future phases of the project. He added that he felt it was not the best process to be approving a project with items placed as conditions when they are items which could have already been addressed prior to coming before the Planning Commission. These items should not be coming before the Planning Commission with items such as this listed as conditions, said Mr. LeVine. He added they should be resolved prior to coming before the Planning Commission. He said he encouraged the Community Development Department to see that these items are addressed before they come to the Commission in the future. He said he did approve of the project and that no variances would be required.

Mr. Hickok said he had lots of concerns about this project. He said he kind of agreed with Mr. Sidney and that perhaps the City should not be involved in the development of land. He said he did not know if chopping up a piece of property would make it affordable. He said he felt indifferent about the project but that he has often heard the need expressed for affordable housing. He said he would vote in favor of the motion.

Mr. Dye spoke in favor of the motion, saying that the Commission's role was to ascertain if this project was consistent with Title 49, not if the City should be in the development business or not.

Mr. Greene said he was in support of the motion.

Mr. LeVine said he did want to go on the record and say he felt this project was consistent with the codes and plans that it must abide by.

Mr. Frisby said he did have some concerns about the wildlife and that he did think that some studies on that topic have been completed in that area. He requested that the staff explore and see if it could identify studies done on the wildlife in that area. He said he felt a buffer was very important for the wildlife which migrates through that area.

Roll Call Vote:

Yeas: Mr. Hickok, Mr. Miller, Mr. LeVine, Mr. Frisby, Mr. Greene, Ms. Shelton-Walker, Mr. Dye
Mr. Voelckers

The motion passed by unanimous vote.

X. BOARD OF ADJUSTMENT - None

XI. OTHER BUSINESS

Recycle Works Presentation: The slide show detailing the information provided by Ms. Elfers can be accessed at Juneau recycling.com.

Ms. Elfers said she has been making this presentation to various groups and agencies within Juneau. They will be making this presentation to the Assembly Committee of the Whole in March, she said. A lot of the talk in Juneau is in regard to the cost of bringing goods into the community. But also the disposal of goods needs to be considered, said Ms. Elfers. They either need to be shipped out or dealt with locally, she said.

The Environmental Protection Agency (EPA) states that it should be possible to recycle 60% to 70% of our trash, she said. Juneau currently recycles about 10% of its waste, she said. of cardboard a year.

The landfill is owned by a private company called Waste Management, said Ms. Elfers. This is a worldwide company, she said. Arrow Refuse, a private company, collects the garbage, said Ms. Elfers. The City at this point cannot legally collect garbage, she said. The City could obtain a certificate so that it could collect the garbage but the costs were too high when this was explored several years ago, she said. Therefore, the City cannot control where the garbage goes or what happens to it, she added. The City can collect recycling, she said.

In 20 years the landfill will be full, she said. It is difficult to identify a location for a new landfill, she said. There is really not flat, accessible land for that site, she said. Regulatory requirements for landfills are very high, she said. Another option is to ship garbage to the lower 48, she said. That will probably happen unless other options are identified within the next 20 years, she said. The cost for an incinerator is prohibitive, she said.

Mr. Frisby asked for a distinction between the recycling which is collected by the trucks and the recycling which is dropped off at the recycling center.

The recycle works program has been focusing its efforts recently on maximizing diversion of waste from the landfill for beneficial reuse. They also have a hazardous waste facility located at

Lemon Creek which has been a popular program, she said. They also have a junk metal recycling program, she said, in which they collect junk cars. Through a contractor they take noncommercial vehicles for free, she said.

For recycling the City has a drop off program at the CBJ landfill, said Ms. Elfers. Arrow Refuse runs the recycling program picked up by its trucks, she said. Within the last year the City has installed recycling drop boxes throughout the community which it takes back to the recycling center, she said. This program has been wildly successful, she said. They have five more drop box containers arriving within the next few weeks, she said.

Commission Comments and Questions

Mr. Hickok said he owns a liquor store. He said he did not feel it was necessary for Alaskan Brewery to deliver their product to the local liquor stores in large cardboard containers.

Ms. Elfers said she thought that was a great idea and that going to the source to reduce waste is a popular component of recycling.

Ms. Elfers said they were surprised when the curbside recycling program began, that the drop-off recycling at the CBJ site still remains strong.

Mr. LeVine asked how Arrow can make money shipping recycling down south and not the City doing the same thing.

Ms. Elfers said mixed recycling such as Arrow does is for ease of use. It sends the recycling to a recycling center where the items which do have value are salvaged and the items which cannot be recycled are put in the landfill. There is no recycling market at this time for plastic other than the type that the CBJ accepts for recycling, said Ms. Elfers.

Composting is a way the community can recycle locally and not have to ship items out of the community, said Ms. Elfers.

Mr. Voelckers commented that extending the longevity of the landfill through recycling must have value for the community.

It is a difficult calculation to make, said Ms. Elfers, since they cannot foresee what shipping costs will be in the future.

Mr. LeVine said there has been a lot of interest in the community on composting. He said it is a shame that items such as lawn waste are placed into the landfill.

There is not currently a composting pilot program, said Ms. Elfers. They have been identifying pilot programs for review. Mr. Frisby asked what the recycling rates were between Arrow and CBJ recycling. Ms. Elfers said she was not sure what the rates were at this time.

Mr. Voelckers asked what the relationship was like between Arrow Refuse and the City. He asked if Arrow was amenable to working more closely together with the City.

They do not collaborate with each other, said Ms. Elfers. She said she feels that is a good direction in which to move.

Mr. LeVine asked if the study has been done on the costs and benefits of recycling, and of some form of mandatory recycling.

Ms. Elfers said she thinks the direction the City needs to head in is partnering with the other waste entities in town which is Waste Management and Arrow Refuse.

Ms. Shelton-Walker said she felt it was very important that the community recycle as much as it could with recycling that can remain within the community.

Ms. Elfers said she is not aware of at this time of any waste technology programs which would be economically feasible for the community.

DIRECTOR'S REPORT

The APOC filing is due by March 15, (2017) for Commission members, said Mr. Steedle.

Ms. McKibben reported that there is a Title 49 Committee meeting on March 8, (2017) at 3:15 pm.

XII. REPORT OF REGULAR AND SPECIAL COMMITTEES

Wetlands Review Board

Mr. Miller reported that there was a Wetlands Review Board meeting on January 19, (2017). They did a Juneau Wetlands Management Plan update. WESPAK (Wetland Ecosystem Services Protocol for Southeast Alaska (WESPAK-SE) is the new means of determining wetlands. There was a pretty extensive peer review that WESPAK underwent and it appears to be a successful venture and ready to function, said Mr. Miller.

XIII. PLANNING COMMISSION COMMENTS AND QUESTIONS – None

XIV. ADJOURNMENT

The meeting was adjourned at 10:34 p.m.



THE STATE
of **ALASKA**
GOVERNOR BILL WALKER

Packet Page 55 of 123
Department of Fish and Game

DIVISION OF WILDLIFE CONSERVATION
Southeast Region

802 3rd Street
P.O. Box 110024
Juneau, Alaska 99811-0024
Main: 907.465.4265
Fax: 907.465.4272

June 27, 2017

Ms. Beth McKibben
Planning Manager
City and Borough of Juneau
230 S. Franklin St.
Juneau, AK 99801

Ms. McKibben:

Thank you for considering our comments on Phase 1 of the Pederson Hill Subdivision. During public testimony at a February 28, 2017 meeting of the Juneau Assembly the ADF&G, Division of Wildlife Conservation (DWC) learned that the City and Borough of Juneau (CBJ) had already received ADF&G's comments on the project. However, through an oversight the ADF&G, Division of Habitat submitted those comments without first soliciting input from DWC. Regardless of where the Phase I development is in the approval process, DWC believes the project, future residents, and area wildlife can still benefit from our comments.

Currently, Pederson Hill and adjacent undeveloped lands provide habitat for a variety of wildlife including deer, black bears, wolves, coyotes, and recently moose. With this project CBJ proposes to develop 86 units of high-density affordable housing on the south side of Pederson Hill. Although the Phase 1 footprint is relatively small, about 20 acres, as designed, the development will block the most direct, and therefore most used wildlife travel corridor from Montana Creek to the Mendenhall Peninsula, Mendenhall Wetlands, and Douglas Island. We know this is a heavily used corridor from animal sign in the area, road kills (deer, bears, wolf), and movements of one radio-collared bear.

Even with the development wildlife will continue to use this area as a travel corridor bringing animals, primarily bears, into contact and perhaps conflict with future residents. Both CBJ and DWC resources are already overburdened responding to the current level of wildlife-human conflicts, so we believe steps should be taken in design of this and any new subdivision to minimize the potential for new conflicts before any houses are built. Increased traffic resulting from the subdivision will also likely lead to more vehicle-wildlife collisions. We offer the following ideas for minimizing effects on wildlife and the potential for conflicts between future residents of the subdivision and wildlife.

To mitigate wildlife conflicts and allow the area to continue functioning as a wildlife corridor between Douglas Island and the mainland we recommend that; 1) builders be required to include bear-proof trash structures sized to accommodate the larger trash and recycling cans with each house built; 2) design of the subdivision be altered to provide a dedicated forested wildlife travel corridor (~100 yards wide) on CBJ land; and 3) wildlife crossing signs be installed on both Glacier Highway and the Backloop road in areas of known crossings and vehicle collisions.

Ms. Beth McKibben, CBJ

- 2 -

June 27, 2017

Thanks again for considering our comments. I am available to work with CBJ staff in the design of wildlife corridors and placement of wildlife crossing signs.

Stephanie K. Sell

Wildlife Biologist III

Alaska Department of Fish and Game

Division of Wildlife Conservation

P. O. Box 110024

Juneau, AK 99811-0024

907-465-4266 office

stephanie.sell@alaska.gov

cc: Jackie Timothy, ADF&G, Div. of Habitat, Juneau
Holly Zafian, ADF&G, Div. of Habitat, Anchorage
Tom Schumacher, ADF&G, Div. of Wildlife Conservation, Juneau
Greg Chaney, CBJ, Lands Manager

From: Schumacher, Tom V (DFG) [<mailto:tom.schumacher@alaska.gov>]
Sent: Thursday, June 29, 2017 11:29 AM
To: Greg Chaney
Cc: Beth McKibben; Sell, Stephanie K (DFG); Scott, Ryan (DFG); Timothy, Jackie L (DFG)
Subject: RE: ADF&G, DWC Comments - Pederson Hill

Hi Greg,

Thanks very much for your reply. I don't think Stephanie Sell (or any of us) was aware that CBJ had considered wildlife travel corridors when planning this subdivision, so thank you for pointing those out.

Also, for the record, the original comment letter mistakenly indicated that ADF&G, Habitat Division coordinated our agency's review of this subdivision when they were only contributors to that process. The attached version corrects that error, but is otherwise identical.

Tom

From: Greg Chaney [<mailto:Greg.Chaney@juneau.org>]
Sent: Wednesday, June 28, 2017 9:58 AM
To: Beth McKibben; Rob Steedle; Schumacher, Tom V (DFG)
Cc: Dan Bleidorn; Rachel Friedlander
Subject: FW: ADF&G, DWC Comments - Pederson Hill

Hi Tom, Beth and Rob,

Below is a rough diagram showing CBJ land currently available for wildlife to travel from the Mendenhall Peninsula to the Montana Creek area. I look forward to the opportunity to discuss the extensive effort that CBJ has made to accommodate wildlife migration in this region. The corridors shown on the diagram below represent areas that are being managed as natural areas on CBJ property. The proposed subdivision is outlined in red.

Corridor #1 is the primary area established for this purpose. It is approximately 1,100 feet wide on the Pederson Hill Subdivision side of Glacier Highway.

Corridor #2 is also set aside as a natural area. North of Glacier Highway, CBJ has set aside a park along the Mendenhall River that provides access to the Montana Creek area. This area is roughly 600 feet wide at its narrowest point. However south of Glacier Highway is an active industrial area that is not owned by CBJ so this would be less desirable than Corridor #1.

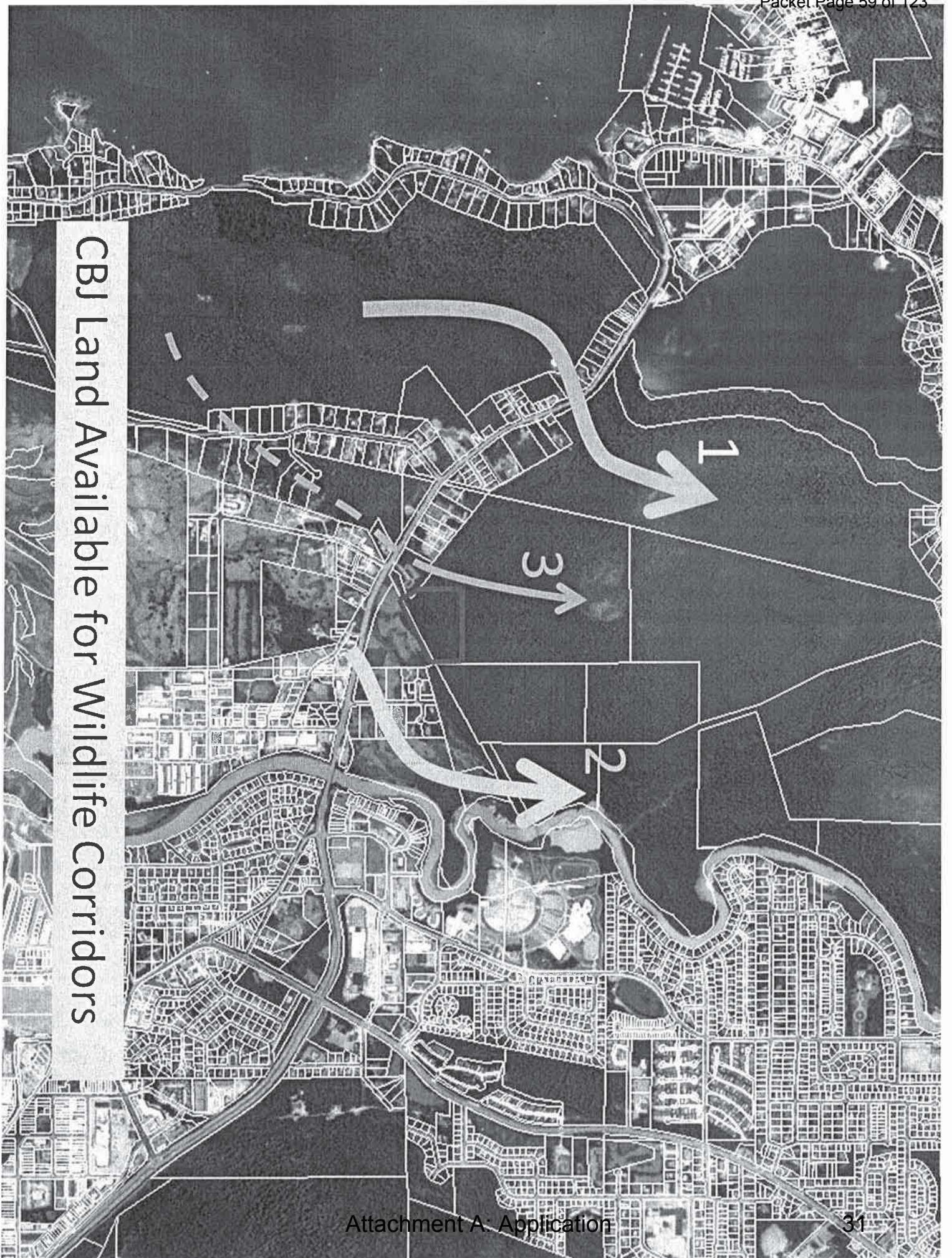
Corridor #3 is near the proposed subdivision but is the least desirable because south of Glacier Highway is a network of industrial and residential private property. CBJ does not have any land holdings in this area so we are unable to provide for wildlife in this region. North of Glacier Highway is also lined with private property. The proposed subdivision is shown in red. The western edge of the subdivision will include a natural area park that could be used for wildlife migration if they are able to negotiate the private property separating the proposed subdivision from the Mendenhall Peninsula. This park will be about 200 feet wide.

I support regulations that would protect wildlife from garbage but I think it would be most appropriate and effective to enact rules borough wide rather than create special rules that only apply to this development.

Thank you for the opportunity to comment on this important topic. Please let me know if you have additional questions, comments or concerns.

- Greg Chaney

CBJ Land Available for Wildlife Corridors



From: Schumacher, Tom V (DFG) [<mailto:tom.schumacher@alaska.gov>]

Sent: Tuesday, June 27, 2017 4:33 PM

To: Beth McKibben

Cc: Greg Chaney; Zafian, Holly K (DFG); Timothy, Jackie L (DFG); Scott, Ryan (DFG); Sell, Stephanie K (DFG)

Subject: ADF&G, DWC Comments - Pederson Hill

Dear Ms. McKibben,

The ADF&G, Division of Wildlife Conservation Juneau Area Management Biologist, Stephanie Sell, asked that I provide you with her comments on Phase 1 of the Pederson Hill Subdivision project. The attached letter explains why these comments were not submitted earlier. Ms. Sell is in the field this week and will not return to the office until after the 4th of July. Thank you for considering these comments.

Tom Schumacher

Regional Management Coordinator
Alaska Department of Fish and Game
Division of Wildlife Conservation
P. O. Box 110024
Juneau, AK 99811-0024
(907) 465-4267



Community Development

(907) 586-0715
PC_Comments@juneau.org
www.juneau.org/plancomm
155 S. Seward Street • Juneau, AK 99801

PLANNING COMMISSION NOTICE OF DECISION

Date: March 3, 2017

File No.: SMP2016 0002; CSP2016 0006

City & Borough of Juneau
Lands Division
155 South Seward Street
Juneau, AK 99801

Application For: A Preliminary Plat for Phase 1 Pederson Hill Subdivision resulting in 86 Residential lots and 5 lots for preservation/park purposes.

Legal Description: Lot 2 Pederson Hill USS 5504

Property Address: N/A

Parcel Code No.: 4-B22-0-101-010-1

Hearing Date: February 28, 2017

The Planning Commission, at its regular public meeting, adopted the analysis and findings listed in the attached memorandum dated February 21, 2017, and approved the preliminary plat to be conducted as described in the project description and project drawings submitted with the application and with the following conditions:

1. Prior to Construction Plan approval, the applicant shall submit detailed data for future utilities per 49.15.411(f)(7).
2. Prior to Construction Plan approval, the applicant shall submit required documentation meeting 49.15.411(6) *Erosion Control*.
3. Prior to Construction Plan, the applicant shall submit an updated lot closure report. **(Updated closure report was submitted on 2/28/2017. This condition has been met).**
4. Prior to Construction Plan approval, the applicant shall submit another subdivision plat to ensure labels and naming are consistent throughout the plat sheets.

City & Borough of Juneau
 File No.: SMP2016 0002; CSP2016 0006
 March 3, 2017
 Page 2 of 3

5. Remove labels 'Preservation Lot' and 'Park Lot' and replace with new plat note, as shown below. [Note: this is in reference to Condition 6.]
6. Prior to Final Plat approval, the applicant shall submit another draft plat with the following plat notes on the subdivision plat:
 - Plat Note: "Right-of-way access for Lots 1-7 Block C shall be restricted to common driveways for each pair of lots. Only one of the seven lots may have its own driveway that is not common to an adjacent lot."
 - Plat Note: "Corner lots abutting Karl Reishus Boulevard shall have driveways limited to accessing a street other than Karl Reishus Boulevard."
 - Plat Note: "Wetlands exist throughout this subdivision. Approval to impact these wetlands has been given by the US Army Corps of Engineers (COE). Consult COE for more information."
 - Plat Note: "Lots 10 & 12 Block A and Lot 9 Block C shall be Public Use Lots. Restriction of building development, further subdivision, and other limitations or restrictions apply."
7. Prior to Plat recording, the applicant [shall] submit documentation that places a permanent protected status on Lots 10 & 12 Block A and Lot 9 Block C in accordance with 49.15.422.
8. Prior to Construction Plan approval, the applicant shall submit a design showing a drainage infrastructure that would allow fish passage through the equestrian trail east of Karl Reishus Boulevard.
9. Prior to Construction Plan approval, the applicant shall submit a design showing a minimum 10-foot wide walking surface within the Wild Rose Walk ROW per 49.35.610(a).
10. Prior to Construction Plan approval, the applicant shall submit a lighting plan meeting applicable CBJ standards.
11. Prior to Construction Plan approval, the applicant shall submit documentation ensuring compliance with section D107.1 of the International Fire Code.

Staff notes that after the publication of staff's memorandum 2/21/2017, the applicant submitted and the Planning Commission approved a design change that relocated the western portion of the proposed Cheex Equestrian Trail from behind Lots 1-5 BL C to along the eastern side of the proposed Karl Reishus Boulevard. This new portion of the trail would be five feet wide. This design change also reduced the width of the planned east side sidewalk along Karl Reishus Boulevard from six feet to five feet. This is the design of the preliminary plat that was approved by the Planning Commission.

City & Borough of Juneau
 File No.: SMP2016 0002; CSP2016 0006
 March 3, 2017
 Page 3 of 3

Attachment: February 21, 2017 memorandum from Eric Feldt, Community Development, to the CBJ Planning Commission regarding SMP2016 0002 and CSP2016 0006.

This Notice of Decision does not authorize any construction. Prior to starting any project, it is the applicant's responsibility to obtain the required building permits.

This Notice of Decision constitutes a final decision of the CBJ Planning Commission. Appeals must be brought to the CBJ Assembly in accordance to CBJ 01.50.030. Appeals must be filed by 4:30 P.M. on the day twenty days from the date the decision is filed with the City Clerk, pursuant to CBJ 01.50.030 (c). Any action by the applicant in reliance on the decision of the Planning Commission shall be at the risk that the decision may be reversed on appeal (CBJ 49.20.120).

Effective Date: The permit is effective upon approval by the Commission, February 28, 2017.

Expiration Date: The permit will expire 18 months after the effective date, or August 28, 2018, if no Building Permit has been issued and substantial construction progress has not been made in accordance with the plans for which the subdivision permit was authorized or no final plat has been approved. Application for permit extension must be submitted thirty days prior to the expiration date.

Project Planner:


 Eric Feldt, Planner
 Community Development Department


 Ben Haight, Chair
 Planning Commission


 Filed With City Clerk

March 3, 2017
 Date

cc: Plan Review

NOTE: The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this subdivision. ADA regulations have access requirements above and beyond CBJ - adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.

Recorded in the Juneau Recording District.

When recorded return to:

City and Borough of Juneau, AK
Attn: Division of Lands and Resources
155 S. Seward St
Juneau, AK 99801

Document Title: Emergency Vehicle Access Easement

Grantor: Christ Evangelical Lutheran Church of Juneau

Grantee: City and Borough of Juneau

Grantor's Legal Description: Lot 1 of Plat 2015-40

Grantor's Parcel Number: 4-B22-0-102-001-4

Christ Evangelical Lutheran Church Emergency Vehicle Access Easement

PART I. PARTIES. This easement is made between the **City and Borough of Juneau, Alaska**, a municipal corporation in the State of Alaska, whose address is 155 S. Seward Street, Juneau, Alaska 99801, hereinafter "City," and the **Christ Evangelical Lutheran Church of Juneau, Alaska** "Grantor" whose address is 10300 Glacier Highway, Juneau Alaska 99801.

PART II. ADMINISTRATION. All communications about this easement shall be directed as follows, and any reliance on a communication with a person other than that listed below is at the party's own risk.

City/Grantee:

Attn: Lands and Resources Manager
City and Borough of Juneau
155 S. Seward Street
Juneau, Alaska 99801
Phone: (907) 586-0205; Fax: (907) 586-5385

Grantor:

Attn: Christ Evangelical Lutheran Church of
Juneau, Alaska
PO Box 34104
Juneau, Alaska 99803-4104
Phone: (907) 790-4267

PART III. EASEMENT TERMS AND CONDITIONS.

- (a) **Easement.** In exchange for the valuable consideration herein, Grantor conveys a perpetual easement in gross to the City on the real property located at 10300 Glacier Highway, Juneau Alaska more particularly described as follows: a fraction of Lot 1, Pederson Hill Subdivision, Plat 2015-40, Juneau Recording District, First Judicial District, State of Alaska. The Grantor agrees to provide a thirty-six foot (36') wide

easement for emergency vehicles access as shown in Exhibits A and B. This easement may be relocated by the Grantor, at the Grantor's sole expense, upon written approval of City and Borough of Juneau Fire Marshal.

- (b) **Limitations on access.** This agreement also includes the installation of gates or bollards to restrict non-emergency access to the site. Keys to gates or bollards will be provided to the Grantor's authorized representative so that the Grantor may use these access points if desired and as permitted by the State of Alaska, Department of Transportation.
- (c) **Construction and Maintenance.** The City is responsible for construction and maintenance of any improvements required for emergency access purposes, including gates, bollards, grading or snow removal. The City shall maintain the access easement consistent with the purpose of the easement. The Grantor further agrees to allow the City access for the purposes of maintaining the access easement.
- (d) **Term.** This easement shall be effective SEPTEMBER 15, 2017, and shall remain in effect until such time when a second access for emergency vehicles is constructed to service the Pederson Hill Subdivision; at which time this easement will be vacated by signature of the City Manager and returned to its original condition. This easement runs with the Grantor's land.
- (e) **Purpose.** The easement is for the sole purpose of providing emergency access to or from Lot 2, Pederson Hill Subdivision, Plat 2015-40, Juneau Recording District, and Glacier Highway. The City intends to subdivide Lot 2 into approximately 86 lots for residential development. This easement is granted for the owner of Lot 2, and its successors its agents, lessees, and licensees to be able to subdivide Lot 2 and provide emergency access to and from the subdivision. This easement is not intended to provide non-emergency or pedestrian access.
- (f) **Permitting.** The City shall obtain all authorizations and permits required to construct an emergency access through this easement.
- (g) **Revocation by Dedication of Right-of-Way or Secondary Access.** If and at such time as a right-of-way or second access suitable for emergency vehicle access is dedicated and developed allowing for the uses and purposes contemplated by this easement, all, or relevant portions of this easement shall be revoked.
- (h) **Governing Law.** The laws of the State of Alaska shall govern this agreement. The venue for any proceedings brought by either party to enforce the terms of this agreement shall be in the First Judicial District at Juneau, Alaska.
- (i) **Integration and Modification.** This agreement, including all appendices, exhibits, and references, constitutes the entire agreement between parties. Any modification, amendment, or waiver of any provisions of this agreement shall not be effective, unless it is mutually agreed to in writing and signed by both parties.

(j) **Payment.** The City agrees to pay the Christ Evangelical Lutheran Church twenty eight thousand six hundred and twenty dollars (\$28,620) for this easement.

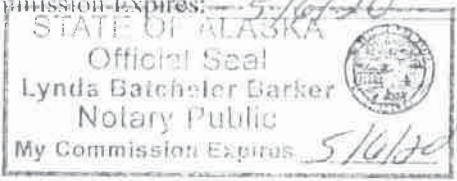
(k) **CBJ Authority.** The City is authorized to acquire this easement pursuant to CBJ 53.04.020 and 53.04.035.

PART V. EXECUTION. The City and Grantor agree and sign below. This contract is not effective until signed by the City.

Grantor: Christ Evangelical Lutheran Church of Juneau, Alaska

Date: 8/11/2017

By: William Coleman
 Print name: William Coleman
 Title: Interim Church President

GRANTOR'S ACKNOWLEDGMENT	
STATE OF ALASKA	)
	) ss:
FIRST JUDICIAL DISTRICT	)
THIS IS TO CERTIFY that on the <u>11th</u> day of <u>August</u>, 2017, before me the undersigned, a Notary Public, in and for the State of Alaska, duly commissioned and sworn, personally appeared <u>William Coleman</u>, who on oath stated that he was duly authorized to execute said instrument on behalf of Christ Evangelical Lutheran Church of Juneau, Alaska, and acknowledged that he/she executed the same freely and voluntarily for the uses and purposes therein mentioned. WITNESS my hand and official seal the day and year in the certificate first above written. <u>Lynda Batchelor Barker</u> Notary Public for the State of Alaska My Commission Expires: <u>5/16/20</u> 	

Grantee: City and Borough of Juneau, Alaska

Date: 8/11/17

By: [Signature]
Duncan Rorie Watt
City & Borough Manager

Approved as to content, Lands & Resources
Approved as to form, Law Department

By: [Signature]
By: [Signature]

CITY'S ACKNOWLEDGMENT

STATE OF ALASKA)
) ss:
FIRST JUDICIAL DISTRICT)

THIS IS TO CERTIFY that on the 11th day of August, 2017, before me, the undersigned, a Notary Public in and for the State of Alaska, duly commissioned and sworn, personally appeared DUNCAN RORIE WATT to me known to be the identical individual described in and who executed the foregoing instrument as the MANAGER of the CITY AND BOROUGH OF JUNEAU, ALASKA, a municipal corporation which executed the above and foregoing instrument; who on oath stated that he was duly authorized to execute said instrument on behalf of said corporation; who acknowledged to me that he signed the same freely and voluntarily on behalf of said corporation for the uses and purposes therein mentioned.

WITNESS my hand and official seal the day and year in the certificate first above written.

[Signature]
Notary Public for the State of Alaska
My Commission Expires: 1/14/20

(seal)

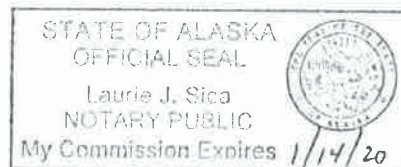


Exhibit A – Emergency Vehicle Access Easement

36' Wide Easement May Be Relocated With Approval of CBJ Fire Marshal & Authorized Church Representative

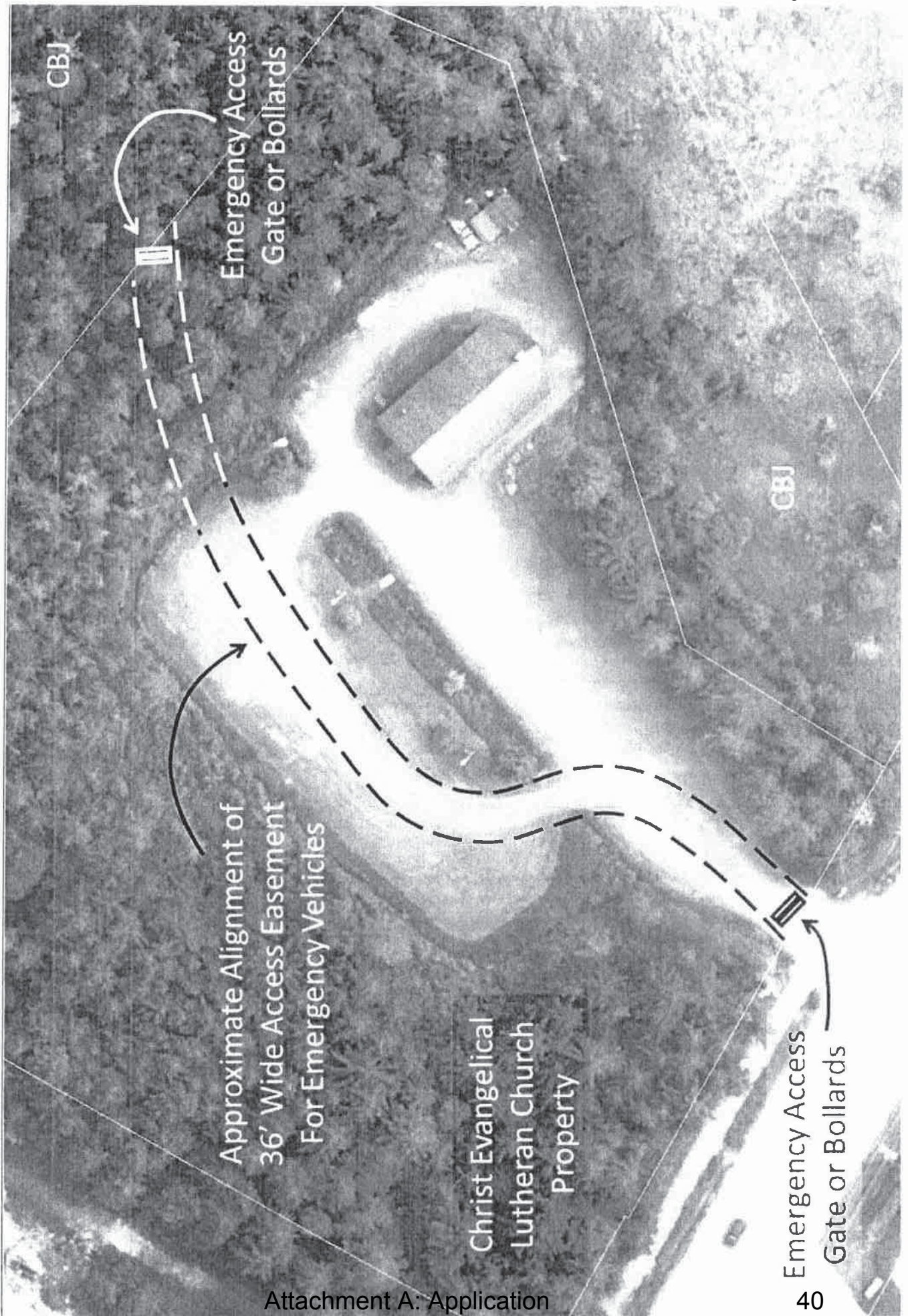
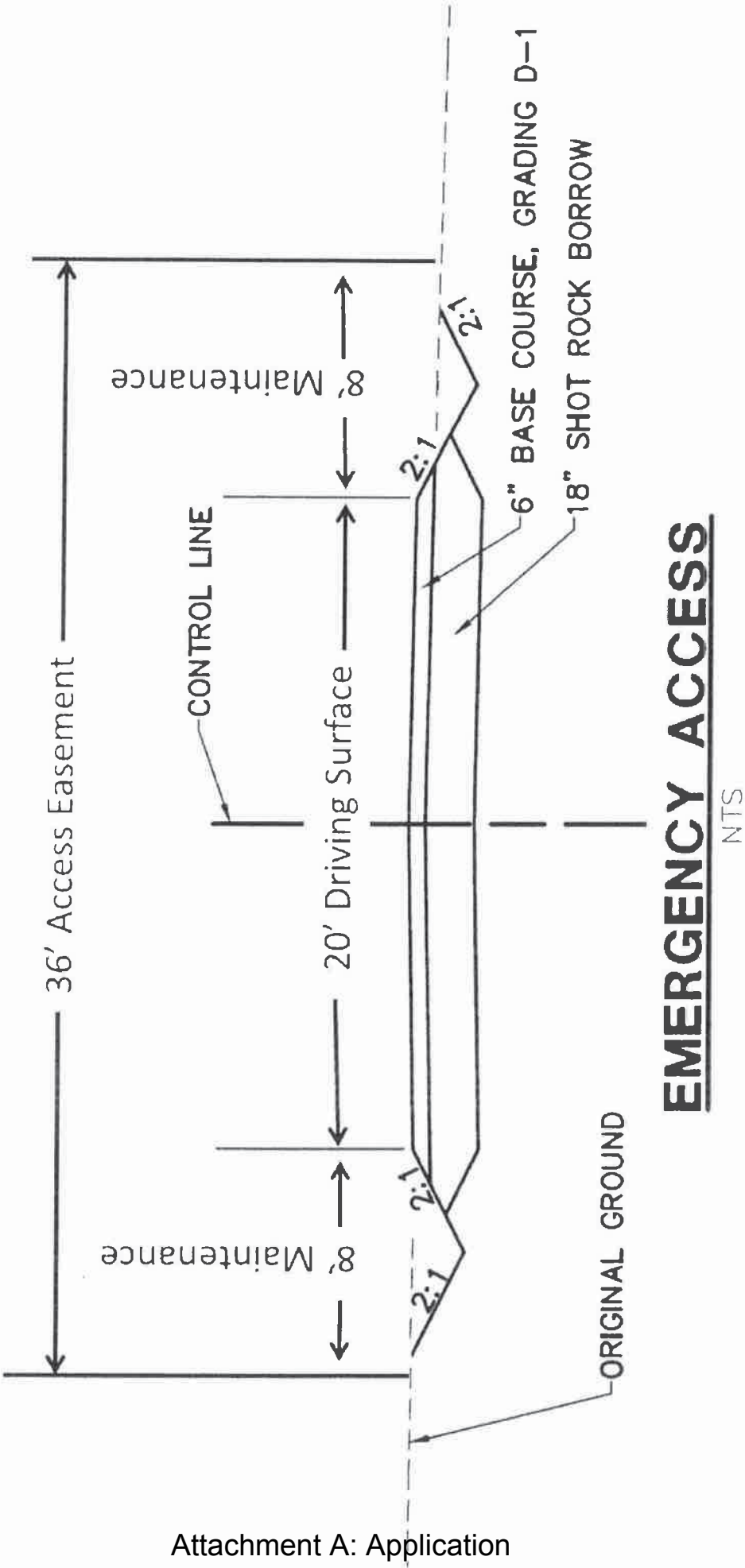


Exhibit B – Emergency Vehicle Access Easement

36' Wide Easement May Be Relocated With Approval of CBJ Fire Marshal & Authorized Church Representative



MEMORANDUM

CITY/BOROUGH OF JUNEAU

Lands and Resources Office
155 S. Seward St., Juneau, Alaska 99801
Greg_Chaney@juneau.org
(907) 586-5252

TO: The Planning Commission

FROM: Greg Chaney



SUBJECT: RE: Erosion Control

DATE: October 4, 2017

At the February 28th meeting the Planning Commission provided the condition of the preliminary plat that prior to Construction Plan approval, the applicant shall submit required documentation meeting 49.15.411(6) *Erosion Control* which states that the application shall provide a report explaining the method by which the applicant proposes to control erosion and manage runoff, and potential impacts to adjacent properties or water bodies. The report shall include a plan for preservation of ground cover in areas where runoff and resulting erosion need to be minimized.

The City has produced bid documents which contain an erosion and sediment control plan. This plan includes the proposed storm drainage system, including all storm drain inlets, manholes, pipe sections, and outfalls. The contractor will be required to prepare and provide a storm water pollution prevention plan (SWPPP) and file a notice of intent to discharge (NIO) under the Alaska Pollutant Discharge Elimination System (APDES) Construction general Permit (CGP). This plan cannot be prepared until the contractor has been selected. The SWPPP preparer will select and apply appropriate controls to prevent sediment and other pollutants from entering the piped system during construction and discharging to any waters of the U.S. Inlet protection shall be provided at all inlets within and adjacent to the project limits. Specific control devices and locations shall be selected by the SWPPP preparer or contractor. All disturbance areas will be seeded; erosion controls can include fiber rolls, curb inlet protection, abiding by cut and fill limits, and temporary inlet sediment traps.

The first page of the attached document titled “Erosion and Sediment Control Plan” provides an overview of the erosion control plan for the development. A significant feature of this diagram is the inclusion of a drainage swale along the uphill side of the equestrian trail. A cross section of the equestrian trail with the swale/ditch system is shown on the sheet labeled “Typical Sections Miscellaneous Details.” This drainage swale is downhill from the project and will collect runoff from the majority of the site. The water will then percolate through the

bottom of the swale to enter the ground water or if flow rates are high, storm water will be diverted to CBJ owned wetlands along the banks of the Mendenhall River. Prior to being discharged into the wetlands, the water will have flowed through the vegetated drainage swale which will reduce flow velocity and capture suspended sediment. A detailed plan view of the drainage swale, including cut and fill limits, is shown on sheet “Plan – Sta CT 207+00 to EOP”.

The underground storm drain system for the development will discharge into the drainage swale system. A detailed diagram showing how Class I riprap will be used to minimize erosion where the storm drain enters the lower velocity swale system is shown on the attached sheet titled “Riprap Details”. The location of the primary riprap apron is shown on sheet “Plan – Sta “CT” 201+00 to Sta “CT” 207+00”.

Another significant feature of the drainage system will be the installation of a fish passage structure. The general location of this partially buried culvert is shown on first attached diagram. Detailed side, plan and cross-sectional views are shown on sheets “Fish Passage Plan and Profile” and “Fish Passage Details”. This structure has been designed to allow salmon to spawn while minimizing sediment entering the stream.

The final attached sheet indicates measures to be taken during construction to minimize sedimentation during construction. The general location of where these items will be installed is indicated on the first sheet but additional measures will be installed during construction depending on site specific conditions.

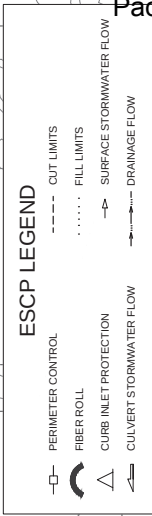
Attachments:

Erosion and Sediment Control Plan Details



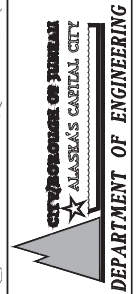
NOTES:

1. SEE THE ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION (ADEC) STORM WATER WEAPAGE PERMIT (SWPP) FOR THE PROJECT. THE SWPP IS THE PRIMARY DOCUMENT FOR THE PROJECT. THE SWPP WILL RESULT IN A GROUND DISTURBANCE GREATER THAN ONE ACRE AND HAS THE POTENTIAL TO DISCHARGE STORM WATER TO WATERS OF THE U.S. THE CONTRACTOR WILL BE REQUIRED TO PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND FILE A NOTICE OF INTENT TO DISCHARGE (NOI) TO APPLY FOR COVERAGE UNDER THE ALASKA POLLUTANT DISCHARGE ELIMINATION SYSTEM (APDES) CONSTRUCTION GENERAL PERMIT (CGP).
2. THIS SHEET CONTAINS A PLAN VIEW OF THE PEDERSON HILL SUBDIVISION AND ITS PROPOSED STORM DRAIN SYSTEM, INCLUDING ALL STORM DRAIN INLETS, MANHOLES, PIPED SECTIONS, AND OUTFALLS. THE SWPPP PREPARED BY THE CONTRACTOR SHALL BE USED TO CONSTRUCT AND MAINTAIN THE STORM DRAIN SYSTEM. ANY AND ALL POLUTANTS FROM ENTERING THE PIPED SYSTEM DURING CONSTRUCTION AND DISCHARGE TO ANY WATERS OF THE U.S. AT A MINIMUM, INLET PROTECTION SHALL BE PROVIDED AT ALL INLETS WITHIN AND IMMEDIATELY ADJACENT TO THE PROJECT LIMITS. OUTLET PROTECTION MAY ALSO BE NEEDED AT OUTFALL LOCATIONS TO CONTROL EROSION. SPECIFIC CONTROL DEVICES AND LOCATIONS SHALL BE SELECTED BY THE SWPPP PREPARED BY THE CONTRACTOR.
3. STREET SURFACES ADJACENT TO THE WORK AREA SHALL BE SWEEPED DAILY TO COLLECT ANY SEDIMENT OR OTHER CONSTRUCTION DEBRIS TRACKED OFFSITE.



100% CHECK SET

PEDERSON HILL
SUBDIVISION DESIGN
CONTRACT NO. BE18-025

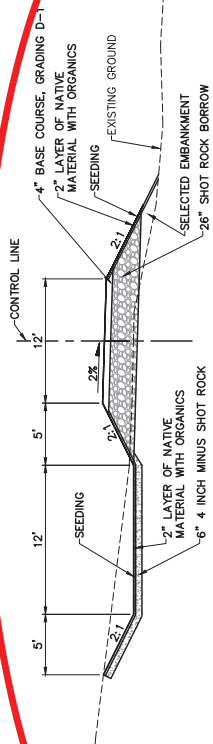
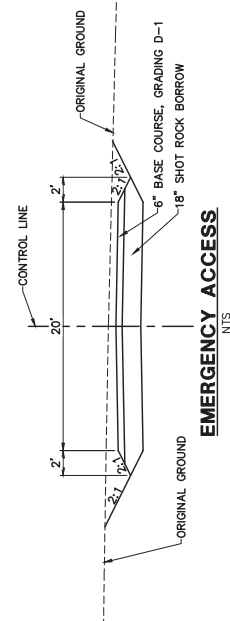
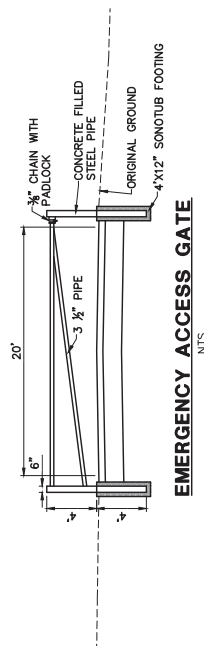
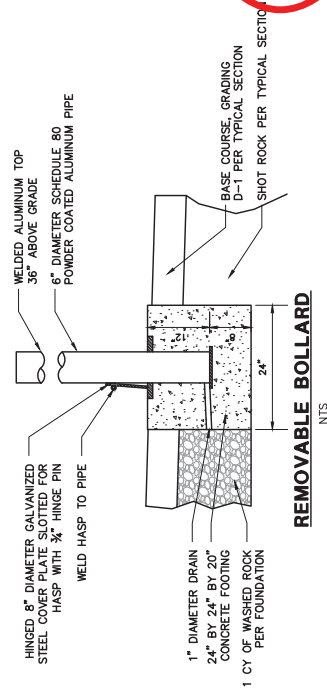
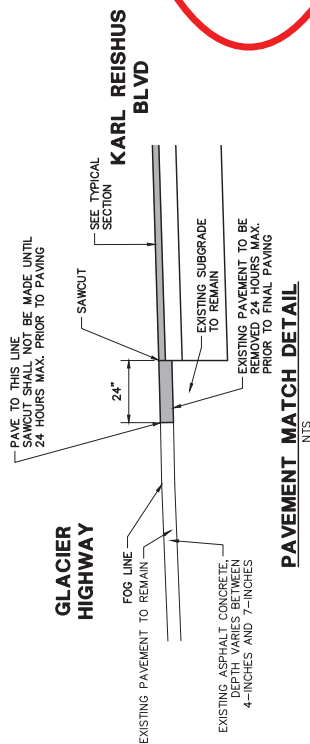


5368 COMMERCIAL BOULEVARD
JUNEAU, ALASKA 99801
907-780-3533
AC1248



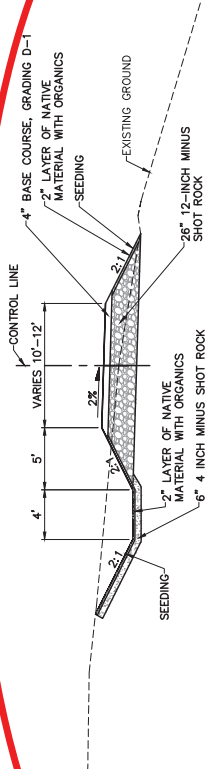
Consulting Engineers • Land Surveyors • Construction Administration
JOB NO. J0687.01 DRAWN BY: STMF DESIGNED BY: STMF CHECKED BY: STMF DATE: JULY 2017





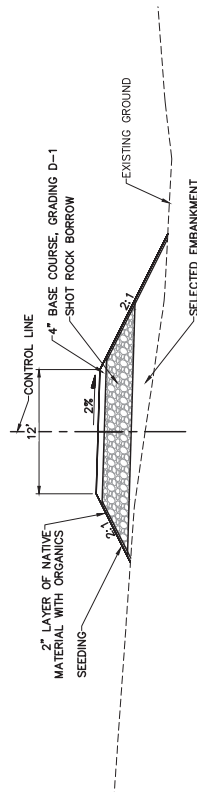
**EQUESTRIAN TRAIL WITH BIOSWALE
STA "E" 203+66 TO STA "E" 206+85**

NTS



**EQUESTRIAN TRAIL WITH DITCH
STA "E" 206+85 TO STA "E" 217+00**

NTS



**EQUESTRIAN TRAIL
STA "E" 200+90 TO STA "E" 203+66**

NTS



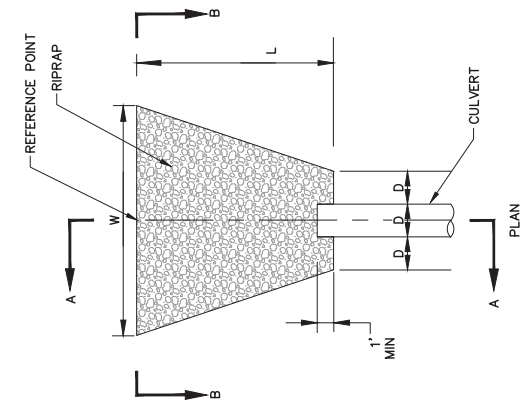
DOWL
5368 COMMERCIAL BOULEVARD
JUNEAU, ALASKA 99801
907-780-3533
ACELE48
Consulting Engineers • Land Surveyors • Construction Administration
JOB No. J10687.01 | DRAWN BY: STMF | DESIGNED BY: STMF | CHECKED BY: STMF | DATE: JULY 2017



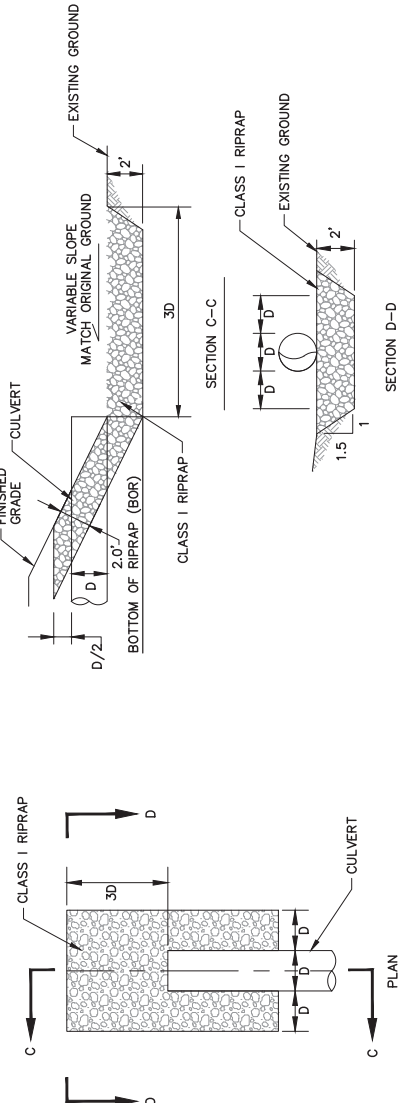
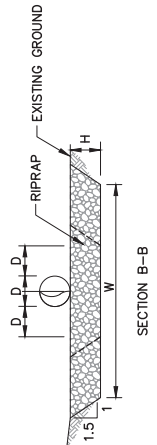
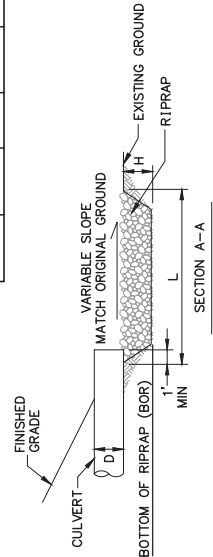
100% CHECK SET
PEDERSON HILL
SUBDIVISION DESIGN
CONTRACT No. BE18-025

**TYPICAL SECTIONS AND
MISCELLANEOUS DETAILS**

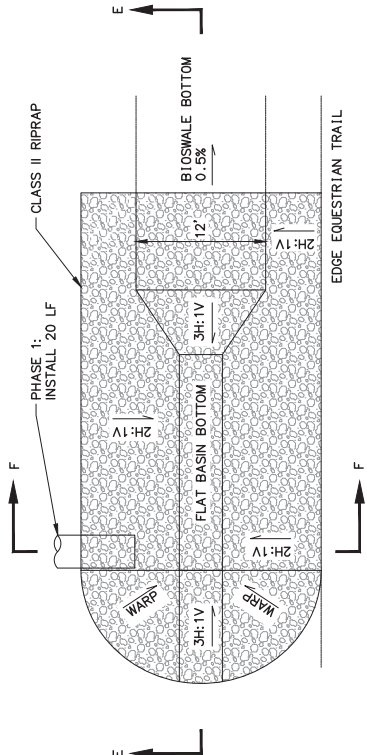
OUTLET APRON SUMMARY					
PIPE ID	RIPRAP CLASS	D (IN)	L (FT)	W (FT)	H (FT)
SD-1	I	36.0	12.0	14.0	2.0
SD-4	I	24.0	12.0	14.0	2.0
SD-86	I	18.0	9.0	10.0	2.0
SD-87	I	12.0	9.0	8.0	2.0
SD-88	I	12.0	9.0	8.0	2.0



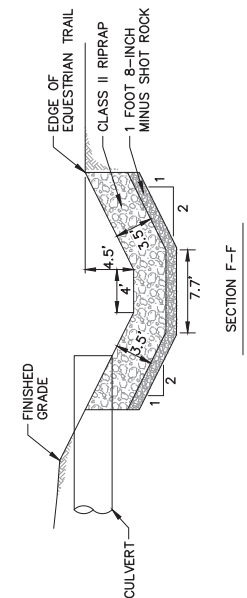
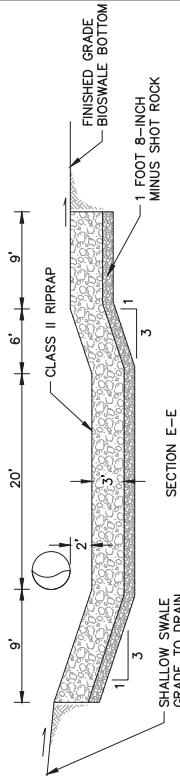
OUTLET RIPRAP APRON
N.T.S.



INLET RIPRAP APRON
N.T.S.



STORM DRAIN OUTLET TO BIOSWALE
N.T.S.





DOWL
Consulting Engineers • Land Surveyors • Construction Administration

5368 COMMERCIAL BOULEVARD
JUNEAU, ALASKA 99801
907-780-3533
ACE1248

JOB No. J70687.01 | DRAWN BY: STMF | DESIGNED BY: STMF | CHECKED BY: STMF | DATE: JULY 2017

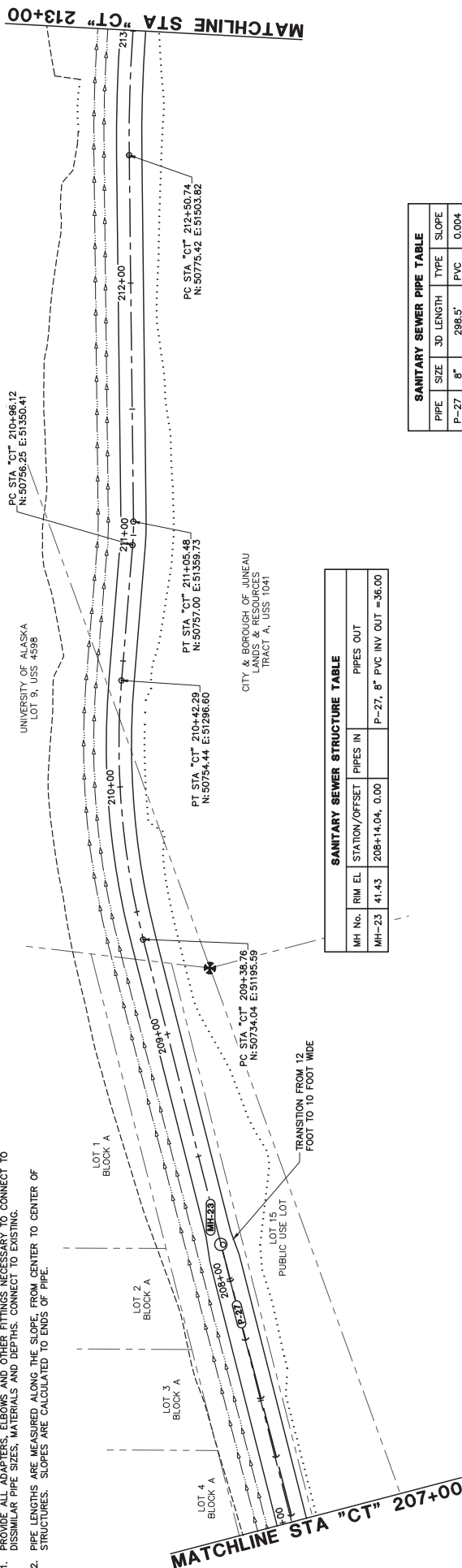


100% CHECK SET
PEDERSON HILL
SUBDIVISION DESIGN
CONTRACT No. BE18-025

RIPRAP DETAILS

NOTES

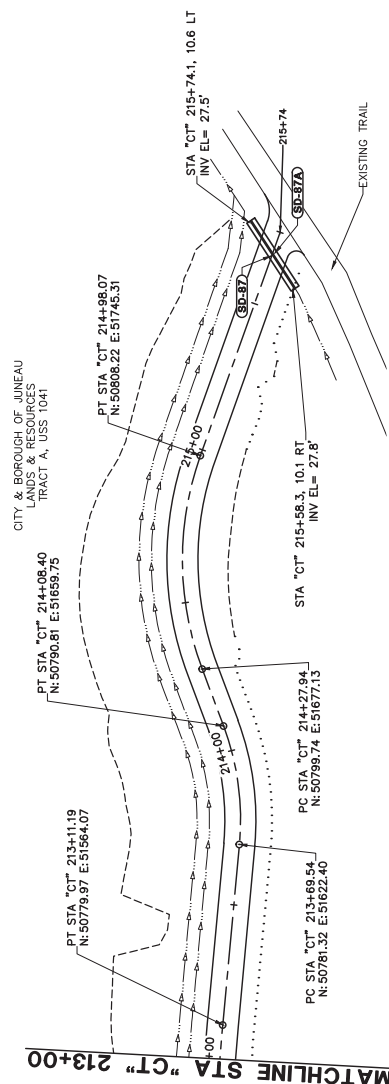
1. PROVIDE ALL ADAPTERS, ELBOWS AND OTHER FITTINGS NECESSARY TO CONNECT TO DISSIMILAR PIPE SIZES, MATERIALS AND DEPTHS. CONNECT TO EXISTING.
2. PIPE LENGTHS ARE MEASURED ALONG THE SLOPE, FROM CENTER TO CENTER OF STRUCTURES. SLOPES ARE CALCULATED TO ENDS OF PIPE.



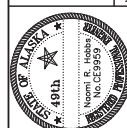
SANITARY SEWER STRUCTURE TABLE				
MH No.	R/W EL	STATION/OFFSET	PIPES IN	PIPES OUT
MH-23	41.43	208+14.04	0.00	P-27, 8" PVC INV OUT =36.00

SANITARY SEWER PIPE TABLE				
PIPE	SIZE	3D LENGTH	TYPE	SLOPE
P-27	8"	298.5'	PVC	0.004

Drainage Swale Plan View Detail



STORM DRAIN PIPE TABLE				
PIPE	SIZE	3D LENGTH	TYPE	SLOPE
SD-87	12"	26.1'	CPP	0.011
SD-87A	12"	26.1'	CPP	0.011



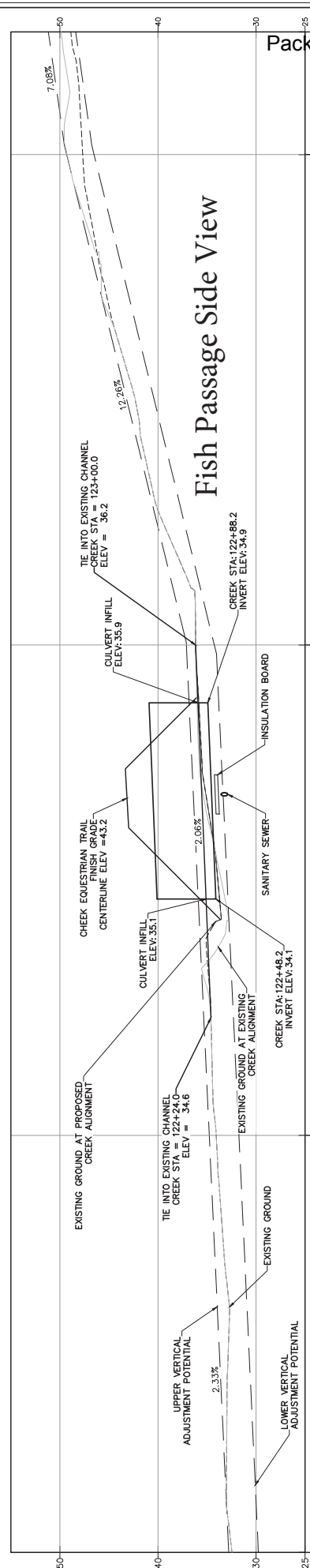
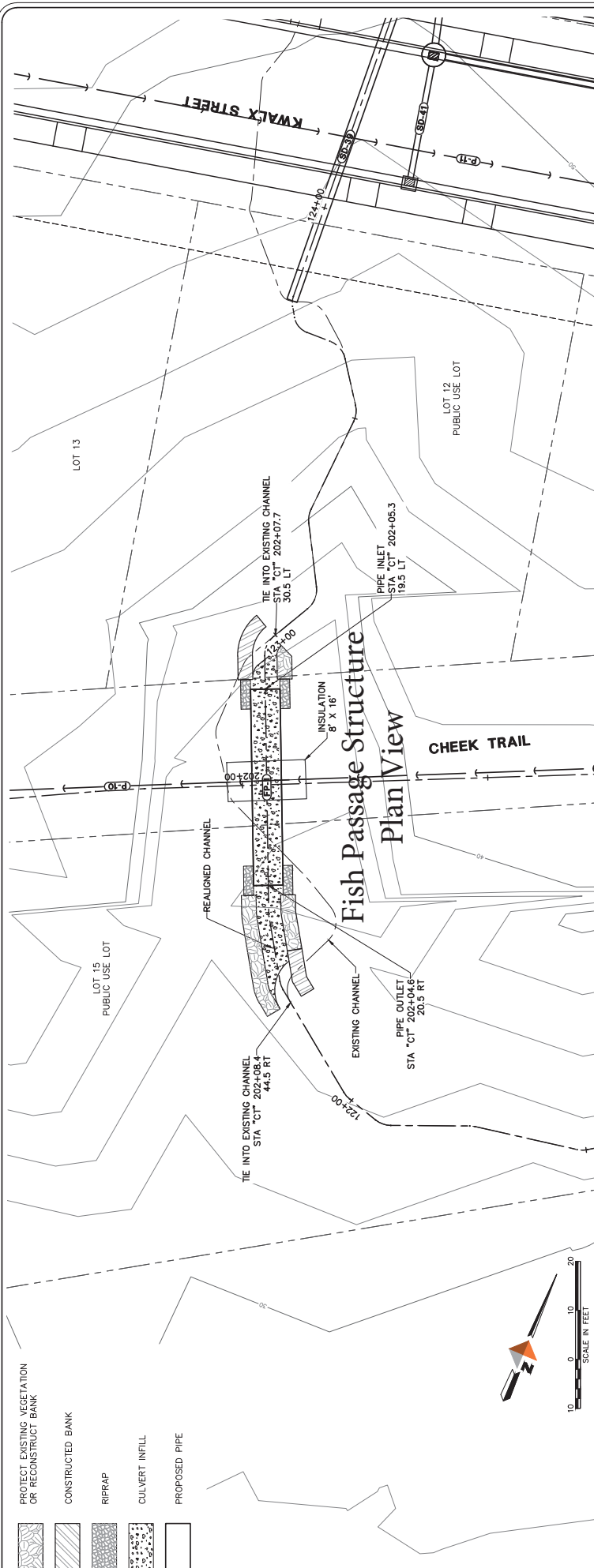
DOWL
Consulting Engineers • Land Surveyors • Construction Administration
5368 COMMERCIAL BOULEVARD
JUNEAU, ALASKA 99801
907-780-3533
ACE1248
JOB No. J0887.01 | DRAWN BY: STMF | DESIGNED BY: STMF | CHECKED BY: STMF | DATE: JULY 2017



100% CHECK SET
PEDERSON HILL
SUBDIVISION DESIGN
CONTRACT No. BE18-025

PLAN -
STA "CT" 207+00 TO EOP

15
674



DOWL Consulting Engineers • Land Surveyors • Construction Administration 5368 COMMERCIAL BOULEVARD JUNEAU, ALASKA 99801 907-780-3533 ACE1248 JOB No. J10687.01 DRAWN BY: STMF DESIGNED BY: STMF CHECKED BY: STMF DATE: JULY 2017		CITY OF JUNEAU ALASKA'S CAPITAL CITY DEPARTMENT OF ENGINEERING	100% CHECK SET PEDERSON HILL SUBDIVISION DESIGN CONTRACT NO. BE18-025	FISH PASSAGE PLAN AND PROFILE
--	--	--	--	--



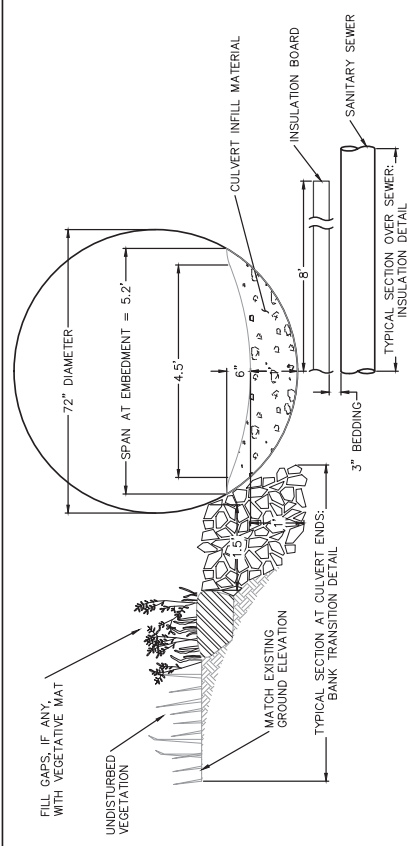


FIGURE 1
CULVERT TYPICAL SECTION

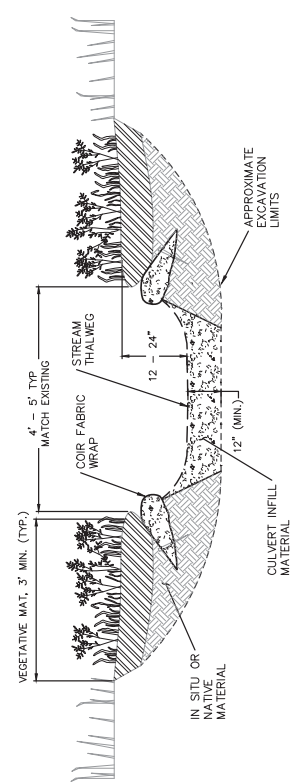


FIGURE 2
STREAM TYPICAL SECTION WITH CONSTRUCTED BANKS

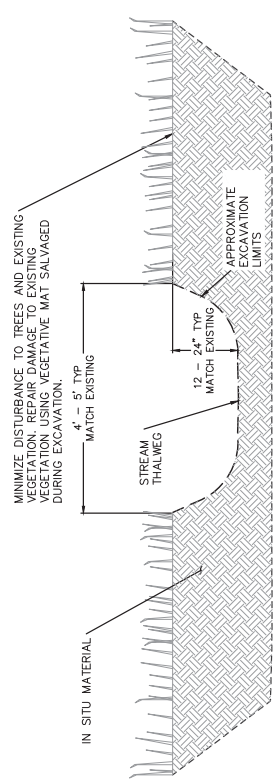


FIGURE 3
STREAM TYPICAL SECTION WITH PROTECTED EXISTING VEGETATION

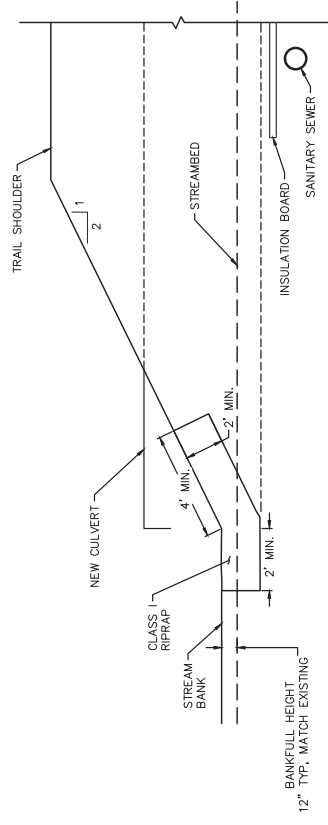


FIGURE 4
INLET AND OUTLET SLOPE PROTECTION

- INSULATION NOTES:**
1. PROVIDE 4" THICK INSULATION, MIN 50 PSI AND MIN R=5 PER INCH FOR A TOTAL MIN R=20.
 2. STAGGER TWO LAYERS OF 2" THICK INSULATION SO THAT THE JOINTS ARE NOT ON THE SAME VERTICAL PLANE.
- CULVERT JOINTS:**
1. CULVERT JOINTS SHOULD NOT LEAK.
 2. BACKFILL SHALL BE PLACED AND COMPACTED WITH CARE AND SHALL BE BROUGHT UP EVENLY AND SIMULTANEOUSLY ON BOTH SIDES OF PIPE.
 3. CULVERT INFILL MATERIAL SHALL BE INSTALLED IN PIPE ACCORDING TO PLANS. MANUAL INSTALLATION IS REQUIRED.
- CULVERT INFILL NOTES:**
1. CULVERT INFILL MATERIAL MAY BE PREPARED BY MIXING EQUAL PARTS BY VOLUME:
 - UNCLASSIFIED MATERIAL RICH IN FINES OR USABLE EXCAVATION
 - CLASS 1 RIPRAP
 2. SALVAGED STREAMBED MATERIAL MAY BE ADDED AT ANY RATIO.
 3. CONSTRUCT CHANNEL BED LEAVING A ROUGH, UNEVEN SURFACE.
 4. CONSTRUCT CHANNEL BED LEAVING A ROUGH, UNEVEN SURFACE WITH A DEPRESSION IN THE MIDDLE FOR LOW FLOW.
- CHANNEL NOTES:**
1. ALL VEGETATION IN THE AREAS SHOWN OR AS DIRECTED BY ENGINEER, SHALL BE PRESERVED AND PROTECTED BY THE CONTRACTOR.
 2. THE CONSTRUCTED STREAMBANKS AT THE LOCATIONS SHOWN OR AS DIRECTED BY ENGINEER, SHALL BE PRESERVED AND PROTECTED BY THE CONTRACTOR.
 3. SALVAGE VEGETATIVE MAT WITH A MINIMUM THICKNESS OF 12 INCHES FROM THE DISTURBANCE AREA OR THE LOCAL AREA.
 4. IF LOSS OF TOPSOIL DURING HANDLING AND STOCKPILING REDUCES MAT THICKNESS TO LESS THAN 12 INCHES, PLACE VEGETATIVE MATS TOGETHER TO MINIMIZE GAPS BETWEEN PIECES OF MAT.
 5. PLACE VEGETATIVE MATS TIGHTLY TOGETHER TO MINIMIZE GAPS BETWEEN PIECES OF MAT.
 6. FILL SURFACE VOIDS IN RIPRAP SLOPE PROTECTION WITH UNCLASSIFIED FILL THEN SEED.
- MEASUREMENT AND PAYMENT:**
- STREAM DIVERSION, EXCAVATION, DOWELING, AND CULVERT INFILL ARE SUBSIDIARY TO PIPE.

CULVERT SUMMARY SCHEDULE		
SIZE	72" ROUND	
LENGTH	40'	
CORRUPTION	3" x 1"	
MATERIAL	ALUMINUM	
LOADING	HL-93	

ESTIMATE OF QUANTITIES SUBSIDIARY TO PIPE		
ITEM DESCRIPTION	QUANTITY	UNIT
EXCAVATION	40	CUBIC YARDS
PIPE BEDDING	20	CUBIC YARDS
CULVERT INFILL MATERIAL	11	CUBIC YARDS
BANK CONSTRUCTION	25	LINEAR FEET
RIPRAP	3.5	CUBIC YARDS
TOPSOIL AND SEED	39	SQUARE YARDS
DIVERSION AND DOWELING	ALL REQUIRED	ALL REQUIRED



5368 COMMERCIAL BOULEVARD
JUNEAU, ALASKA 99801
907-780-3533
ACEL048

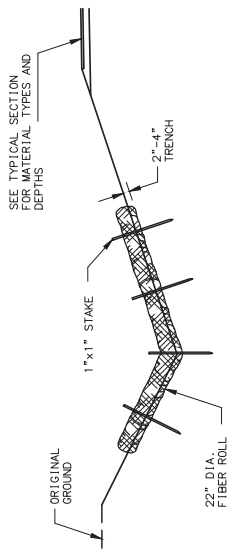
DOWL
Consulting Engineers • Land Surveyors • Construction Administration

JOB NO. J10687.01 | DRAWN BY: STMF | DESIGNED BY: STMF | CHECKED BY: STMF | DATE: JULY 2017

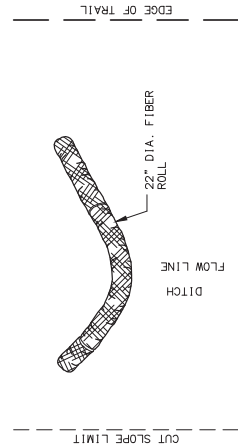


100% CHECK SET
PEDERSON HILL
SUBDIVISION DESIGN
CONTRACT NO. BE18-025

FISH PASSAGE
DETAILS



ELEVATION VIEW



PLAN VIEW

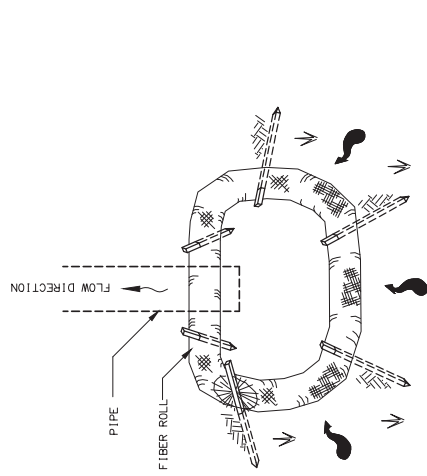
FIBER ROLL CHECK DAM

NOTES:

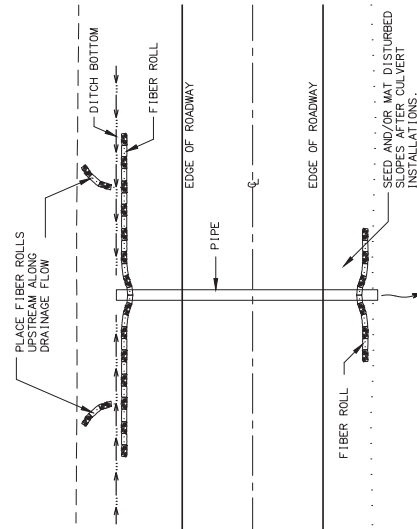
1. FIBER ROLL CHECK DAMS SHALL BE CONSTRUCTED AT LOCATIONS AS INDICATED OR AS DIRECTED BY THE ENGINEER IMMEDIATELY AFTER THE DITCH FLOW LINE HAS BEEN ESTABLISHED.
2. GRADE CHECK DAMS ON 100 FOOT CENTERS FOR GRADES BETWEEN 2% AND 3%. GRADE CHECK DAMS FOR STEEPER GRADES UP TO 6% AS DIRECTED BY THE ENGINEER.
3. FIBER ROLL INSTALLATION FOR CHECK DAMS REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH 2'-4" DEEP. RUNOFF MUST NOT BE ALLOWED TO FLOW UNDER THE ROLL.

FIBER ROLL REMOVAL NOTES:

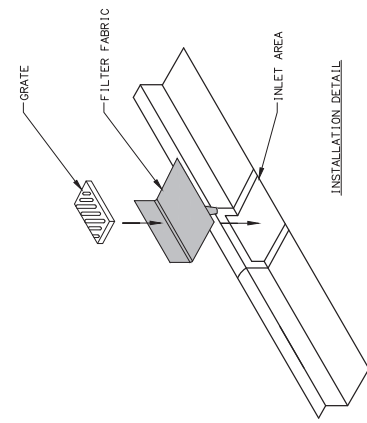
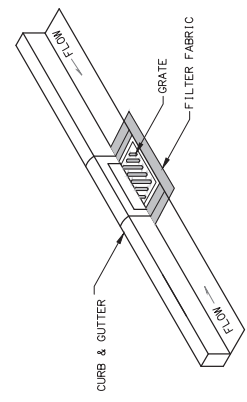
1. EXCEPT AS NOTED BELOW, FIBER ROLL INSTALLATIONS ON HIGH CUT OR FILL SLOPES FOR SLOPE STABILIZATION ARE CONSIDERED PERMANENT. ALL OTHER FIBER ROLL INSTALLATIONS ARE TEMPORARY AND SHALL BE REMOVED PRIOR TO FINAL STABILIZATION, UNLESS APPROVED OTHERWISE BY THE ENGINEER.
 - (A) PERMANENT FIBER ROLL INSTALLATIONS SHALL HAVE THE STAKES REMOVED AND THE FIBER ROLL LEFT IN PLACE FOLLOWING FINAL STABILIZATION.
 - (B) TEMPORARY FIBER ROLL INSTALLATIONS SHALL BE REMOVED WHEN DIRECTED BY REMOVING THE STAKES, CUTTING OPEN AND REMOVING THE NETTING, AND SPREADING THE CONTENTS UPON THE SLOPE.
2. FOR FIBER ROLLS WITH UV-DEGRADABLE PLASTIC NETTING LOCATED WITHIN 50 FEET OF A WATERBODY, REMOVE THE STAKES AND NETTING AND SPREAD THE FIBER ROLL CONTENTS UPON THE SLOPE WHEN DIRECTED BY THE ENGINEER.
3. REPAIR ANY DAMAGE TO PERMANENT VEGETATION RESULTING FROM FIBER ROLL REMOVAL ACTIVITIES.



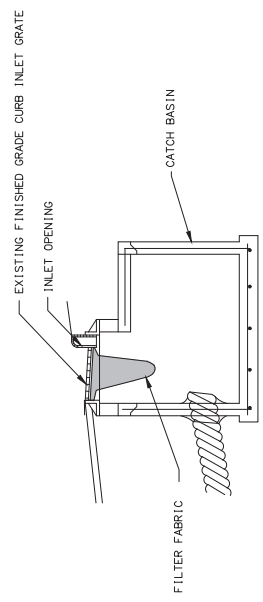
TEMPORARY INLET SEDIMENT TRAP



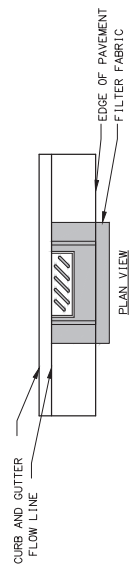
FIBER ROLL DETAIL



INSTALLATION DETAIL

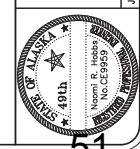


SECTION



CURB INLET PROTECTION

OR APPROVED EQUAL BMP



DOWL
Consulting Engineers • Land Surveyors • Construction Administration

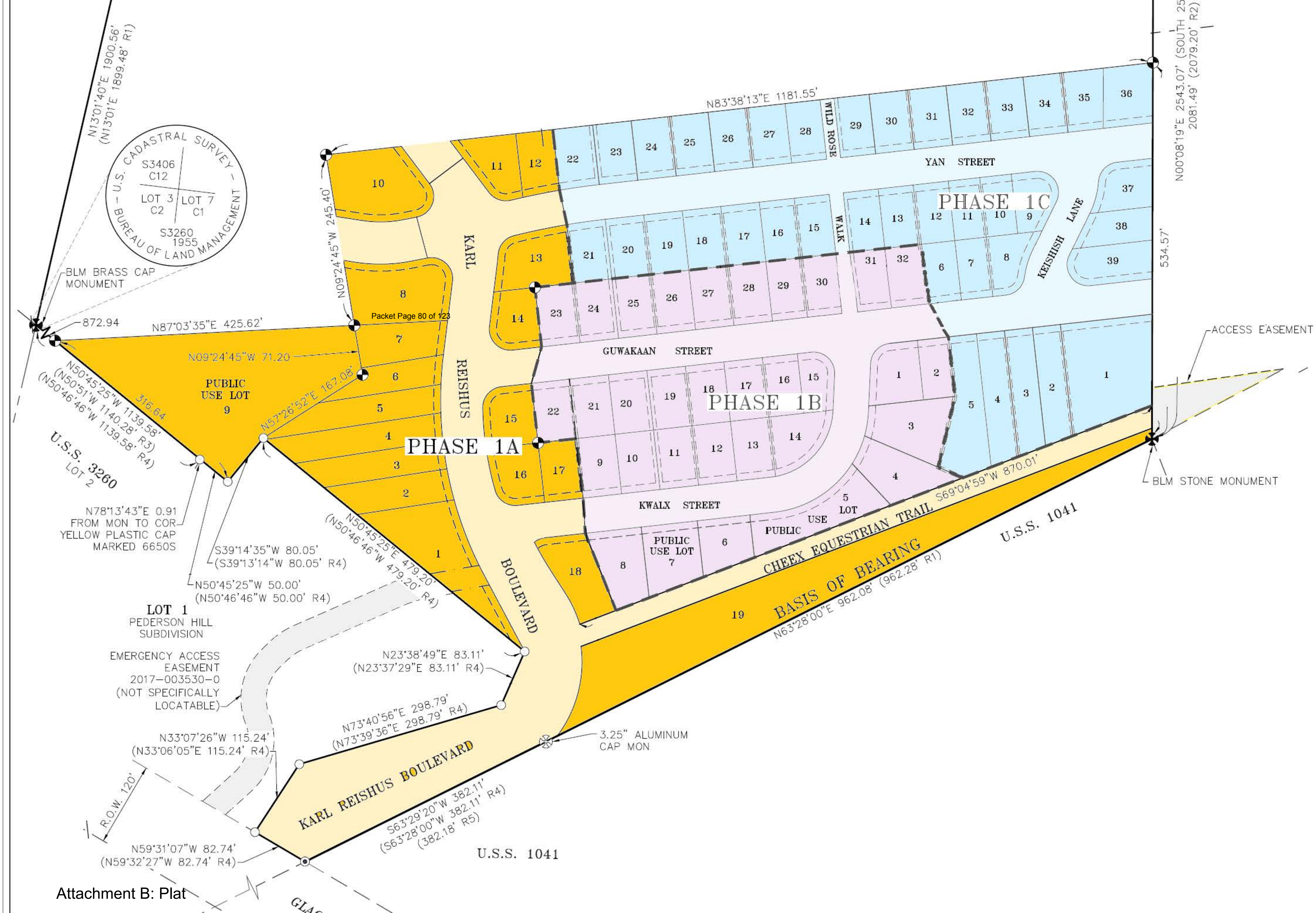
5368 COMMERCIAL BOULEVARD
JUNEAU, ALASKA 99801
907-780-3533
ACELE48

JOB No. J70687-01 | DRAWN BY: STMF | DESIGNED BY: STMF | CHECKED BY: STMF | DATE: JULY 2017



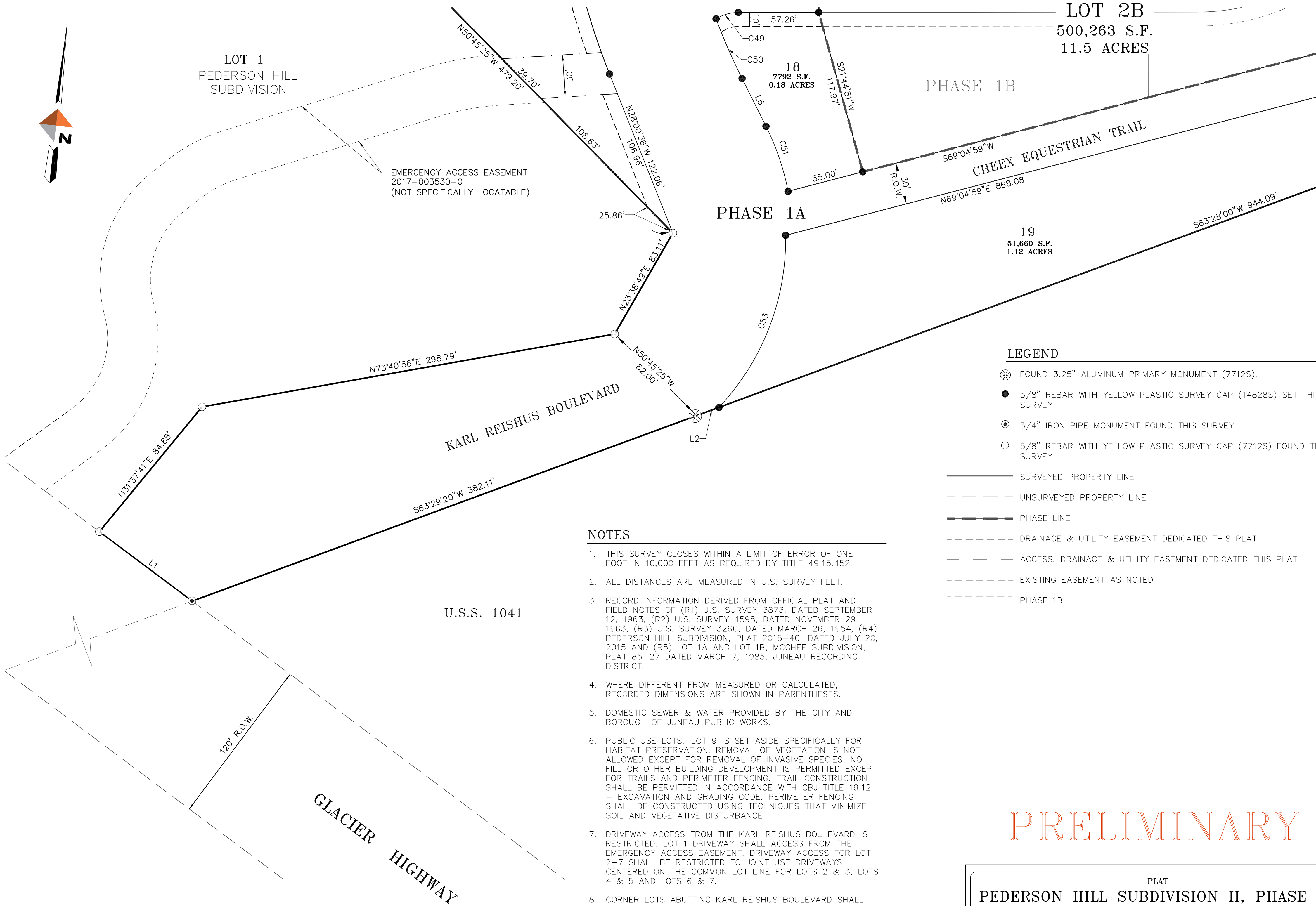
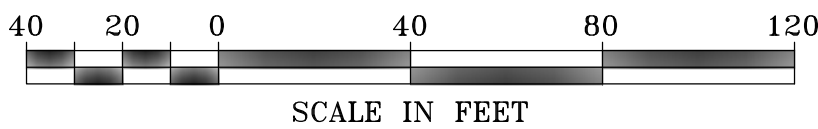
100% CHECK SET
PEDERSON HILL
SUBDIVISION DESIGN
CONTRACT No. BE18-025

EROSION AND SEDIMENT CONTROL PLAN



LINE TABLE	
LINE No.	BEARING & DISTANCE
L1	S59°31'07"E 82.74
L2	N63°28'00"W 17.98
L3	NOT USED
L4	NOT USED
L5	S32°53'18"E 38.10
L6	NOT USED
L7	N78°55'35"E 23.23
L8	S81°15'19"E 17.41
L9	S81°15'19"E 37.09
L10	N78°55'35"E 19.27
L11	N14°51'07"W 60.13
L12	N52°53'53"E 60.00

CURVE TABLE				
CURVE No.	RADIUS	DELTA	LENGTH	CHORD BEARING & DISTANCE
C1				NOT USED
C2	530.00	35°04'03"	324.38	N10°28'34"W 319.34
C3	30.00	108°07'52"	56.62	N47°00'29"W 48.58
C4	230.00	19°49'06"	79.56	S88°50'08"W 79.16
C5	170.00	19°49'06"	58.80	N88°50'08"E 58.51
C6	30.00	116°01'42"	60.75	N20°54'44"E 50.89
C7	30.00	66°29'31"	34.82	N70°20'52"W 32.89
C8	1025.00	07°13'51"	129.36	S80°01'18"W 129.27
C9				NOT USED
C10				NOT USED
C11	975.00	07°40'04"	130.48	N79°48'11"E 130.39
C12	30.00	72°29'37"	37.96	N39°43'20"E 35.48
C13	180.00	03°34'56"	11.25	N05°16'00"E 11.25
C14	30.00	103°25'14"	54.15	N44°39'10"W 47.09
C15				NOT USED
C16				NOT USED
C17				NOT USED
C18				NOT USED
C19				NOT USED
C20				NOT USED
C21	30.00	85°00'02"	44.51	N41°08'12"E 40.54
C22	470.00	14°22'19"	117.89	N08°32'58"W 117.59
C23	30.00	80°37'39"	42.22	N56°02'57"W 38.82
C24				NOT USED
C25				NOT USED
C26				NOT USED
C27				NOT USED
C28				NOT USED
C29				NOT USED
C30				NOT USED
C31	530.00	12°33'27"	116.16	N21°43'52"W 115.93
C32	530.00	04°52'49"	45.15	S13°00'45"E 45.13
C33	530.00	04°19'31"	40.01	N08°24'34"W 40.00
C34	530.00	04°20'21"	40.14	S04°04'38"E 40.13
C35	530.00	04°22'42"	40.50	S00°16'53"W 40.49
C36	530.00	04°35'14"	42.43	S04°45'51"W 42.42
C37	1025.00	00°58'38"	17.48	N76°53'42"E 17.48
C38	1025.00	02°58'04"	53.09	S78°52'03"W 53.08
C39				NOT USED
C40				NOT USED
C41				NOT USED
C42	975.00	04°30'28"	76.71	N78°13'23"E 76.69
C43	470.00	07°01'49"	57.67	N04°52'43"W 57.63
C44	470.00	07°20'30"	60.22	S12°03'53"E 60.18
C45				NOT USED
C46				NOT USED
C47				NOT USED
C48				NOT USED
C49	30.00	32°03'27"	16.79	N67°36'30"E 16.57
C50	445.00	05°58'19"	46.38	N29°54'08"W 46.36
C51	180.00	15°38'23"	49.13	N25°04'07"W 49.98
C52				NOT USED
C53	175.00	44°10'12"	134.91	S14°53'30"W 131.59



NOTES

- THIS SURVEY CLOSES WITHIN A LIMIT OF ERROR OF ONE FOOT IN 10,000 FEET AS REQUIRED BY TITLE 49.15.452.
- ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
- RECORD INFORMATION DERIVED FROM OFFICIAL PLAT AND FIELD NOTES OF (R1) U.S. SURVEY 3873, DATED SEPTEMBER 12, 1963, (R2) U.S. SURVEY 4598, DATED NOVEMBER 29, 1963, (R3) U.S. SURVEY 3260, DATED MARCH 26, 1954, (R4) PEDERSON HILL SUBDIVISION, PLAT 2015-40, DATED JULY 20, 2015 AND (R5) LOT 1A AND LOT 1B, MCGHEE SUBDIVISION, PLAT 85-27 DATED MARCH 7, 1985, JUNEAU RECORDING DISTRICT.
- WHERE DIFFERENT FROM MEASURED OR CALCULATED, RECORDED DIMENSIONS ARE SHOWN IN PARENTHESES.
- DOMESTIC SEWER & WATER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC WORKS.
- PUBLIC USE LOTS: LOT 9 IS SET ASIDE SPECIFICALLY FOR HABITAT PRESERVATION. REMOVAL OF VEGETATION IS NOT ALLOWED EXCEPT FOR REMOVAL OF INVASIVE SPECIES. NO FILL OR OTHER BUILDING DEVELOPMENT IS PERMITTED EXCEPT FOR TRAILS AND PERIMETER FENCING. TRAIL CONSTRUCTION SHALL BE PERMITTED IN ACCORDANCE WITH CBJ TITLE 19.12 - EXCAVATION AND GRADING CODE. PERIMETER FENCING SHALL BE CONSTRUCTED USING TECHNIQUES THAT MINIMIZE SOIL AND VEGETATIVE DISTURBANCE.
- DRIVEWAY ACCESS FROM THE KARL REISHUS BOULEVARD IS RESTRICTED. LOT 1 DRIVEWAY SHALL ACCESS FROM THE EMERGENCY ACCESS EASEMENT. DRIVEWAY ACCESS FOR LOT 2-7 SHALL BE RESTRICTED TO JOINT USE DRIVEWAYS CENTERED ON THE COMMON LOT LINE FOR LOTS 2 & 3, LOTS 4 & 5 AND LOTS 6 & 7.
- CORNER LOTS ABUTTING KARL REISHUS BOULEVARD SHALL HAVE DRIVEWAYS LIMITED TO ACCESSING A STREET OTHER THAN KARL REISHUS BOULEVARD.
- WETLANDS EXIST THROUGHOUT THIS SUBDIVISION. APPROVAL TO IMPACT THESE WETLANDS HAS BEEN GIVEN BY THE U.S. ARMY CORPS OF ENGINEERS (COE). CONSULT COE FOR MORE INFORMATION.

SURVEYOR'S CERTIFICATE

I, HANS E. PEDERSEN, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.



DATED: OCTOBER 2017

PRELIMINARY

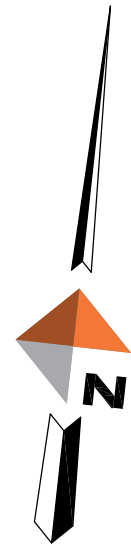
PLAT
PEDERSON HILL SUBDIVISION II, PHASE 1A
A SUBDIVISION OF
LOT 2, PEDERSON HILL SUBDIVISION
US SURVEY No. 3873
CITY & BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT
STATE RECORDER'S OFFICE AT JUNEAU

DOWL
AECL848
CIVIL ENGINEERING-LAND SURVEYING-CONSTRUCTION MANAGEMENT
5368 COMMERCIAL BOULEVARD
JUNEAU ALASKA 99801 907-780-3533

OWNER
CITY AND BOROUGH OF JUNEAU
155 SOUTH SEWARD STREET
JUNEAU, ALASKA 99801

SCALE: 1"= 40'
DATE: OCT. 2017
PROJECT NO: J70687
FILE NO:
SHEET NO: 2 OF 4

LINE TABLE	
LINE No.	BEARING & DISTANCE
L1	S59°31'07"E 82.74
L2	N63°28'00"W 17.98
L3	NOT USED
L4	NOT USED
L5	S32°53'18"E 38.10
L6	NOT USED
L7	N78°55'35"E 23.23
L8	S81°15'19"E 17.41
L9	S81°15'19"E 37.09
L10	N78°55'35"E 19.27
L11	N14°51'07"W 60.13
L12	N52°53'53"E 60.00



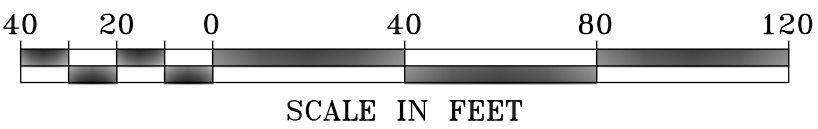
LOT 2A

CURVE TABLE				
CURVE No.	RADIUS	DELTA	LENGTH	CHORD BEARING & DISTANCE
C1			NOT USED	
C2	530.00	35°04'03"	324.38	N10°28'34"W 319.34
C3	30.00	108°07'52"	56.62	N47°00'29"W 48.58
C4	230.00	19°49'06"	79.56	S88°50'08"W 79.16
C5	170.00	19°49'06"	58.80	N88°50'08"E 58.51
C6	30.00	116°01'42"	60.75	N20°54'44"E 50.89
C7	30.00	66°29'31"	34.82	N70°20'52"W 32.89
C8	1025.00	07°13'51"	129.36	S80°01'18"W 129.27
C9			NOT USED	
C10			NOT USED	
C11	975.00	07°40'04"	130.48	N79°48'11"E 130.39
C12	30.00	72°29'37"	37.96	N39°43'20"E 35.48
C13	180.00	03°34'56"	11.25	N05°16'00"E 11.25
C14	30.00	103°25'14"	54.15	N44°39'10"W 47.09
C15			NOT USED	
C16			NOT USED	
C17			NOT USED	
C18			NOT USED	
C19			NOT USED	
C20			NOT USED	
C21	30.00	85°00'02"	44.51	N41°08'12"E 40.54
C22	470.00	14°22'19"	117.89	N08°32'58"W 117.59
C23	30.00	80°37'39"	42.22	N56°02'57"W 38.82
C24			NOT USED	
C25			NOT USED	
C26			NOT USED	
C27			NOT USED	
C28			NOT USED	
C29			NOT USED	
C30			NOT USED	
C31	530.00	12°33'27"	116.16	N21°43'52"W 115.93
C32	530.00	04°52'49"	45.15	S13°00'45"E 45.13
C33	530.00	04°19'31"	40.01	N08°24'34"W 40.00
C34	530.00	04°20'21"	40.14	S04°04'38"E 40.13
C35	530.00	04°22'42"	40.50	S00°16'53"W 40.49
C36	530.00	04°35'14"	42.43	S04°45'51"W 42.42
C37	1025.00	00°58'38"	17.48	N76°53'42"E 17.48
C38	1025.00	02°58'04"	53.09	S78°52'03"W 53.08
C39			NOT USED	
C40			NOT USED	
C41			NOT USED	
C42	975.00	04°30'28"	76.71	N78°13'23"E 76.69
C43	470.00	07°01'49"	57.67	N04°52'43"W 57.63
C44	470.00	07°20'30"	60.22	S12°03'53"E 60.18
C45			NOT USED	
C46			NOT USED	
C47			NOT USED	
C48			NOT USED	
C49	30.00	32°03'27"	16.79	N67°36'30"E 16.57
C50	445.00	05°58'19"	46.38	N29°54'08"W 46.36
C51	180.00	15°38'23"	49.13	N25°04'07"W 49.98
C52			NOT USED	
C53	175.00	44°10'12"	134.91	S14°53'30"W 131.59

9
PUBLIC
USE LOT
50,770 S.F.
1.17 ACRES

LOT 1
PEDERSON HILL
SUBDIVISION

EMERGENCY ACCESS EASEMENT
2017-003530-0
(NOT SPECIFICALLY LOCATABLE)



PHASE 1A

KARL REISHUS BOULEVARD

PHASE 1B

PHASE 1C

LOT 2B

500,263 S.F.
11.5 ACRES

LEGEND

- 3.25" ALUMINUM PRIMARY MONUMENT (14828S) SET THIS SURVEY.
- 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (14828S) SET THIS SURVEY
- 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (7712S) FOUND THIS SURVEY, UNLESS OTHERWISE NOTED

- SURVEYED PROPERTY LINE
- UNSURVEYED PROPERTY LINE
- PHASE LINE
- DRAINAGE & UTILITY EASEMENT DEDICATED THIS PLAT
- ACCESS, DRAINAGE & UTILITY EASEMENT DEDICATED THIS PLAT
- EXISTING EASEMENT AS NOTED
- PHASE 1B & 1C

NOTES

- THIS SURVEY CLOSSES WITHIN A LIMIT OF ERROR OF ONE FOOT IN 10,000 FEET AS REQUIRED BY TITLE 49.15.452.
- ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
- RECORD INFORMATION DERIVED FROM OFFICIAL PLAT AND FIELD NOTES OF (R1) U.S. SURVEY 3873, DATED SEPTEMBER 12, 1963, (R2) U.S. SURVEY 4598, DATED NOVEMBER 29, 1963, (R3) U.S. SURVEY 3260, DATED MARCH 26, 1954, (R4) PEDERSON HILL SUBDIVISION, PLAT 2015-40, DATED JULY 20, 2015 AND (R5) LOT 1A AND LOT 1B, MCGHEE SUBDIVISION, PLAT 85-27 DATED MARCH 7, 1985, JUNEAU RECORDING DISTRICT.
- WHERE DIFFERENT FROM MEASURED OR CALCULATED, RECORDED DIMENSIONS ARE SHOWN IN PARENTHESES.
- DOMESTIC SEWER & WATER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC WORKS.
- PUBLIC USE LOTS: LOT 9 IS SET ASIDE SPECIFICALLY FOR HABITAT PRESERVATION. REMOVAL OF VEGETATION IS NOT ALLOWED EXCEPT FOR REMOVAL OF INVASIVE SPECIES. NO FILL OR OTHER BUILDING DEVELOPMENT IS PERMITTED EXCEPT FOR TRAILS AND PERIMETER FENCING. TRAIL CONSTRUCTION SHALL BE PERMITTED IN ACCORDANCE WITH CBJ TITLE 19.12 - EXCAVATION AND GRADING CODE. PERIMETER FENCING SHALL BE CONSTRUCTED USING TECHNIQUES THAT MINIMIZE SOIL AND VEGETATIVE DISTURBANCE.
- DRIVEWAY ACCESS FROM THE KARL REISHUS BOULEVARD IS RESTRICTED. LOT 1 DRIVEWAY SHALL ACCESS FROM THE EMERGENCY ACCESS EASEMENT. DRIVEWAY ACCESS FOR LOT 2-7 SHALL BE RESTRICTED TO JOINT USE DRIVEWAYS CENTERED ON THE COMMON LOT LINE FOR LOTS 2 & 3, LOTS 4 & 5 AND LOTS 6 & 7.
- CORNER LOTS ABUTTING KARL REISHUS BOULEVARD SHALL HAVE DRIVEWAYS LIMITED TO ACCESSING A STREET OTHER THAN KARL REISHUS BOULEVARD.
- WETLANDS EXIST THROUGHOUT THIS SUBDIVISION. APPROVAL TO IMPACT THESE WETLANDS HAS BEEN GIVEN BY THE U.S. ARMY CORPS OF ENGINEERS (COE). CONSULT COE FOR MORE INFORMATION.

PRELIMINARY

PLAT
PEDERSON HILL SUBDIVISION II, PHASE 1A
A SUBDIVISION OF
LOT 2, PEDERSON HILL SUBDIVISION
US SURVEY No. 3873
CITY & BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT
STATE RECORDER'S OFFICE AT JUNEAU

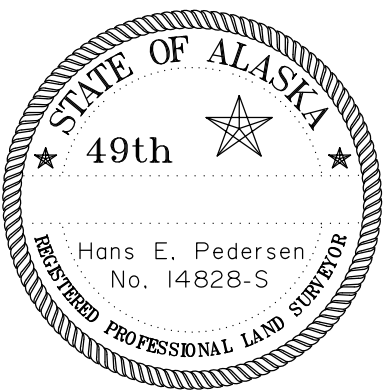
DOWL
AECL848
CIVIL ENGINEERING-LAND SURVEYING-CONSTRUCTION MANAGEMENT
5368 COMMERCIAL BOULEVARD
JUNEAU ALASKA 99801 907-780-3533

OWNER
CITY AND BOROUGH OF JUNEAU
155 SOUTH SEWARD STREET
JUNEAU, ALASKA 99801

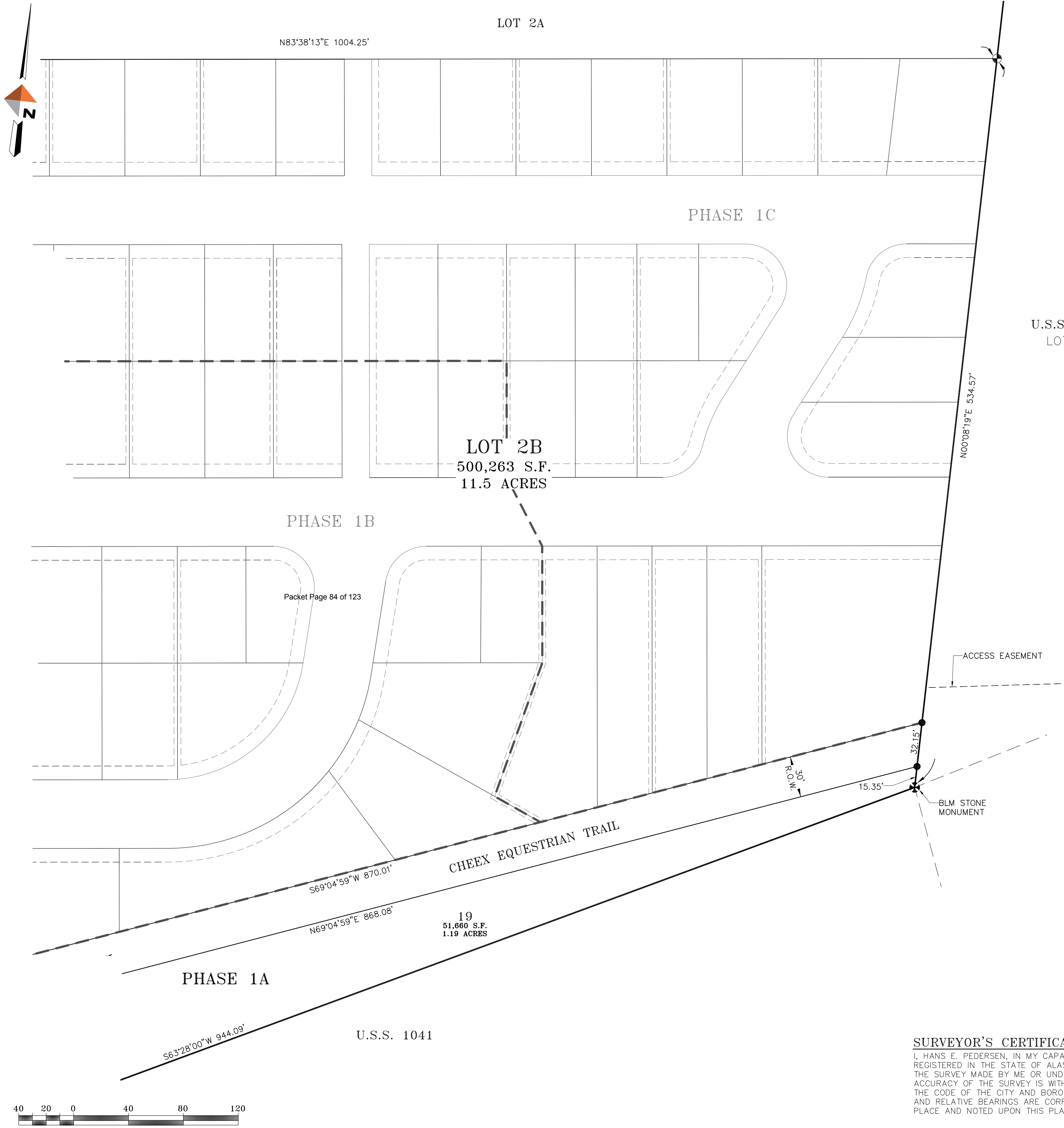
SCALE: 1"= 40'
DATE: OCT. 2017
PROJECT NO: J70687
FILE NO:
SHEET NO: 3 OF 4

SURVEYOR'S CERTIFICATE

I, HANS E. PEDERSEN, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.



DATED: OCTOBER 2017



LEGEND

- ⊗ B.L.M. MONUMENT FOUND THIS SURVEY.
- ⊙ 3.25" ALUMINUM PRIMARY MONUMENT (14828S) SET THIS SURVEY.
- 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (14828S) SET THIS SURVEY
- SURVEYED PROPERTY LINE
- - - - - UNSURVEYED PROPERTY LINE
- - - - - PHASE LINE
- - - - - DRAINAGE & UTILITY EASEMENT DEDICATED THIS PLAT
- - - - - EXISTING EASEMENT AS NOTED
- - - - - PHASE 1B & 1C

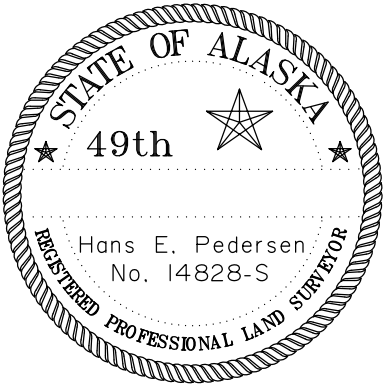
NOTES

- THIS SURVEY CLOSES WITHIN A LIMIT OF ERROR OF ONE FOOT IN 10,000 FEET AS REQUIRED BY TITLE 49.15.452.
- ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
- RECORD INFORMATION DERIVED FROM OFFICIAL PLAT AND FIELD NOTES OF (R1) U.S. SURVEY 3873, DATED SEPTEMBER 12, 1963, (R2) U.S. SURVEY 4598, DATED NOVEMBER 29, 1963, (R3) U.S. SURVEY 3260, DATED MARCH 26, 1954, (R4) PEDERSON HILL SUBDIVISION, PLAT 2015-40, DATED JULY 20, 2015 AND (R5) LOT 1A AND LOT 1B, MCGHEE SUBDIVISION, PLAT 85-27 DATED MARCH 7, 1985, JUNEAU RECORDING DISTRICT.
- WHERE DIFFERENT FROM MEASURED OR CALCULATED, RECORDED DIMENSIONS ARE SHOWN IN PARENTHESES.
- DOMESTIC SEWER & WATER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC WORKS.
- PUBLIC USE LOTS: LOT 9 IS SET ASIDE SPECIFICALLY FOR HABITAT PRESERVATION. REMOVAL OF VEGETATION IS NOT ALLOWED EXCEPT FOR REMOVAL OF INVASIVE SPECIES. NO FILL OR OTHER BUILDING DEVELOPMENT IS PERMITTED EXCEPT FOR TRAILS AND PERIMETER FENCING. TRAIL CONSTRUCTION SHALL BE PERMITTED IN ACCORDANCE WITH CBJ TITLE 19.12 - EXCAVATION AND GRADING CODE. PERIMETER FENCING SHALL BE CONSTRUCTED USING TECHNIQUES THAT MINIMIZE SOIL AND VEGETATIVE DISTURBANCE.
- DRIVEWAY ACCESS FROM THE KARL REISHUS BOULEVARD IS RESTRICTED. LOT 1 DRIVEWAY SHALL ACCESS FROM THE EMERGENCY ACCESS EASEMENT. DRIVEWAY ACCESS FOR LOT 2-7 SHALL BE RESTRICTED TO JOINT USE DRIVEWAYS CENTERED ON THE COMMON LOT LINE FOR LOTS 2 & 3, LOTS 4 & 5 AND LOTS 6 & 7.
- CORNER LOTS ABUTTING KARL REISHUS BOULEVARD SHALL HAVE DRIVEWAYS LIMITED TO ACCESSING A STREET OTHER THAN KARL REISHUS BOULEVARD.
- WETLANDS EXIST THROUGHOUT THIS SUBDIVISION. APPROVAL TO IMPACT THESE WETLANDS HAS BEEN GIVEN BY THE U.S. ARMY CORPS OF ENGINEERS (COE). CONSULT COE FOR MORE INFORMATION.

PRELIMINARY

SURVEYOR'S CERTIFICATE

I, HANS E. PEDERSEN, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.



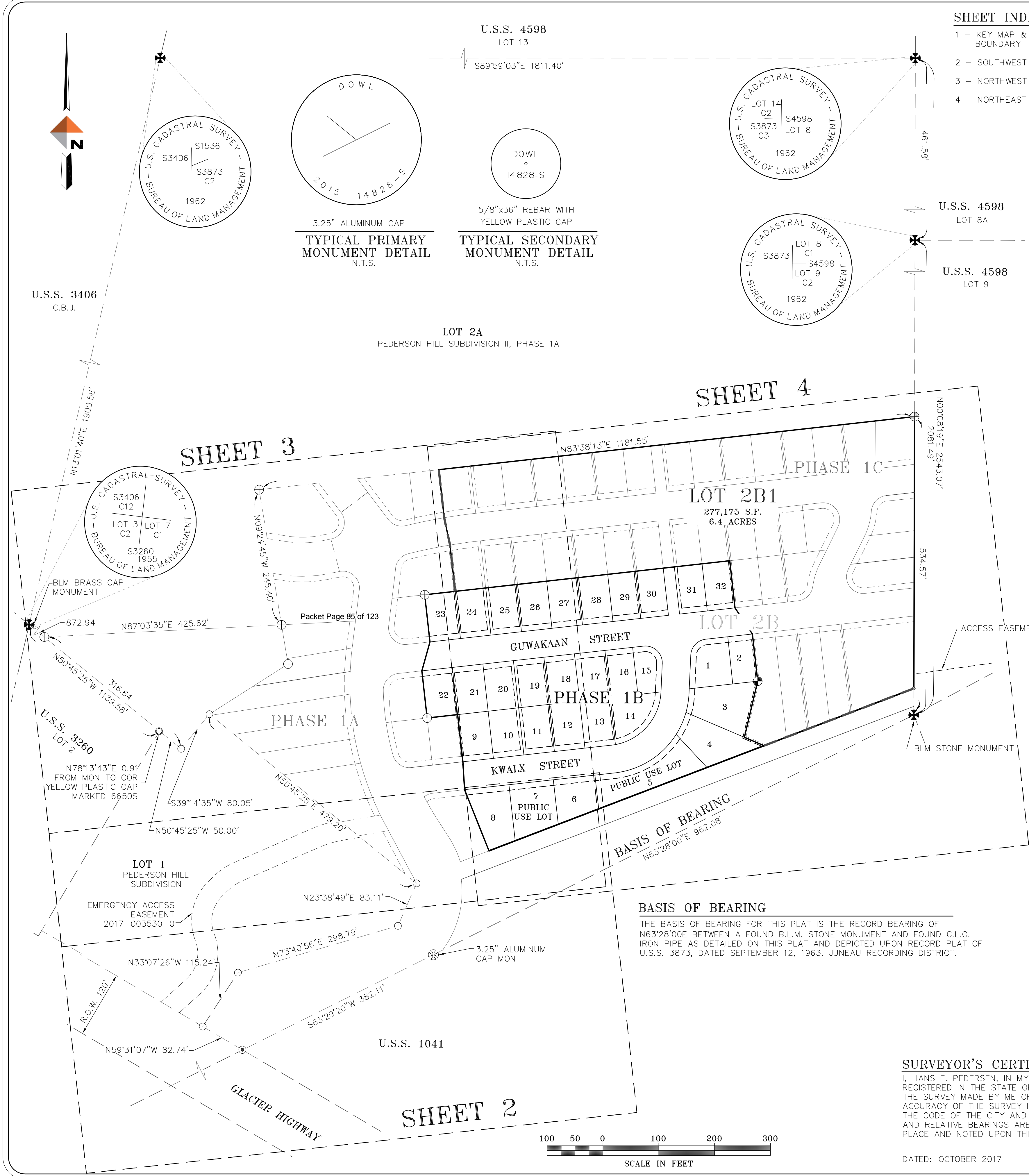
DATED: OCTOBER 2017

PLAT
PEDERSON HILL SUBDIVISION II, PHASE 1A
A SUBDIVISION OF
LOT 2, PEDERSON HILL SUBDIVISION
US SURVEY No. 3873
CITY & BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT
STATE RECORDER'S OFFICE AT JUNEAU

DOWL
AECL848
CIVIL ENGINEERING-LAND SURVEYING-CONSTRUCTION MANAGEMENT
5368 COMMERCIAL BOULEVARD
JUNEAU ALASKA 99801 907-780-3533

OWNER
CITY AND BOROUGH OF JUNEAU
155 SOUTH SEWARD STREET
JUNEAU, ALASKA 99801

SCALE: 1"= 40'	DATE: OCT. 2017	PROJECT NO: J70687	FILE NO:	SHEET NO: 4 OF 4
-------------------	--------------------	-----------------------	----------	---------------------



SHEET INDEX

- 1 - KEY MAP & SUBDIVISION BOUNDARY
- 2 - SOUTHWEST PLAT DETAIL
- 3 - NORTHWEST PLAT DETAIL
- 4 - NORTHEAST PLAT DETAIL

LEGEND

- BLM MONUMENT FOUND THIS SURVEY.
- FOUND 3.25" ALUMINUM PRIMARY MONUMENT (7712S).
- 3.25" ALUMINUM PRIMARY MONUMENT (14828S) SET THIS SURVEY.
- 3.25" ALUMINUM PRIMARY MONUMENT (14828S) FOUND THIS SURVEY.
- 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (14828S) SET THIS SURVEY.
- 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (14828S) FOUND THIS SURVEY.
- 3/4" IRON PIPE MONUMENT FOUND THIS SURVEY.
- 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (7712S) FOUND THIS SURVEY, UNLESS OTHERWISE NOTED.

- SURVEYED PROPERTY LINE
- UNSURVEYED PROPERTY LINE
- PHASE LINE
- DRAINAGE & UTILITY EASEMENT CREATED THIS PLAT
- EXISTING ACCESS, DRAINAGE & UTILITY EASEMENT
- PHASE 1A & 1C

OWNERSHIP CERTIFICATE

I HEREBY CERTIFY THAT CITY AND BOROUGH OF JUNEAU, AK IS THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I AS LANDS MANAGER, HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH MY FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, TRAILS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED:

DATE: _____, 2017

GREG CHANEY
CBJ LANDS MANAGER

NOTARY ACKNOWLEDGMENT

STATE OF ALASKA }
FIRST JUDICIAL DISTRICT } ss.

THIS IS TO CERTIFY THAT ON THE _____ DAY OF _____, 2017, BEFORE THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, APPEARED GREG CHANEY TO ME KNOWN AND KNOWN TO ME TO BE THE PERSON HE REPRESENTS HIMSELF TO BE AND THE LANDS MANAGER FOR THE CITY & BOROUGH OF JUNEAU, WHO ACKNOWLEDGED TO ME THAT HE EXECUTED THE FOREGOING INSTRUMENT AS THE FREE ACT AND DEED OF THE SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED, BEING FULLY AUTHORIZED TO DO SO.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA
MY COMMISSION EXPIRES:

NOTES

- THIS SURVEY CLOSSES WITHIN A LIMIT OF ERROR OF ONE FOOT IN 10,000 FEET AS REQUIRED BY TITLE 49.15.452.
- ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
- RECORD INFORMATION DERIVED FROM OFFICIAL PLAT OF PEDERSON HILL SUBDIVISION II, PHASE 1A, PLAT No. 2017-XX, JUNEAU RECORDING DISTRICT.
- WHERE DIFFERENT FROM MEASURED OR CALCULATED, RECORDED DIMENSIONS ARE SHOWN IN PARENTHESES.
- DOMESTIC SEWER & WATER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC WORKS.
- PUBLIC USE LOTS: LOT 5 HAS BEEN SET ASIDE AS A NEIGHBORHOOD PARK FOR RECREATION. DEVELOPMENT IN THIS PARK FOR PUBLIC RECREATION IS APPROPRIATE. LOT 7 HAS BEEN SET ASIDE SPECIFICALLY FOR HABITAT PRESERVATION. REMOVAL OF VEGETATION IS NOT ALLOWED EXCEPT FOR REMOVAL OF INVASIVE SPECIES. NO FILL OR OTHER BUILDING DEVELOPMENT IS PERMITTED EXCEPT FOR TRAILS AND PERIMETER FENCING. TRAIL CONSTRUCTION SHALL BE PERMITTED IN ACCORDANCE WITH CBJ TITLE 19.12 - EXCAVATION AND GRADING CODE. PERIMETER FENCING SHALL BE CONSTRUCTED USING TECHNIQUES THAT MINIMIZE SOIL AND VEGETATIVE DISTURBANCE.
- WETLANDS EXIST THROUGHOUT THIS SUBDIVISION. APPROVAL TO IMPACT THESE WETLANDS HAS BEEN GIVEN BY THE U.S. ARMY CORPS OF ENGINEERS (COE). CONSULT COE FOR MORE INFORMATION.

CERTIFICATION OF PLAT APPROVAL

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY AND BOROUGH OF JUNEAU, ALASKA AND THAT SAID PLAT HAS BEEN APPROVED BY THE PLANNING COMMISSION BY PLAT RESOLUTION No. _____, DATED _____, 2017, AND THAT THE PLAT SHOWN HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT RECORDING OFFICE, JUNEAU, ALASKA.

CHAIRMAN
CITY AND BOROUGH OF JUNEAU
PLANNING COMMISSION

ATTEST:

CLERK
CITY AND BOROUGH OF JUNEAU

PRELIMINARY

PLAT
PEDERSON HILL SUBDIVISION II, PHASE 1B
A SUBDIVISION OF
LOT 2B, PEDERSON HILL SUBDIVISION II, PHASE 1A
US SURVEY No. 3873
CITY & BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT
STATE RECORDER'S OFFICE AT JUNEAU

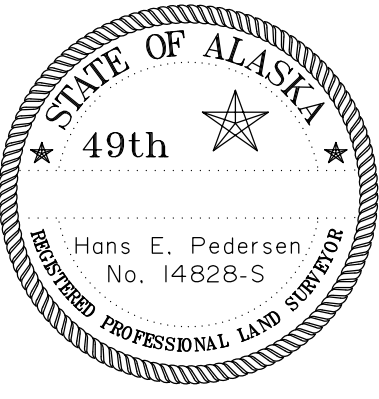
DOWL
AECL848
CIVIL ENGINEERING-LAND SURVEYING-CONSTRUCTION MANAGEMENT
5368 COMMERCIAL BOULEVARD
JUNEAU ALASKA 99801 907-780-3533

OWNER
CITY AND BOROUGH OF JUNEAU
155 SOUTH SEWARD STREET
JUNEAU, ALASKA 99801

SCALE: 1"= 100'
DATE: OCT. 2017
PROJECT NO: J70687
FILE NO:
SHEET NO: 1 OF 4

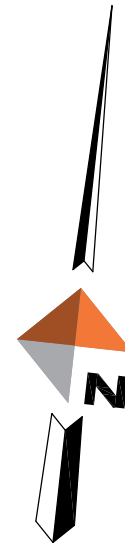
SURVEYOR'S CERTIFICATE

I, HANS E. PEDERSEN, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.



DATED: OCTOBER 2017

1. THIS SURVEY CLOSES WITHIN A LIMIT OF ERROR OF ONE FOOT IN 10,000 FEET AS REQUIRED BY TITLE 49.15.452.
2. ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
3. RECORD INFORMATION DERIVED FROM OFFICIAL PLAT OF PEDERSON HILL SUBDIVISION II, PHASE 1A, PLAT No. 2017-XX, JUNEAU RECORDING DISTRICT.
4. WHERE DIFFERENT FROM MEASURED OR CALCULATED, RECORDED DIMENSIONS ARE SHOWN IN PARENTHESES.
5. DOMESTIC SEWER & WATER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC WORKS.
6. PUBLIC USE LOTS: LOT 5 HAS BEEN SET ASIDE AS A NEIGHBORHOOD PARK FOR RECREATION. DEVELOPMENT IN THIS PARK FOR PUBLIC RECREATION IS APPROPRIATE. LOT 7 HAS BEEN SET ASIDE SPECIFICALLY FOR HABITAT PRESERVATION. REMOVAL OF VEGETATION IS NOT ALLOWED EXCEPT FOR REMOVAL OF INVASIVE SPECIES. NO FILL OR OTHER BUILDING DEVELOPMENT IS PERMITTED EXCEPT FOR TRAILS AND PERIMETER FENCING. TRAIL CONSTRUCTION SHALL BE PERMITTED IN ACCORDANCE WITH CBJ TITLE 19.12 - EXCAVATION AND GRADING CODE. PERIMETER FENCING SHALL BE CONSTRUCTED USING TECHNIQUES THAT MINIMIZE SOIL AND VEGETATIVE DISTURBANCE.
7. WETLANDS EXIST THROUGHOUT THIS SUBDIVISION. APPROVAL TO IMPACT THESE WETLANDS HAS BEEN GIVEN BY THE U.S. ARMY CORPS OF ENGINEERS (COE). CONSULT COE FOR MORE INFORMATION.



—EMERGENCY ACCESS EASEMENT
2017-003530-0
(NOT SPECIFICALLY LOCATABLE)

PHASE 1A

U.S.S. 1041

GLACIER HIGHWAY

F. LOT 2B

 FOUND 3.25" ALUMINUM PRIMARY MONUMENT (7712S).
 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (14828S) SET THIS SURVEY
 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (14828S) FOUND THIS SURVEY
 3/4" IRON PIPE MONUMENT FOUND THIS SURVEY.
 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (7712S) FOUND THIS SURVEY

_____ SURVEYED PROPERTY LINE
 - - - - - UNSURVEYED PROPERTY LINE
 - - - - - PHASE LINE
 - - - - - DRAINAGE & UTILITY EASEMENT CREATED THIS PLAT
 - - - - - EXISTING ACCESS, DRAINAGE & UTILITY EASEMENT
 - - - - - EXISTING EASEMENT AS NOTED
 - - - - - PHASE 1A

Packet Page 86 of 123

PRELIMINARY

PLAT
PEDERSON HILL SUBDIVISION II, PHASE 1B
A SUBDIVISION OF
LOT 2B, PEDERSON HILL SUBDIVISION II, PHASE 1A
US SURVEY No. 3873
CITY & BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT
STATE RECORDER'S OFFICE AT JUNEAU

DOWL
AECL848
CIVIL ENGINEERING—LAND SURVEYING—CONSTRUCTION MANAGEMENT
5368 COMMERCIAL BOULEVARD
JUNEAU ALASKA 99801 907-780-3533

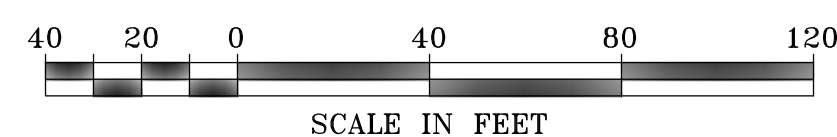
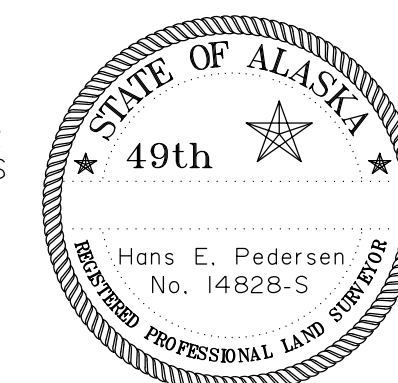
OWNER

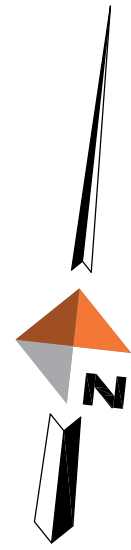
CITY AND BOROUGH OF JUNEAU
155 SOUTH SEWARD STREET
JUNEAU, ALASKA 99801

SCALE: 1" = 40'	DATE: OCT. 2017	PROJECT NO: J70687	FILE NO:	SHEET NO: 2 OF 4
--------------------	--------------------	-----------------------	----------	---------------------

I, HANS E. PEDERSEN, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATED: OCTOBER 2017





LOT 2A
PEDERSON HILL SUBDIVISION II, PHASE 1A

U.S.S. 3260
LOT 2

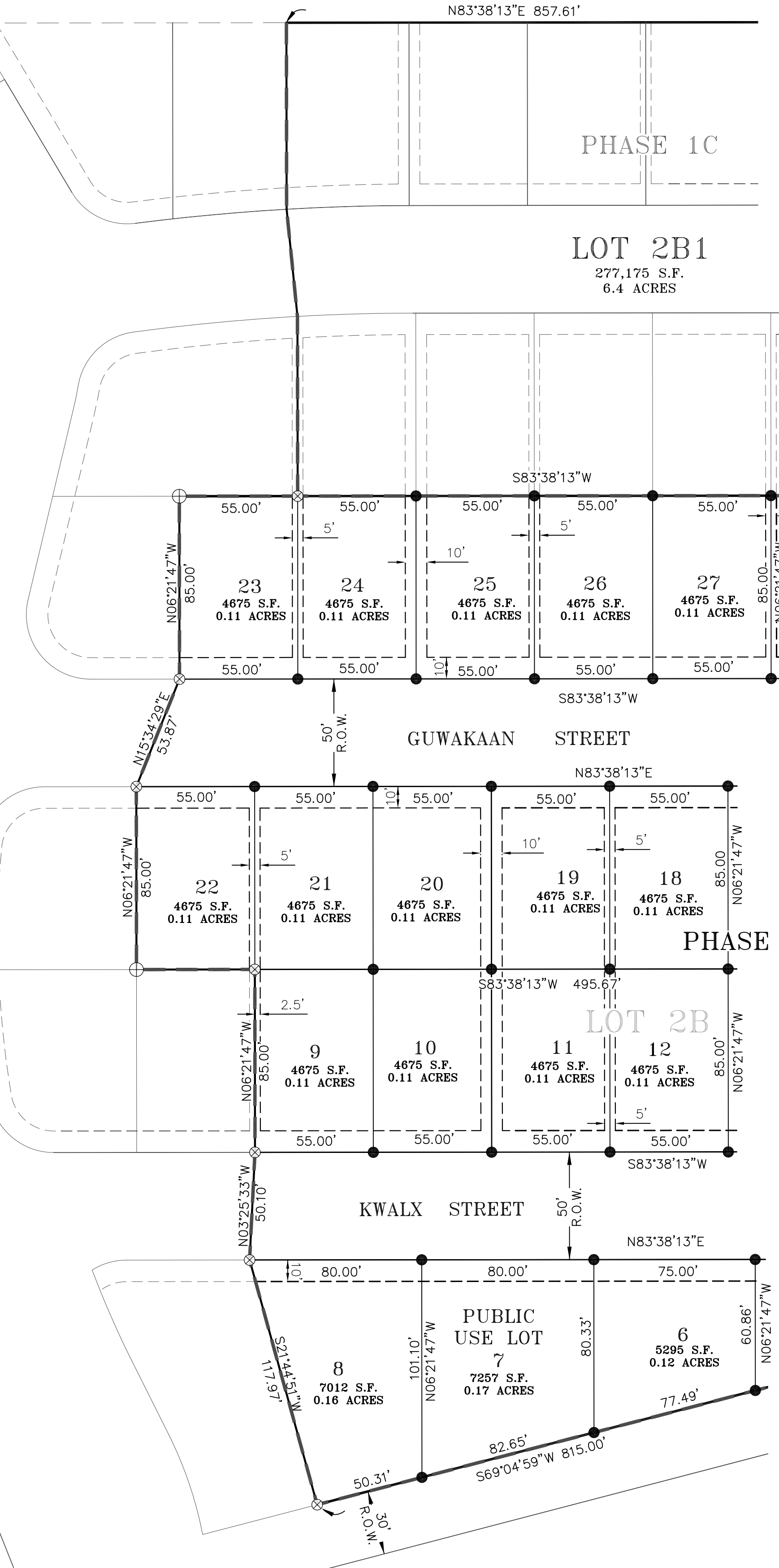
Packet Page 87 of 123

PHASE 1A

LOT 1
PEDERSON HILL
SUBDIVISION

EMERGENCY ACCESS EASEMENT
2017-003530-0
(NOT SPECIFICALLY LOCATABLE)

KARL REISHUS BOULEVARD



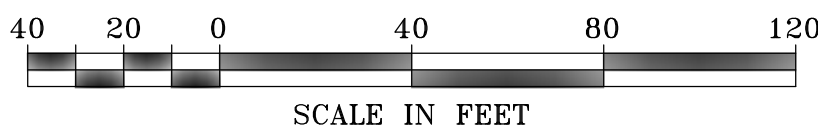
LEGEND

- ⊕ 3.25" ALUMINUM PRIMARY MONUMENT (14828S) FOUND THIS SURVEY.
- 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (14828S) SET THIS SURVEY
- ⊗ 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (14828S) FOUND THIS SURVEY
- 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (7712S) FOUND THIS SURVEY

- SURVEYED PROPERTY LINE
- - - - - UNSURVEYED PROPERTY LINE
- PHASE LINE
- - - - - DRAINAGE & UTILITY EASEMENT CREATED THIS PLAT
- - - - - EXISTING ACCESS, DRAINAGE & UTILITY EASEMENT
- - - - - EXISTING EASEMENT AS NOTED
- - - - - PHASE 1A & 1C

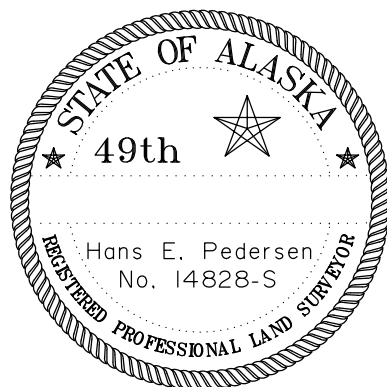
NOTES

- THIS SURVEY CLOSES WITHIN A LIMIT OF ERROR OF ONE FOOT IN 10,000 FEET AS REQUIRED BY TITLE 49.15.452.
- ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
- RECORD INFORMATION DERIVED FROM OFFICIAL PLAT OF PEDERSON HILL SUBDIVISION II, PHASE 1A, PLAT No. 2017-XX, JUNEAU RECORDING DISTRICT.
- WHERE DIFFERENT FROM MEASURED OR CALCULATED, RECORDED DIMENSIONS ARE SHOWN IN PARENTHESES.
- DOMESTIC SEWER & WATER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC WORKS.
- PUBLIC USE LOTS: LOT 5 HAS BEEN SET ASIDE AS A NEIGHBORHOOD PARK FOR RECREATION. DEVELOPMENT IN THIS PARK FOR PUBLIC RECREATION IS APPROPRIATE. LOT 7 HAS BEEN SET ASIDE SPECIFICALLY FOR HABITAT PRESERVATION. REMOVAL OF VEGETATION IS NOT ALLOWED EXCEPT FOR REMOVAL OF INVASIVE SPECIES. NO FILL OR OTHER BUILDING DEVELOPMENT IS PERMITTED EXCEPT FOR TRAILS AND PERIMETER FENCING. TRAIL CONSTRUCTION SHALL BE PERMITTED IN ACCORDANCE WITH CBJ TITLE 19.12 - EXCAVATION AND GRADING CODE. PERIMETER FENCING SHALL BE CONSTRUCTED USING TECHNIQUES THAT MINIMIZE SOIL AND VEGETATIVE DISTURBANCE.
- WETLANDS EXIST THROUGHOUT THIS SUBDIVISION. APPROVAL TO IMPACT THESE WETLANDS HAS BEEN GIVEN BY THE U.S. ARMY CORPS OF ENGINEERS (COE). CONSULT COE FOR MORE INFORMATION.



SURVEYOR'S CERTIFICATE

I, HANS E. PEDERSEN, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.



DATED: OCTOBER 2017

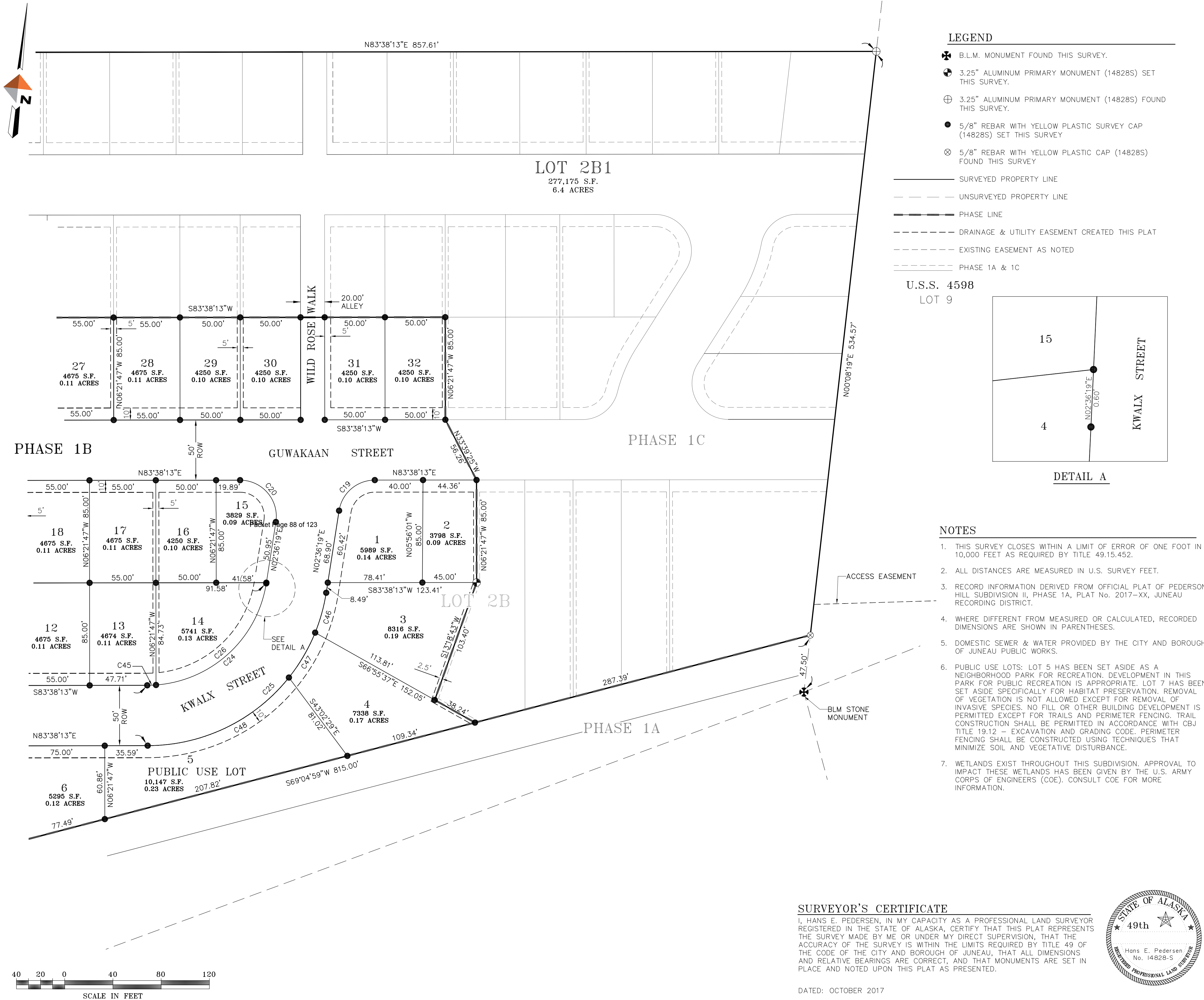
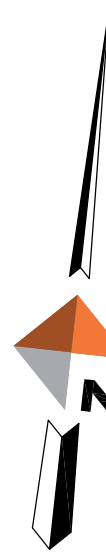
PRELIMINARY

PLAT
PEDERSON HILL SUBDIVISION II, PHASE 1B
A SUBDIVISION OF
LOT 2B, PEDERSON HILL SUBDIVISION II, PHASE 1A
US SURVEY No. 3873
CITY & BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT
STATE RECORDER'S OFFICE AT JUNEAU

DOWL
AECL848
CIVIL ENGINEERING-LAND SURVEYING-CONSTRUCTION MANAGEMENT
5368 COMMERCIAL BOULEVARD
JUNEAU ALASKA 99801 907-780-3533

OWNER
CITY AND BOROUGH OF JUNEAU
155 SOUTH SEWARD STREET
JUNEAU, ALASKA 99801

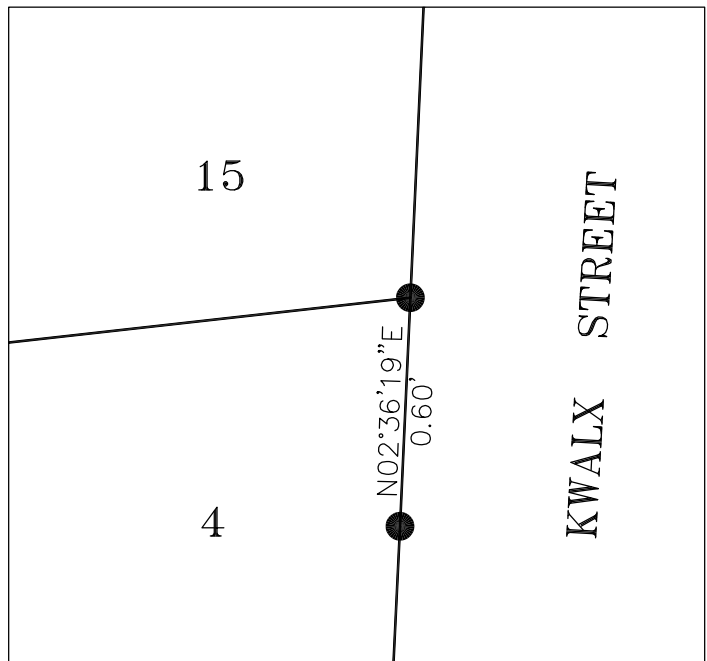
SCALE: 1"= 40'
DATE: OCT. 2017
PROJECT NO: J70687
FILE NO:
SHEET NO: 3 OF 4



LEGEND

- B.L.M. MONUMENT FOUND THIS SURVEY.
- 3.25" ALUMINUM PRIMARY MONUMENT (14828S) SET THIS SURVEY.
- 3.25" ALUMINUM PRIMARY MONUMENT (14828S) FOUND THIS SURVEY.
- 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (14828S) SET THIS SURVEY
- 5/8" REBAR WITH YELLOW PLASTIC CAP (14828S) FOUND THIS SURVEY
- SURVEYED PROPERTY LINE
- UNSURVEYED PROPERTY LINE
- PHASE LINE
- DRAINAGE & UTILITY EASEMENT CREATED THIS PLAT
- EXISTING EASEMENT AS NOTED
- PHASE 1A & 1C

U.S.S. 4598
LOT 9



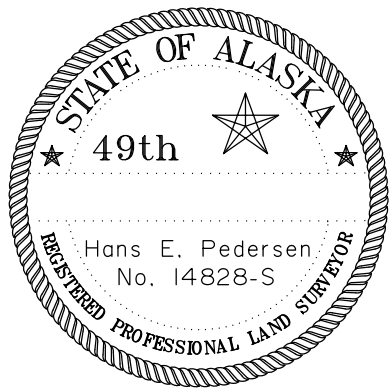
DETAIL A

NOTES

- THIS SURVEY CLOSES WITHIN A LIMIT OF ERROR OF ONE FOOT IN 10,000 FEET AS REQUIRED BY TITLE 49.15.452.
- ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
- RECORD INFORMATION DERIVED FROM OFFICIAL PLAT OF PEDERSON HILL SUBDIVISION II, PHASE 1A, PLAT No. 2017-XX, JUNEAU RECORDING DISTRICT.
- WHERE DIFFERENT FROM MEASURED OR CALCULATED, RECORDED DIMENSIONS ARE SHOWN IN PARENTHESSES.
- DOMESTIC SEWER & WATER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC WORKS.
- PUBLIC USE LOTS: LOT 5 HAS BEEN SET ASIDE AS A NEIGHBORHOOD PARK FOR RECREATION. DEVELOPMENT IN THIS PARK FOR PUBLIC RECREATION IS APPROPRIATE. LOT 7 HAS BEEN SET ASIDE SPECIFICALLY FOR HABITAT PRESERVATION. REMOVAL OF VEGETATION IS NOT ALLOWED EXCEPT FOR REMOVAL OF INVASIVE SPECIES. NO FILL OR OTHER BUILDING DEVELOPMENT IS PERMITTED EXCEPT FOR TRAILS AND PERIMETER FENCING. TRAIL CONSTRUCTION SHALL BE PERMITTED IN ACCORDANCE WITH CBJ TITLE 19.12 - EXCAVATION AND GRADING CODE. PERIMETER FENCING SHALL BE CONSTRUCTED USING TECHNIQUES THAT MINIMIZE SOIL AND VEGETATIVE DISTURBANCE.
- WETLANDS EXIST THROUGHOUT THIS SUBDIVISION. APPROVAL TO IMPACT THESE WETLANDS HAS BEEN GIVEN BY THE U.S. ARMY CORPS OF ENGINEERS (COE). CONSULT COE FOR MORE INFORMATION.

SURVEYOR'S CERTIFICATE

I, HANS E. PEDERSEN, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.



DATED: OCTOBER 2017

CURVE TABLE

CURVE No.	RADIUS	DELTA	LENGTH	CHORD BEARING & DISTANCE
C1			NOT USED	
C2			NOT USED	
C3			NOT USED	
C4			NOT USED	
C5			NOT USED	
C6			NOT USED	
C7			NOT USED	
C8			NOT USED	
C9			NOT USED	
C10			NOT USED	
C11			NOT USED	
C12			NOT USED	
C13			NOT USED	
C14			NOT USED	
C15			NOT USED	
C16			NOT USED	
C17			NOT USED	
C18			NOT USED	
C19	30.00	81°01'54"	42.43	S43°07'16"W 38.98
C20	30.00	98°58'05"	51.82	S46°52'44"E 45.61
C21			NOT USED	
C22			NOT USED	
C23			NOT USED	
C24	100.00	81°01'55"	141.43	S43°07'16"W 129.93
C25	150.00	81°01'55"	212.14	S43°07'16"W 194.90
C26	100.00	76°51'07"	134.13	S43°01'52"W 124.30
C27			NOT USED	
C28			NOT USED	
C29			NOT USED	
C30			NOT USED	
C31			NOT USED	
C32			NOT USED	
C33			NOT USED	
C34			NOT USED	
C35			NOT USED	
C36			NOT USED	
C37			NOT USED	
C38			NOT USED	
C39			NOT USED	
C40			NOT USED	
C41			NOT USED	
C42			NOT USED	
C43			NOT USED	
C44			NOT USED	
C45			NOT USED	
C46	150.00	13°07'58"	34.38	N09°10'18"E 34.31
C47	150.00	16°32'11"	43.29	N24°00'22"E 43.14
C48	150.00	51°21'45"	134.47	N57°57'21"E 130.01
C49			NOT USED	
C50			NOT USED	
C51			NOT USED	
C52			NOT USED	
C53			NOT USED	

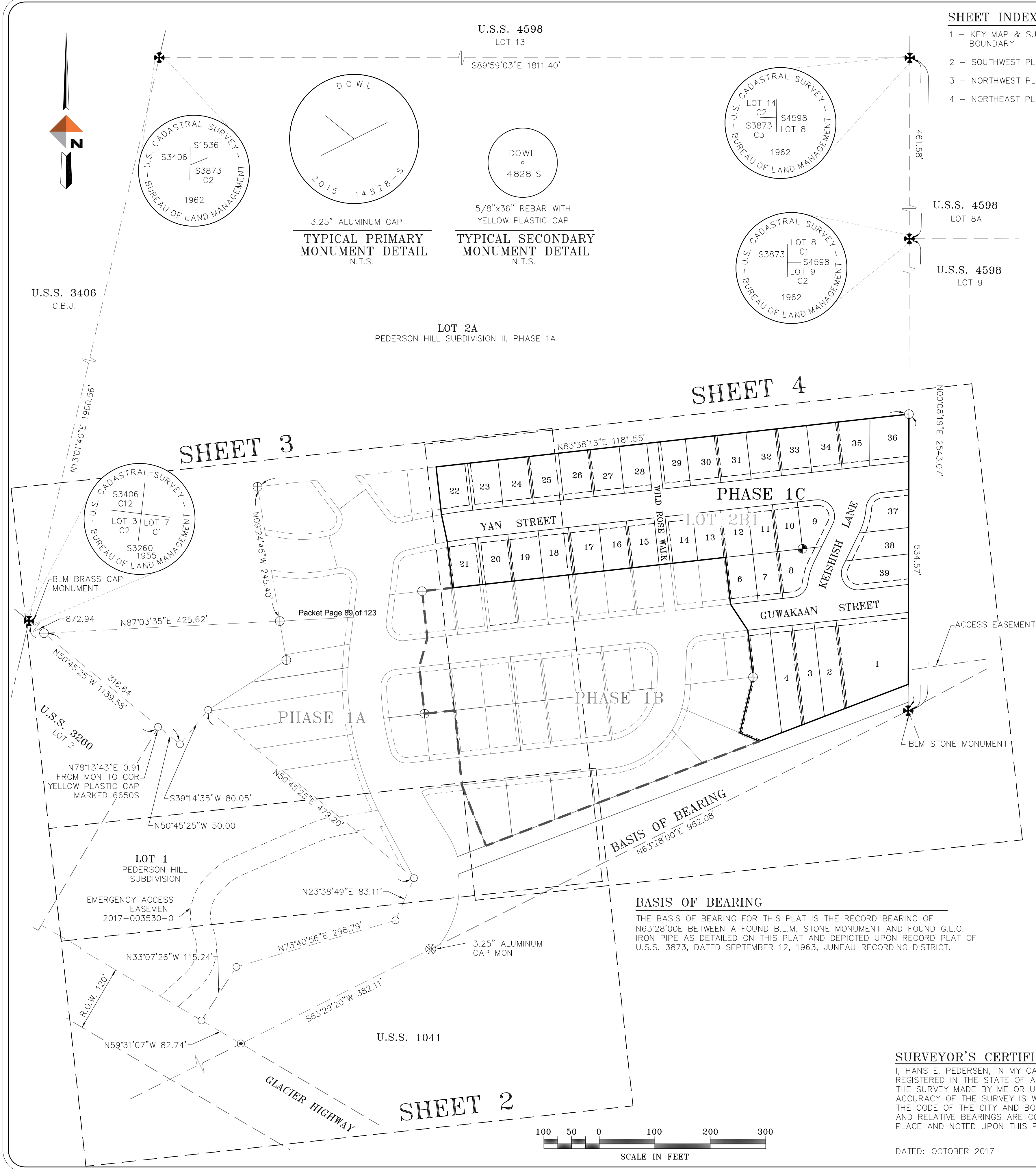
PRELIMINARY

PLAT
PEDERSON HILL SUBDIVISION II, PHASE 1B
A SUBDIVISION OF
LOT 2B, PEDERSON HILL SUBDIVISION II, PHASE 1A
US SURVEY No. 3873
CITY & BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT
STATE RECORDER'S OFFICE AT JUNEAU

DOWL
AECL848
CIVIL ENGINEERING-LAND SURVEYING-CONSTRUCTION MANAGEMENT
5368 COMMERCIAL BOULEVARD
JUNEAU ALASKA 99801 907-780-3533

OWNER
CITY AND BOROUGH OF JUNEAU
155 SOUTH SEWARD STREET
JUNEAU, ALASKA 99801

SCALE: 1"= 40'
DATE: OCT. 2017
PROJECT NO: J70687
FILE NO:
SHEET NO: 4 OF 4



SHEET INDEX

- 1 - KEY MAP & SUBDIVISION BOUNDARY
- 2 - SOUTHWEST PLAT DETAIL
- 3 - NORTHWEST PLAT DETAIL
- 4 - NORTHEAST PLAT DETAIL

LEGEND

- B.L.M. MONUMENT FOUND THIS SURVEY.
- FOUND 3.25" ALUMINUM PRIMARY MONUMENT (7712S).
- 3.25" ALUMINUM PRIMARY MONUMENT (14828S) SET THIS SURVEY.
- 3.25" ALUMINUM PRIMARY MONUMENT (14828S) FOUND THIS SURVEY.
- 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (14828S) SET THIS SURVEY.
- 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (14828S) FOUND THIS SURVEY.
- 3/4" IRON PIPE MONUMENT FOUND THIS SURVEY.
- 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (7712S) FOUND THIS SURVEY, UNLESS OTHERWISE NOTED.

- SURVEYED PROPERTY LINE
- UNSURVEYED PROPERTY LINE
- PHASE LINE
- DRAINAGE & UTILITY EASEMENT CREATED THIS PLAT
- EXISTING ACCESS, DRAINAGE & UTILITY EASEMENT
- PHASE 1A & 1B

OWNERSHIP CERTIFICATE

I HEREBY CERTIFY THAT CITY AND BOROUGH OF JUNEAU, AK IS THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I AS LANDS MANAGER, HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH MY FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, TRAILS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED:

DATE: _____, 2017

GREG CHANEY
CBJ LANDS MANAGER

NOTARY ACKNOWLEDGMENT

STATE OF ALASKA }
FIRST JUDICIAL DISTRICT } ss.

THIS IS TO CERTIFY THAT ON THE ____ DAY OF _____, 2017, BEFORE THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, APPEARED GREG CHANEY TO ME KNOWN AND KNOWN TO ME TO BE THE PERSON HE REPRESENTS HIMSELF TO BE AND THE LANDS MANAGER FOR THE CITY & BOROUGH OF JUNEAU, WHO ACKNOWLEDGED TO ME THAT HE EXECUTED THE FOREGOING INSTRUMENT AS THE FREE ACT AND DEED OF THE SAID CORPORATION FOR THE PURPOSES THEREIN MENTIONED, BEING FULLY AUTHORIZED TO DO SO.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA
MY COMMISSION EXPIRES:

NOTES

- THIS SURVEY CLOSSES WITHIN A LIMIT OF ERROR OF ONE FOOT IN 10,000 FEET AS REQUIRED BY TITLE 49.15.452.
- ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
- RECORD INFORMATION DERIVED FROM OFFICIAL PLAT OF PEDERSON HILL SUBDIVISION II, PHASE 1B, A SUBDIVISION OF TRACT 1, PEDERSON HILL SUBDIVISION II, PHASE 1A, PLAT No. 2017-XX, JUNEAU RECORDING DISTRICT.
- WHERE DIFFERENT FROM MEASURED OR CALCULATED, RECORDED DIMENSIONS ARE SHOWN IN PARENTHESES.
- DOMESTIC SEWER & WATER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC WORKS.
- WETLANDS EXIST THROUGHOUT THIS SUBDIVISION. APPROVAL TO IMPACT THESE WETLANDS HAS BEEN GIVEN BY THE U.S. ARMY CORPS OF ENGINEERS (COE). CONSULT COE FOR MORE INFORMATION.

CERTIFICATION OF PLAT APPROVAL

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY AND BOROUGH OF JUNEAU, ALASKA AND THAT SAID PLAT HAS BEEN APPROVED BY THE PLANNING COMMISSION BY PLAT RESOLUTION No. _____, DATED _____, 2017, AND THAT THE PLAT SHOWN HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT RECORDING OFFICE, JUNEAU, ALASKA.

CHAIRMAN
CITY AND BOROUGH OF JUNEAU
PLANNING COMMISSION

ATTEST:

CLERK
CITY AND BOROUGH OF JUNEAU

PRELIMINARY

PLAT
PEDERSON HILL SUBDIVISION II, PHASE 1C
A SUBDIVISION OF
LOT 2C, PEDERSON HILL SUBDIVISION II, PHASE 1B
US SURVEY No. 3873
CITY & BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT
STATE RECORDER'S OFFICE AT JUNEAU

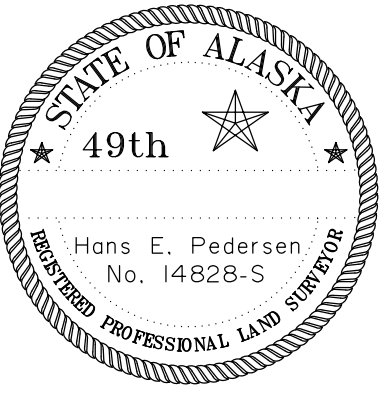
DOWL
AECL848
CIVIL ENGINEERING-LAND SURVEYING-CONSTRUCTION MANAGEMENT
5368 COMMERCIAL BOULEVARD
JUNEAU ALASKA 99801 907-780-3533

OWNER
CITY AND BOROUGH OF JUNEAU
155 SOUTH SEWARD STREET
JUNEAU, ALASKA 99801

SCALE: 1"= 100'
DATE: OCT. 2017
PROJECT NO: J70687
FILE NO:
SHEET NO: 1 OF 4

SURVEYOR'S CERTIFICATE

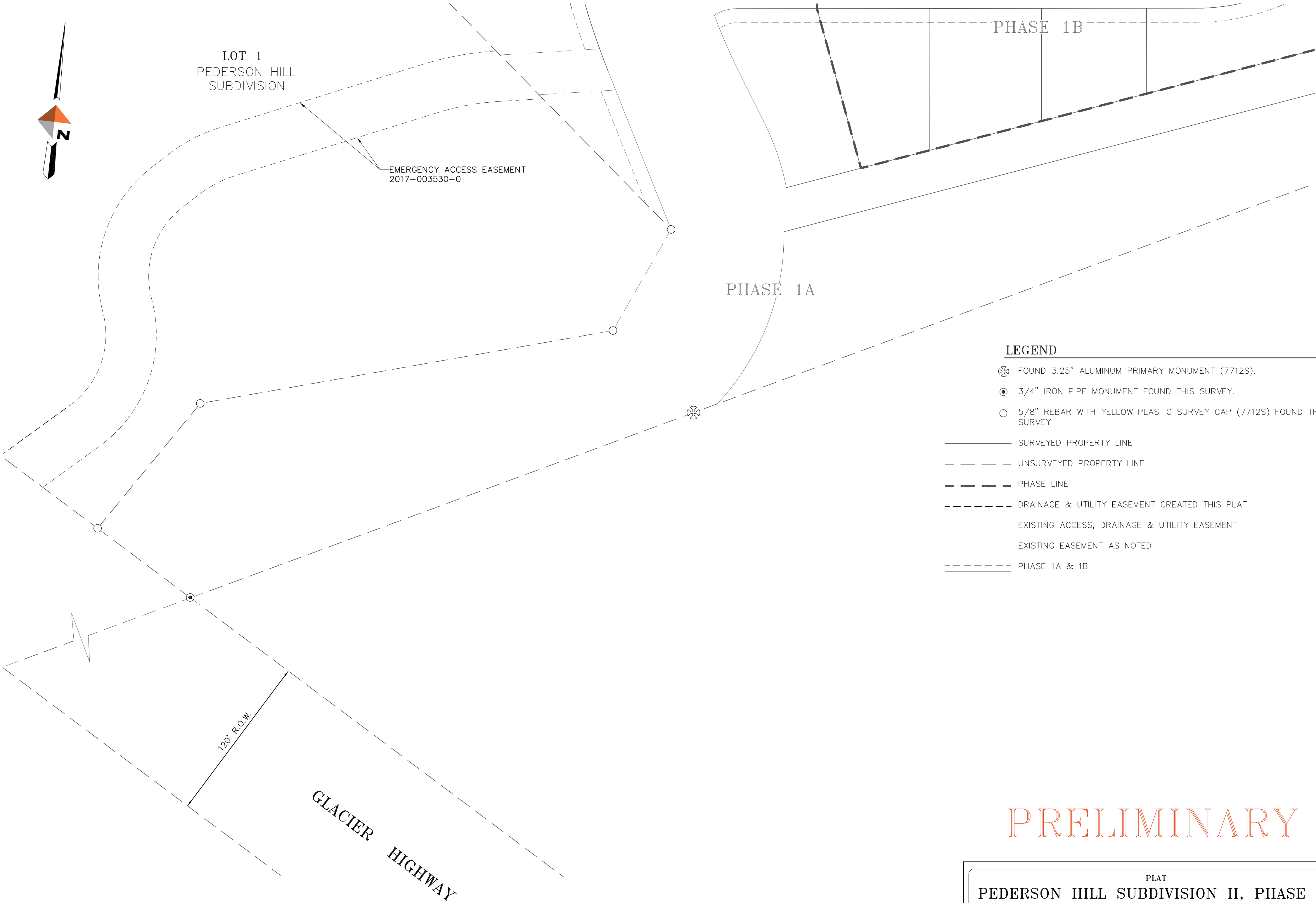
I, HANS E. PEDERSEN, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.



DATED: OCTOBER 2017

NOTES

1. THIS SURVEY CLOSES WITHIN A LIMIT OF ERROR OF ONE FOOT IN 10,000 FEET AS REQUIRED BY TITLE 49.15.452.
2. ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
3. RECORD INFORMATION DERIVED FROM OFFICIAL PLAT OF PEDERSON HILL SUBDIVISION II, PHASE 1B, A SUBDIVISION OF TRACT 1, PEDERSON HILL SUBDIVISION II, PHASE 1A, PLAT No. 2017-XX, JUNEAU RECORDING DISTRICT.
4. WHERE DIFFERENT FROM MEASURED OR CALCULATED, RECORDED DIMENSIONS ARE SHOWN IN PARENTHESES.
5. DOMESTIC SEWER & WATER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC WORKS.
6. WETLANDS EXIST THROUGHOUT THIS SUBDIVISION. APPROVAL TO IMPACT THESE WETLANDS HAS BEEN GIVEN BY THE U.S. ARMY CORPS OF ENGINEERS (COE). CONSULT COE FOR MORE INFORMATION.



Packet Page 90 of 123

LEGEND

- FOUND 3.25" ALUMINUM PRIMARY MONUMENT (7712S).
- 3/4" IRON PIPE MONUMENT FOUND THIS SURVEY.
- 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (7712S) FOUND THIS SURVEY
- SURVEYED PROPERTY LINE
- UNSURVEYED PROPERTY LINE
- PHASE LINE
- DRAINAGE & UTILITY EASEMENT CREATED THIS PLAT
- EXISTING ACCESS, DRAINAGE & UTILITY EASEMENT
- EXISTING EASEMENT AS NOTED
- PHASE 1A & 1B

PRELIMINARY

PLAT
PEDERSON HILL SUBDIVISION II, PHASE 1C
A SUBDIVISION OF
LOT 2C, PEDERSON HILL SUBDIVISION II, PHASE 1B
US SURVEY No. 3873
CITY & BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT
STATE RECORDER'S OFFICE AT JUNEAU

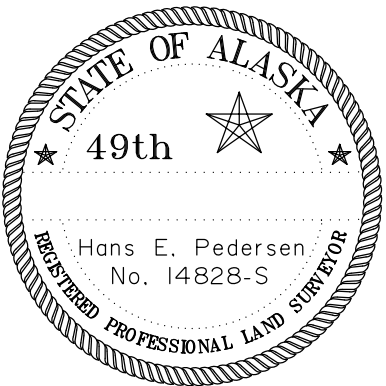
DOWL
AECL848
CIVIL ENGINEERING-LAND SURVEYING-CONSTRUCTION MANAGEMENT
5368 COMMERCIAL BOULEVARD
JUNEAU ALASKA 99801 907-780-3533

OWNER
CITY AND BOROUGH OF JUNEAU
155 SOUTH SEWARD STREET
JUNEAU, ALASKA 99801

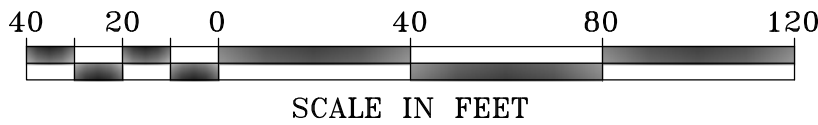
SCALE: 1"= 40'	DATE: OCT. 2017	PROJECT NO: J70687	FILE NO:	SHEET NO: 2 OF 4
-------------------	--------------------	-----------------------	----------	---------------------

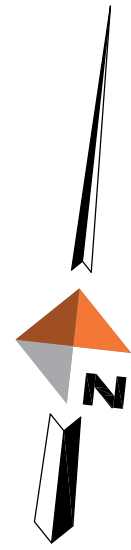
SURVEYOR'S CERTIFICATE

I, HANS E. PEDERSEN, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.



DATED: OCTOBER 2017





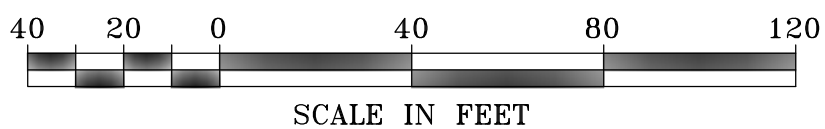
LOT 2A
PEDERSON HILL
SUBDIVISION II, PHASE 1A

U.S.S. 3260
LOT 2

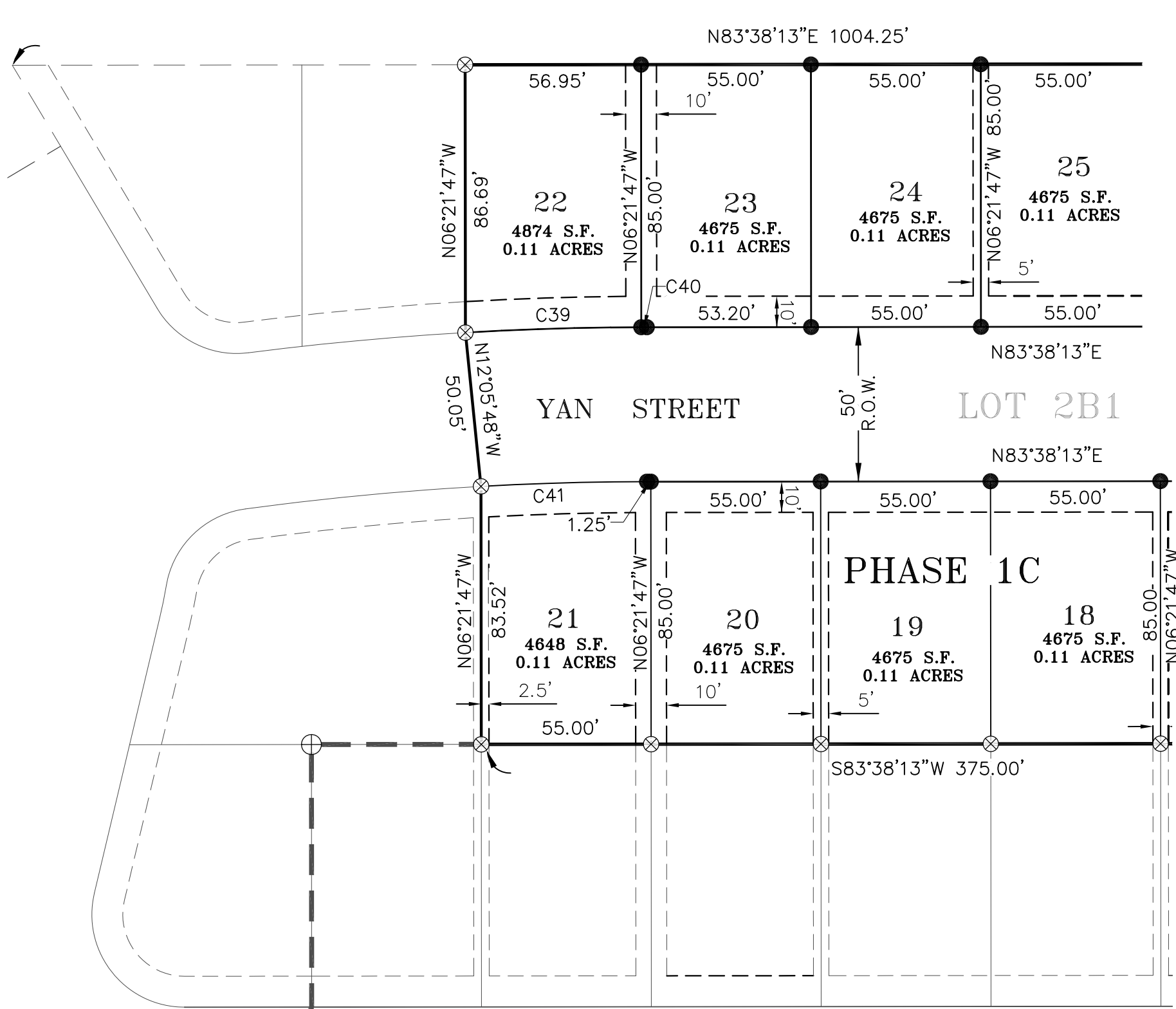
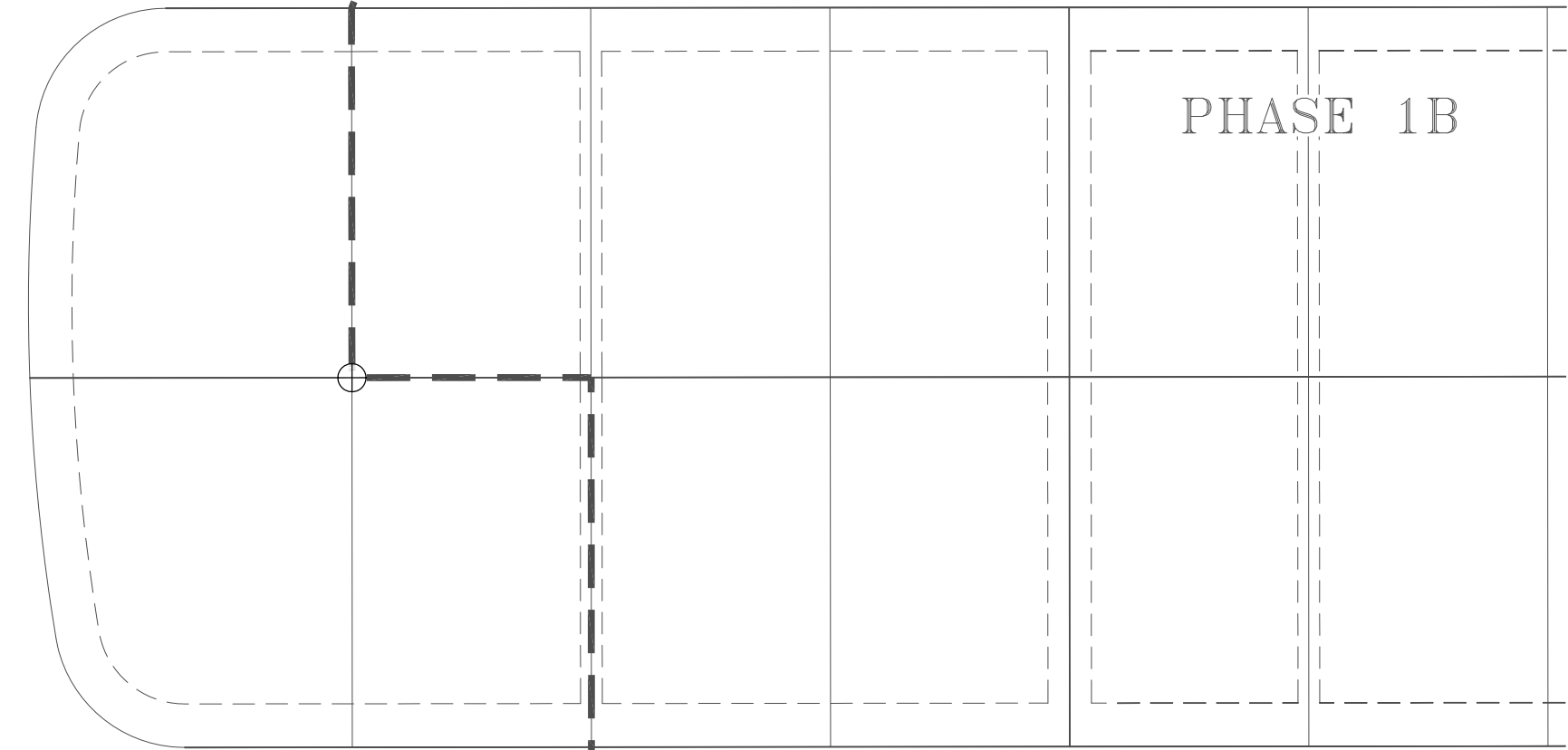
Packet Page 91 of 123

LOT 1
PEDERSON HILL
SUBDIVISION

EMERGENCY ACCESS EASEMENT
2017-003530-0



PHASE 1A



LEGEND

- ⊕ 3.25" ALUMINUM PRIMARY MONUMENT (14828S) FOUND THIS SURVEY.
- 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (14828S) SET THIS SURVEY
- ⊗ 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (14828S) FOUND THIS SURVEY
- 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (7712S) FOUND THIS SURVEY
- SURVEYED PROPERTY LINE
- - - - - UNSURVEYED PROPERTY LINE
- - - - - PHASE LINE
- - - - - DRAINAGE & UTILITY EASEMENT CREATED THIS PLAT
- - - - - EXISTING ACCESS, DRAINAGE & UTILITY EASEMENT
- - - - - EXISTING EASEMENT AS NOTED
- - - - - PHASE 1A & 1B

NOTES

- THIS SURVEY CLOSES WITHIN A LIMIT OF ERROR OF ONE FOOT IN 10,000 FEET AS REQUIRED BY TITLE 49.15.452.
- ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
- RECORD INFORMATION DERIVED FROM OFFICIAL PLAT OF PEDERSON HILL SUBDIVISION II, PHASE 1B, A SUBDIVISION OF TRACT 1, PEDERSON HILL SUBDIVISION II, PHASE 1A, PLAT No. 2017-XX, JUNEAU RECORDING DISTRICT.
- WHERE DIFFERENT FROM MEASURED OR CALCULATED, RECORDED DIMENSIONS ARE SHOWN IN PARENTHESES.
- DOMESTIC SEWER & WATER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC WORKS.
- WETLANDS EXIST THROUGHOUT THIS SUBDIVISION. APPROVAL TO IMPACT THESE WETLANDS HAS BEEN GIVEN BY THE U.S. ARMY CORPS OF ENGINEERS (COE). CONSULT COE FOR MORE INFORMATION.

PRELIMINARY

PLAT
PEDERSON HILL SUBDIVISION II, PHASE 1C
A SUBDIVISION OF
LOT 2C, PEDERSON HILL SUBDIVISION II, PHASE 1B
US SURVEY No. 3873
CITY & BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT
STATE RECORDER'S OFFICE AT JUNEAU

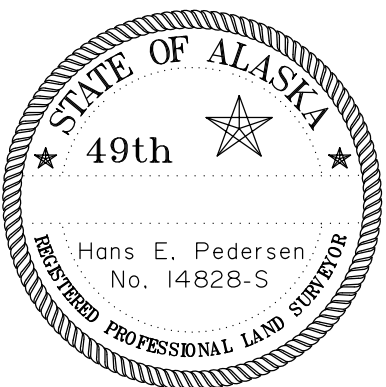
DOWL
AECL848
CIVIL ENGINEERING-LAND SURVEYING-CONSTRUCTION MANAGEMENT
5368 COMMERCIAL BOULEVARD
JUNEAU ALASKA 99801 907-780-3533

OWNER
CITY AND BOROUGH OF JUNEAU
155 SOUTH SEWARD STREET
JUNEAU, ALASKA 99801

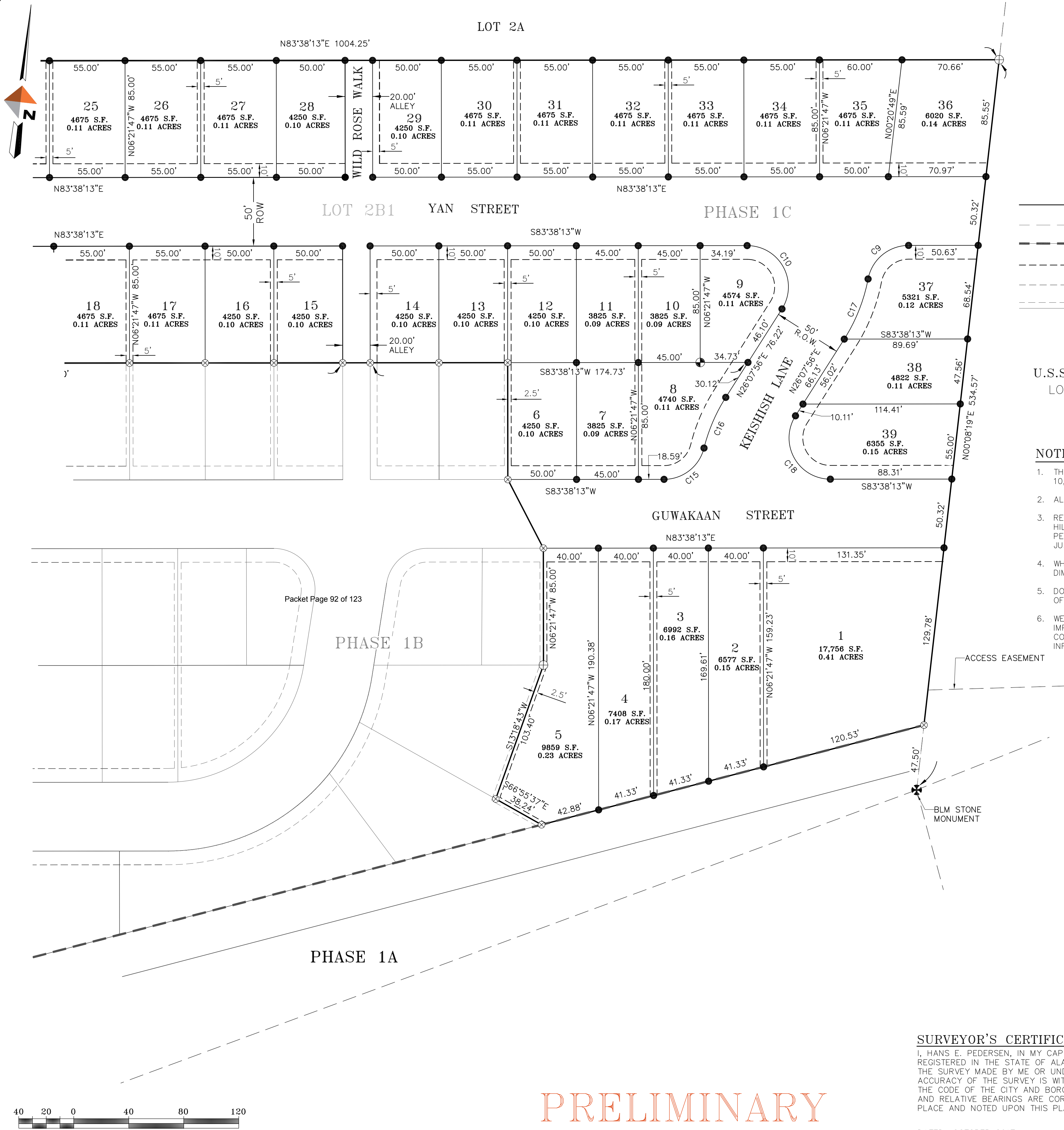
SCALE: 1"= 40' DATE: OCT. 2017 PROJECT NO: J70687 FILE NO: SHEET NO: 3 OF 4

SURVEYOR'S CERTIFICATE

I, HANS E. PEDERSEN, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.



DATED: OCTOBER 2017



LEGEND

- B.L.M. MONUMENT FOUND THIS SURVEY.
- 3.25" ALUMINUM PRIMARY MONUMENT (14828S) SET THIS SURVEY.
- 3.25" ALUMINUM PRIMARY MONUMENT (14828S) FOUND THIS SURVEY.
- 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (14828S) SET THIS SURVEY
- 5/8" REBAR WITH YELLOW PLASTIC SURVEY CAP (14828S) FOUND THIS SURVEY

— SURVEYED PROPERTY LINE
- - - UNSURVEYED PROPERTY LINE
- - - PHASE LINE
- - - DRAINAGE & UTILITY EASEMENT CREATED THIS PLAT
- - - EXISTING EASEMENT AS NOTED
- - - PHASE 1A & 1B

U.S.S. 4598
LOT 9

- NOTES**
- THIS SURVEY CLOSES WITHIN A LIMIT OF ERROR OF ONE FOOT IN 10,000 FEET AS REQUIRED BY TITLE 49.15.452.
 - ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
 - RECORD INFORMATION DERIVED FROM OFFICIAL PLAT OF PEDERSON HILL SUBDIVISION II, PHASE 1B, A SUBDIVISION OF TRACT 1, PEDERSON HILL SUBDIVISION II, PHASE 1A, PLAT No. 2017-XX, JUNEAU RECORDING DISTRICT.
 - WHERE DIFFERENT FROM MEASURED OR CALCULATED, RECORDED DIMENSIONS ARE SHOWN IN PARENTHESES.
 - DOMESTIC SEWER & WATER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC WORKS.
 - WETLANDS EXIST THROUGHOUT THIS SUBDIVISION. APPROVAL TO IMPACT THESE WETLANDS HAS BEEN GIVEN BY THE U.S. ARMY CORPS OF ENGINEERS (COE). CONSULT COE FOR MORE INFORMATION.

CURVE TABLE				
CURVE No.	RADIUS	DELTA	LENGTH	CHORD BEARING & DISTANCE
C1				NOT USED
C2				NOT USED
C3				NOT USED
C4				NOT USED
C5				NOT USED
C6				NOT USED
C7				NOT USED
C8				NOT USED
C9	30.00	79°11'48"	41.47	S44°02'19"W 38.24
C10	30.00	122°29'45"	64.14	N35°06'56"W 52.60
C11				NOT USED
C12				NOT USED
C13				NOT USED
C14				NOT USED
C15	30.00	75°58'38"	39.78	N45°38'54"E 36.93
C16	125.00	18°28'21"	40.30	N16°53'46"E 40.13
C17	125.00	21°41'31"	47.32	S15°17'11"W 47.04
C18	30.00	122°29'43"	64.14	S35°06'55"E 52.60
C19	30.00	81°01'54"	42.43	S43°07'16"W 38.98
C20				NOT USED
C21				NOT USED
C22				NOT USED
C23				NOT USED
C24				NOT USED
C25				NOT USED
C26				NOT USED
C27				NOT USED
C28				NOT USED
C29				NOT USED
C30				NOT USED
C31				NOT USED
C32				NOT USED
C33				NOT USED
C34				NOT USED
C35				NOT USED
C36				NOT USED
C37				NOT USED
C38				NOT USED
C39				NOT USED
C40				NOT USED
C41				NOT USED
C42				NOT USED
C43				NOT USED
C44				NOT USED
C45				NOT USED
C46				NOT USED
C47				NOT USED
C48				NOT USED
C49				NOT USED
C50				NOT USED
C51				NOT USED
C52				NOT USED
C53				NOT USED

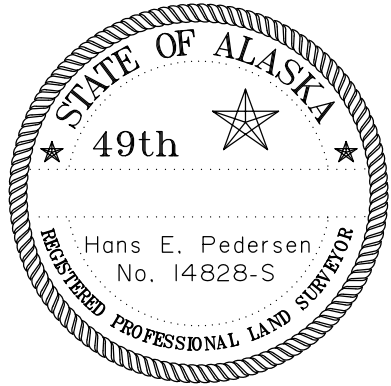
PLAT
PEDERSON HILL SUBDIVISION II, PHASE 1C
A SUBDIVISION OF
LOT 2C, PEDERSON HILL SUBDIVISION II, PHASE 1B
US SURVEY No. 3873
CITY & BOROUGH OF JUNEAU, ALASKA
JUNEAU RECORDING DISTRICT
STATE RECORDER'S OFFICE AT JUNEAU

DOWL
AECL848
CIVIL ENGINEERING—LAND SURVEYING—CONSTRUCTION MANAGEMENT
5368 COMMERCIAL BOULEVARD
JUNEAU ALASKA 99801 907-780-3533

OWNER
CITY AND BOROUGH OF JUNEAU
155 SOUTH SEWARD STREET
JUNEAU, ALASKA 99801

SCALE: 1"= 40'
DATE: OCT. 2017
PROJECT NO: J70687
FILE NO:
SHEET NO: 4 OF 4

SURVEYOR'S CERTIFICATE
I, HANS E. PEDERSEN, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.



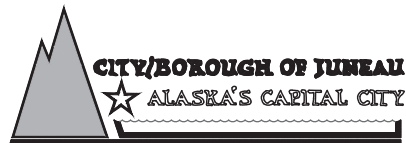
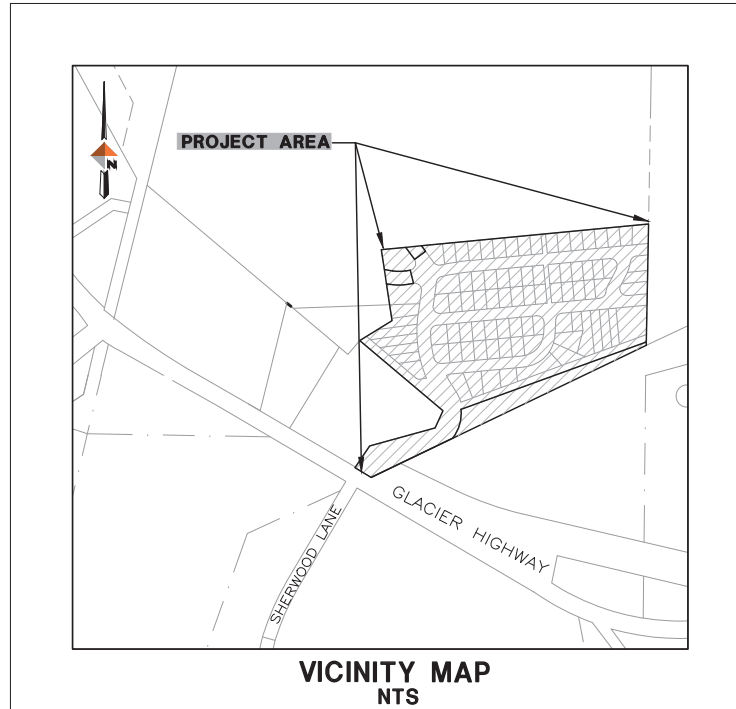
DATED: OCTOBER 2017

CIVIL INDEX

DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 40
LEGEND, ABBREVIATIONS, AND GENERAL NOTES	2 OF 40
TYPICAL SECTIONS	3 OF 40
TYPICAL SECTIONS	4 OF 40
TRAFFIC CONTROL NOTES, TABLES, AND PAVING SEQUENCE REQUIREMENTS	5 OF 40
SANITARY SEWER MANHOLE & STORM DRAIN CATCH BASIN AND MANHOLE TABLES	6 OF 40
STORM DRAIN CATCH BASIN AND MANHOLE TABLES	7 OF 40
HORIZONTAL AND VERTICAL CONTROL CURB AND GUTTER LAYOUT AND GRADES GLACIER HIGHWAY TO STA "KR" 11+00	8 OF 40
PLAN - GLACIER HIGHWAY TO STA "KR" 11+00	9 OF 40
PLAN - STA "KR" 11+00 TO STA "KR" 16+00 AND STA "CT" 201+00	10 OF 40
PLAN - STA "KR" 16+00 TO STA "KR" 21+00 KARL REISHUS BLVD. TO STA "KS" 31+90 & STA "G" 51+00	11 OF 40
PLAN - STA "KR" 21+00 TO EOP KARL REISHUS BLVD TO STA "Y" 71+00	12 OF 40
PLAN - STA "KS" 31+90 TO STA "KS" 36+75 STA "CT" 201+00 TO STA "CT" 207+00	13 OF 40
PLAN - STA "G" 51+00 TO STA "G" 56+00 & STA "KS" 36+75 TO GUWAKAAN STREET	14 OF 40
PLAN - STA "G" 56+00 TO EOP GUWAKAAN STREET TO STA "KL" 101+50	15 OF 40
PLAN - STA "Y" 71+00 TO STA "Y" 75+50	16 OF 40
PLAN - STA "Y" 75+50 TO EOP STA "KL" 101+50 TO YAN STREET	17 OF 40
PLAN - STA "CT" 207+00 TO EOP	18 OF 40
PROFILE - GLACIER HIGHWAY TO STA "KR" 20+00	19 OF 40
PROFILE - STA "KR" 20+00 TO EOP	20 OF 40
PROFILE - KVALX STREET	21 OF 40
PROFILE - GUWAKAAN STREET	22 OF 40
PROFILE - YAN STREET	23 OF 40
PROFILE - KEISHISH LANE	24 OF 40
PROFILE - EQUESTRIAN TRAIL	25 OF 40

PEDERSON HILL SUBDIVISION

CONTRACT NO. E1X-XXX



Consulting Engineers • Land Surveyors • Construction Administration

PLANS DEVELOPED BY:
DOWL
5368 COMMERCIAL BOULEVARD
JUNEAU, ALASKA 99801
907-780-3533
AECL848

CIVIL INDEX

DESCRIPTION	SHEET NO.
FISH PASSAGE PLAN & PROFILE	26 OF 40
FISH PASSAGE DETAILS	27 OF 40

ELECTRICAL INDEX

DESCRIPTION	SHEET NO.
TITLE, INDEX, LEGEND AND GENERAL NOTES	E1, 28 OF 40
PEDERSON HILL - ELECTRICAL LAYOUT	E2, 29 OF 40
ELECTRICAL PLAN - GLACIER HIGHWAY TO STA "KR" 11+00	E3, 30 OF 40
ELECTRICAL PLAN - STA "KR" 11+00 TO STA "KR" 16+00	E4, 31 OF 40
ELECTRICAL PLAN - STA "KR" 16+00 TO STA "KR" 21+00 KARL REISHUS BLVD TO STA "KS" 32+00 & STA "G" 51+00	E5, 32 OF 40
ELECTRICAL PLAN - STA "KR" 21+00 TO EOP KARL REISHUS BLVD TO STA "Y" 72+00	E6, 33 OF 40
ELECTRICAL PLAN - STA "KS" 32+00 TO STA "KS" 36+75	E7, 34 OF 40
ELECTRICAL PLAN - STA "G" 51+00 TO STA "G" 56+00 & STA "KS" 36+75 TO GUWAKAAN STREET	E8, 35 OF 40
ELECTRICAL PLAN - STA "G" 56+00 TO EOP GUWAKAAN STREET TO STA "KL" 101+50	E9, 36 OF 40
ELECTRICAL PLAN - STA "Y" 72+00 TO STA "Y" 75+50	E10, 37 OF 40
ELECTRICAL PLAN - STA "Y" 75+50 TO EOP STA "KL" 101+50 TO YAN STREET	E11, 38 OF 40
LOAD CENTER DETAILS	E12, 39 OF 40
LIGHT POLE DETAILS	E13, 40 OF 40

SHEET NO.

1
of
40

C:\CH\30 Projects\2\70687-01\CH\SC14-C1-LD-70687.dwg 2017-5-25 15:38:35

Attachment C: Subdivision Design

LEGEND

DESCRIPTION	EXISTING	REMOVE	PROPOSED
BURIED ELECTRICAL UTILITIES			
CATCH BASIN			
CONTROL POINT			
CURB & GUTTER			
CUT LIMITS			
FIRE HYDRANT			
HOUSE NO			
MAILBOX			
PROJECT CONTROL LINE			
PROPERTY LINE			
SANITARY SEWER PIPE			
SANITARY SEWER MANHOLE			
SIGN			SEE SIGN ASSEMBLY TABLE
STORM DRAIN PIPE			
STORM DRAIN MANHOLE			
SURVEY MONUMENT-REBAR W/ PLASTIC CAP			
TREE CONIFER			
TREE DECIDUOUS			
WATER LINE PIPE			
WATER VALVE BOX			

ABBREVIATIONS

AC	ASPHALT CONCRETE
BVC	BEGIN VERTICAL CURVE
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED POLYETHYLENE PIPE
CONC	CONCRETE
CTE	CONNECT TO EXISTING
DI	DUCTILE IRON
DIA	DIAMETER
EVC	END VERTICAL CURVE
FG	FINISHED GRADE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
INV	INVERT
LG	LIP OF GUTTER
LP	LOW POINT
LT	LEFT
MH	MANHOLE
MN	MAGNETIC NAIL
MTE	MATCH TO EXISTING
NO	NUMBER
NTS	NOT TO SCALE
PC	POINT OF CURVATURE
PRC	POINT OF REVERSE CURVATURE
PSI	POUNDS PER SQUARE INCH
PT	POINT OF TANGENT
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
RT	RIGHT
STA	STATION
STD	STANDARD
TBC	TOP BACK OF CURB
TBG	TOP BACK OF GUTTER
TP	TOP OF PAVEMENT
TSW	TOP OF SIDEWALK
TYP	TYPICAL

ABBREVIATIONS TO BE USED WITHOUT PERIODS

GENERAL NOTES

1. LARGE BOULDERS, BEDROCK, STUMPS, LOGS, ORGANICS AND GROUND WATER MAY BE ENCOUNTERED AT VARIOUS DEPTHS DURING TRENCHING AND ROADWAY EXCAVATION OPERATIONS. THESE MATERIALS SHALL BE DISPOSED OF AS REQUIRED BY THE ENGINEER.
2. CBJ ENGINEERING STANDARD DETAILS 4TH EDITION - AUGUST 2011, IS MADE PART OF THIS CONTRACT, WITH CURRENT REVISIONS AS APPLICABLE.
3. EXISTING PIPE LOCATIONS ARE DERIVED FROM CBJ AS-BUILTS OR FIELD LOCATED. ACTUAL LOCATIONS MAY VARY FROM THOSE SHOWN. DEPTH OF SOME OF THE EXISTING PIPES SHOWN ON THE ELEVATIONS ARE ASSUMED. DIAL BEFORE YOU DIG 586-1333.
4. GRADING AND ALIGNMENT ARE SUBJECT TO MINOR REVISIONS BY THE ENGINEER. LOCATION OF PROPOSED WATER AND STORM DRAINAGE FACILITIES ARE SUBJECT TO MINOR REVISIONS BY THE ENGINEER. PROVIDE KNOCKOUTS IN CATCH BASINS FOR ALL PIPES SHOWN ON THE PLANS.
5. THE CONTRACTOR SHALL NOTIFY CBJ WATER UTILITIES AT 780-6888 OF PROPOSED WATER SERVICE INTERRUPTION AND SUBMIT THE "WATER SYSTEM SPECIAL USE PERMIT" TO CBJ WATER UTILITIES SUPERINTENDENT FOR APPROVAL AT LEAST 48 HOURS PRIOR TO SHUTDOWN OR FLUSHING OF MAINLINE WATER PIPE. NO WATER SERVICE INTERRUPTION MAY PROCEED UNTIL THIS APPROVAL IS OBTAINED.
6. CONTRACTOR SHALL REFERENCE ALL EXISTING PROPERTY CORNER MONUMENTS (I.E. BRASS CAP MONUMENTS, REBARS, CONCRETE NAILS, CHISELED X's) PRIOR TO CONSTRUCTION AND REMONUMENT AFTER SURFACING IS REPLACED. EXISTING SURVEY MONUMENTS MAY NOT BE SHOWN ON THE DRAWINGS. ALL WORK SHALL BE DONE BY, OR UNDER THE DIRECTION OF, AN ALASKA REGISTERED LAND SURVEYOR.
7. ALL ASPHALT PAVEMENT TO BE REMOVED AND DISPOSED OF SHALL BE DELIVERED TO A STOCKPILE AREA AT THE LEMON CREEK CITY PIT TO BE DESIGNATED BY THE ENGINEER. CONTACT THE ENGINEER FOR THE EXACT LOCATION OF THE STOCKPILE.
8. AEL&P, ACS, AND GCI MAY CONDUCT WORK WITHIN THE PROJECT LIMITS TO INSTALL UTILITIES. THE CONTRACTOR SHALL COORDINATE ITS ACTIVITIES WITH EACH UTILITY COMPANY AND PROVIDE ACCESS AS NECESSARY FOR UTILITY COMPANIES TO CONDUCT THEIR WORK.
9. ONLY HORIZONTAL ELBOW FITTINGS (BENDS) ARE SHOWN (NOT ALL ARE LABELED) ON DRAWINGS. ADDITIONAL FITTINGS WILL BE REQUIRED FOR VERTICAL DEFLECTIONS NEAR CONNECTIONS TO EXISTING PIPES, AND AT OTHER LOCATIONS REQUIRING GRADE CHANGES TO AVOID CONFLICTS
10. THE USE OF GROUT AND QUICKSET CEMENT PRODUCTS WITH ADJUSTING RINGS, BRICKS, WOOD, STONES AND OTHER SIMILAR GRADE ADJUSTMENT DEVICES TO SUPPORT CATCH BASIN FRAMES OVER CATCH BASINS AND MANHOLES WILL NOT BE PERMITTED. SEE THE STANDARD DETAILS AND SECTION 02602 - STORM SEWER MANHOLES, INLETS AND CATCH BASINS FOR CATCH BASIN SUPPORT REQUIREMENTS. CATCH BASIN FRAME AND GRATES SHALL BE SET AT 6-3/4" BELOW TOP BACK OF CURB ELEVATION, WITH 3' LONG CONCRETE GUTTER TRANSITIONS TO BOTH SIDES OF GRATE.
11. THE CONTRACTOR SHALL ARRANGE FOR ELECTRICAL UTILITY LOCATES PRIOR TO ANY EXCAVATION. UNDERGROUND ELECTRICAL UTILITIES, IF SHOWN ON THE DRAWINGS, INDICATE THEIR EXISTENCE ONLY, AND MAY NOT SHOW THE ACTUAL LOCATION. OTHER BURIED ELECTRICAL UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THE DRAWINGS. DIAL BEFORE YOU DIG AT 586-1333.



5368 COMMERCIAL BOULEVARD
JUNEAU, ALASKA 99801
907-780-3533
AECL848

Consulting Engineers • Land Surveyors • Construction Administration
JOB No. J70687.01 DRAWN BY: STAFF DESIGNED BY: STAFF CHECKED BY: STAFF DATE: MAY 2017

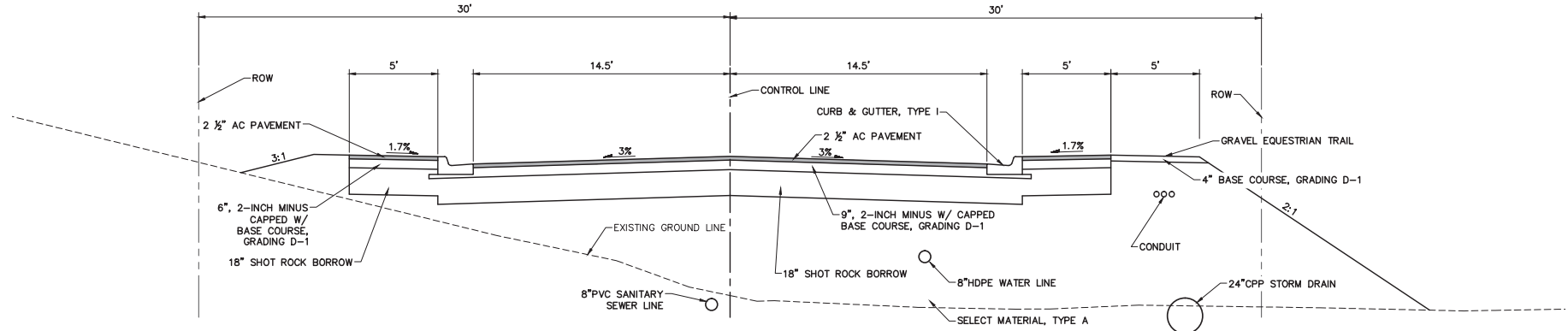


DEPARTMENT OF ENGINEERING

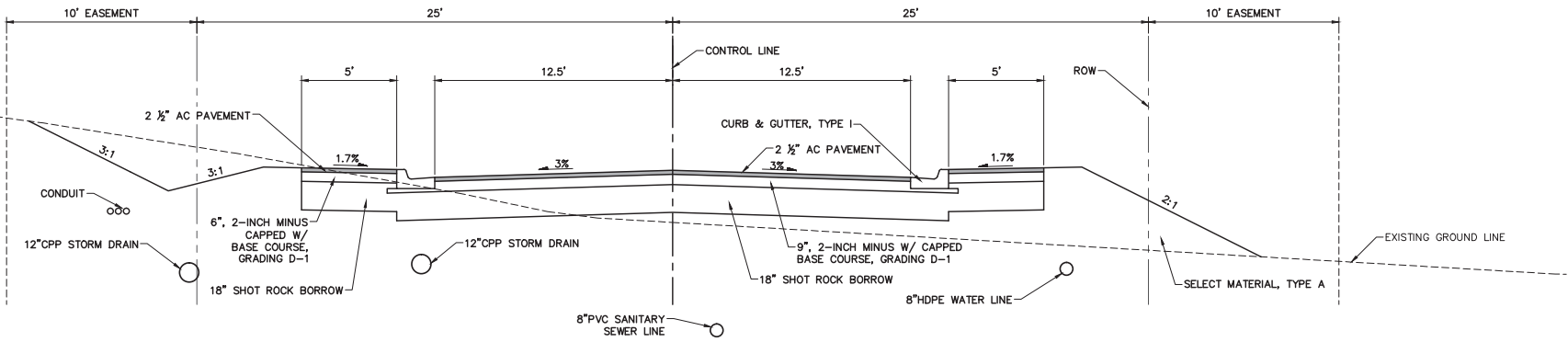
65% SUBMITTAL
PEDERSON HILL
SUBDIVISION DESIGN
CONTRACT No.

LEGEND, ABBREVIATIONS,
AND GENERAL NOTES

SHEET NO.
2
of
40



TYPICAL SECTION
KARL REISHUS BOULEVARD
NTS



TYPICAL SECTION
KWALX STREET, GUWAKAAN STREET, KEISHISH LANE & YAN STREET
NTS



5368 COMMERCIAL BOULEVARD
JUNEAU, ALASKA 99801
907-780-3533
AECL848

Consulting Engineers • Land Surveyors • Construction Administration



65% SUBMITTAL
PEDERSON HILL
SUBDIVISION DESIGN
CONTRACT No.

TYPICAL SECTIONS

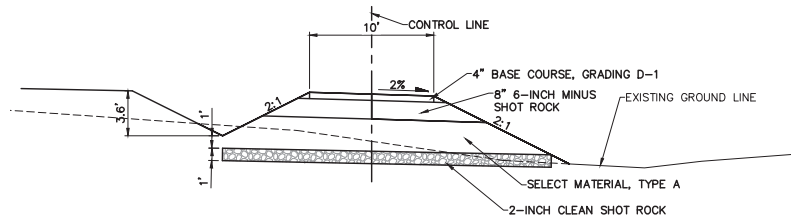
SHEET NO.

3
of
40

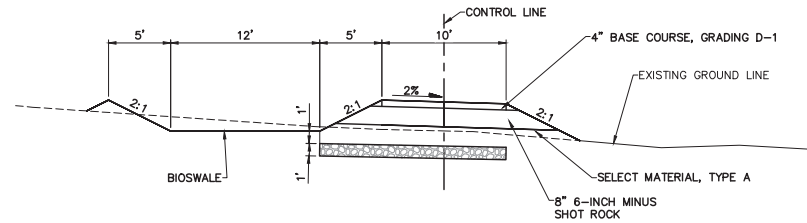
JOB No. J70687.01 | DRAWN BY: STAFF | DESIGNED BY: STAFF | CHECKED BY: STAFF | DATE: MAY 2017

C:\CH\30 Projects\2\70687-01\CH\SC14-C1-TS-70687.dwg 2017-5-25 15:42:42

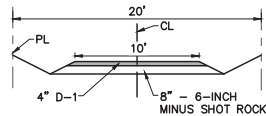
Attachment C: Subdivision Design



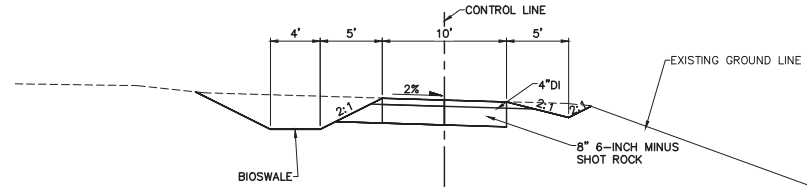
EQUESTRIAN TRAIL WITH RAINGARDEN
STA "E" 200+90 TO STA "E" 201+90
NTS



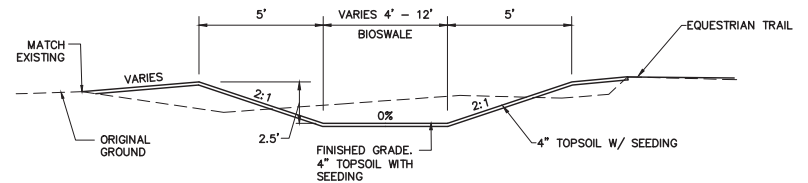
EQUESTRIAN TRAIL WITH BIOSWALE
STA "E" 203+50 TO STA "E" 206+90
NTS



WILD ROSE WALK



EQUESTRIAN TRAIL WITH BIOSWALE
STA "E" 206+90 TO STA "E" 217+00
NTS



BIOSWALE DETAIL

NTS



5368 COMMERCIAL BOULEVARD
JUNEAU, ALASKA 99801
907-780-3533
AECL848

Consulting Engineers • Land Surveyors • Construction Administration

JOB No. J70687.01 | DRAWN BY: STAFF | DESIGNED BY: STAFF | CHECKED BY: STAFF | DATE: MAY 2017



DEPARTMENT OF ENGINEERING

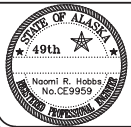
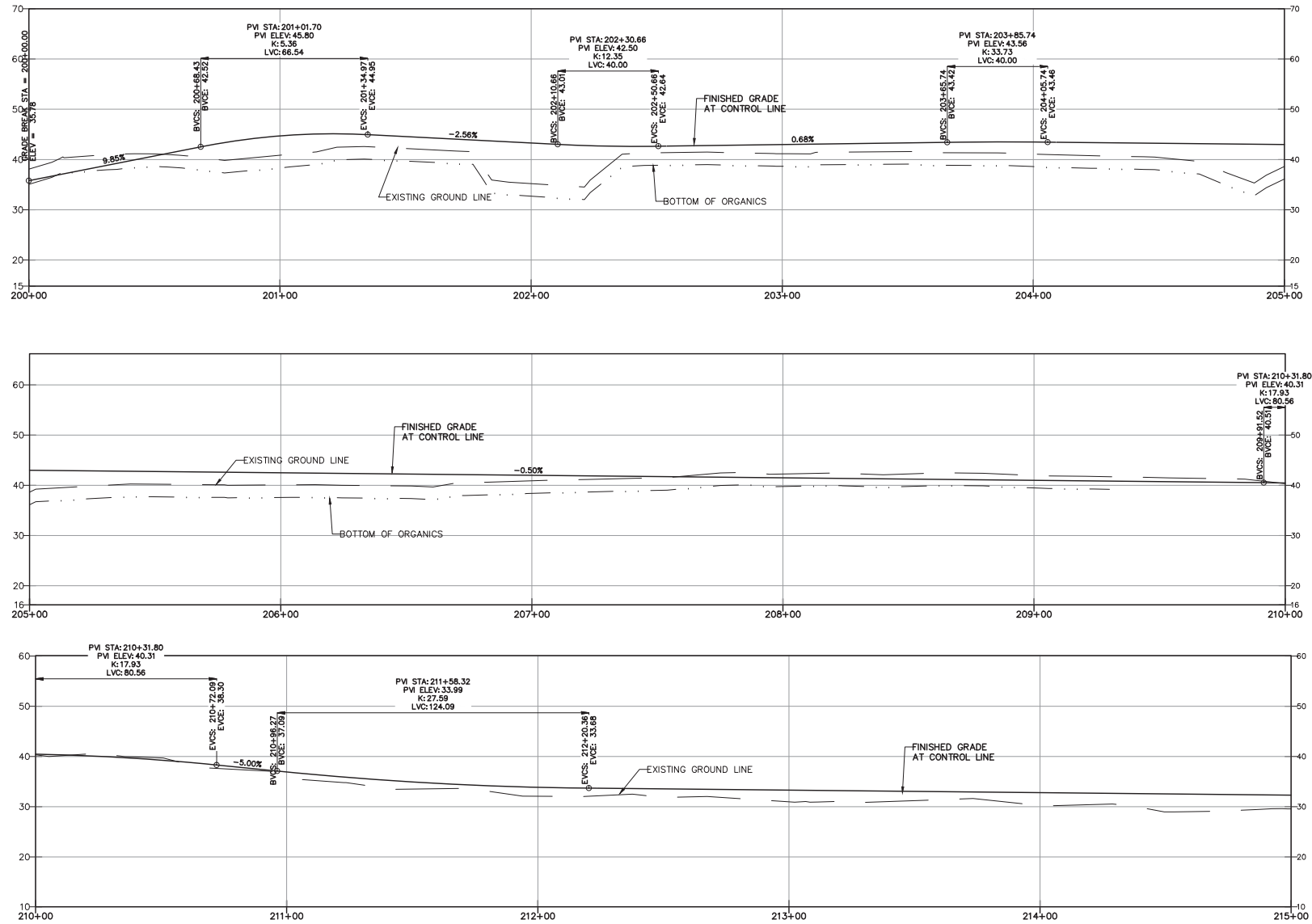
65% SUBMITTAL
PEDERSON HILL
SUBDIVISION DESIGN
CONTRACT No.

TYPICAL SECTIONS

SHEET NO.

4
of
40

Attachment C: Subdivision Design



5368 COMMERCIAL BOULEVARD
JUNEAU, ALASKA 99801
907-780-3533
AELB48

Consulting Engineers • Land Surveyors • Construction Administration
JOB No. J70687.01 DRAWN BY: STAFF DESIGNED BY: STAFF CHECKED BY: STAFF DATE: MAY 2017



DEPARTMENT OF ENGINEERING

65% SUBMITTAL
PEDERSON HILL
SUBDIVISION DESIGN
CONTRACT No.

PROFILE -
EQUESTRIAN TRAIL

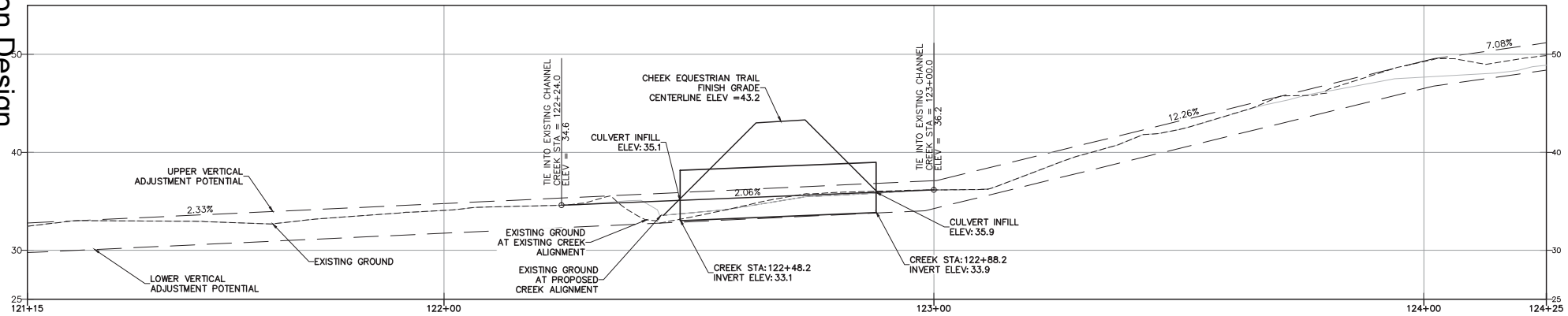
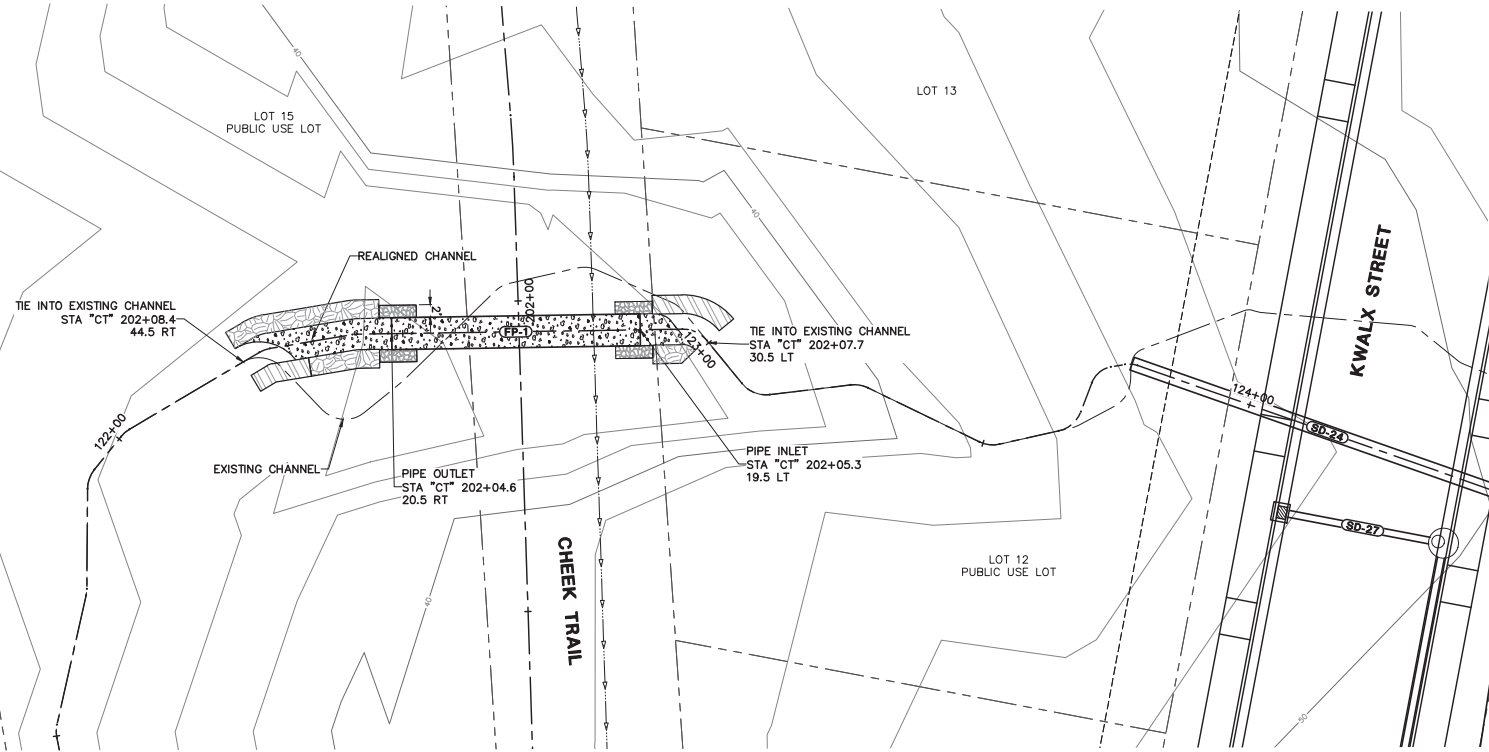
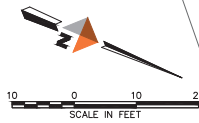
SHEET NO.

26
of
40

C:\CH\30 Projects\2\70687-01\Hydrology\SC14-CH-FP-70687.dwg 2017-5-25 16:24:57

Attachment C: Subdivision Design

- PROTECT EXISTING VEGETATION OR RECONSTRUCT BANK
- CONSTRUCTED BANK
- RIPRAP
- CULVERT INFILL
- PROPOSED PIPE



5368 COMMERCIAL BOULEVARD
JUNEAU, ALASKA 99801
907-780-3533
AECL848

Consulting Engineers • Land Surveyors • Construction Administration

JOB No. J70687.01 | DRAWN BY: STAFF | DESIGNED BY: STAFF | CHECKED BY: STAFF | DATE: MAY 2017

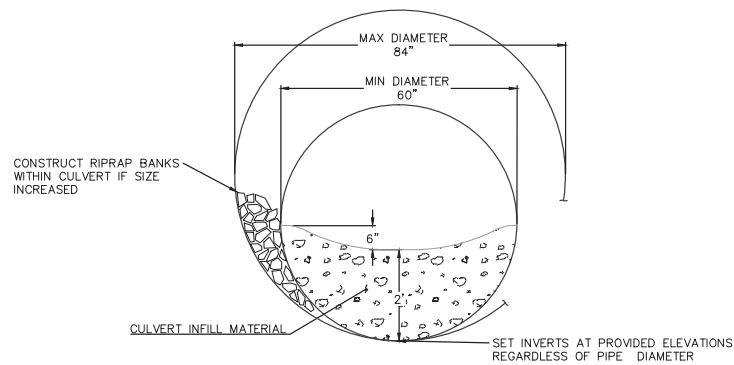


DEPARTMENT OF ENGINEERING

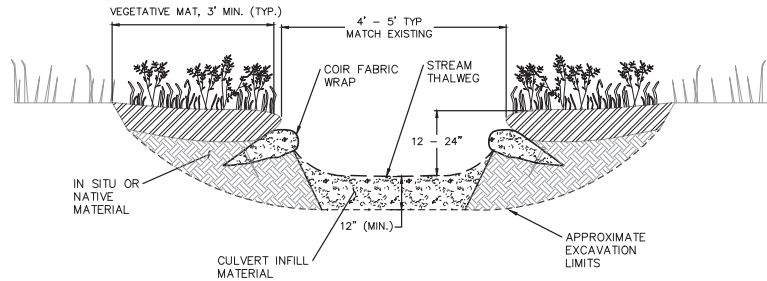
65% SUBMITTAL
PEDERSON HILL
SUBDIVISION DESIGN
CONTRACT No.

FISH PASSAGE
PLAN AND PROFILE

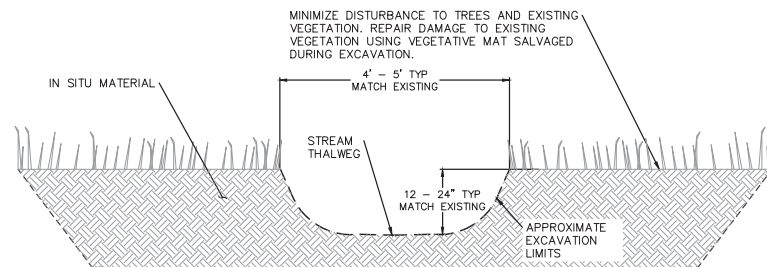
SHEET NO.
26
of
40



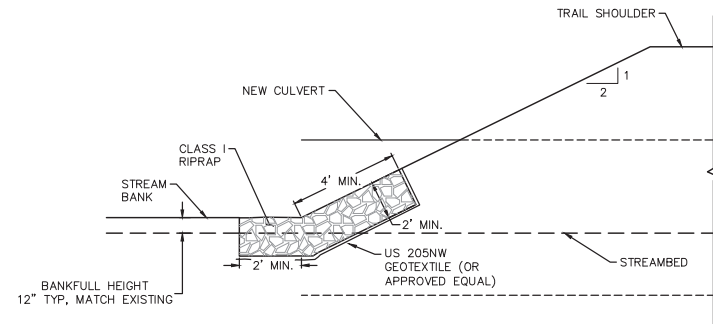
**FIGURE 1
CULVERT TYPICAL SECTION**



**FIGURE 2
STREAM TYPICAL SECTION WITH CONSTRUCTED BANKS**



**FIGURE 3
STREAM TYPICAL SECTION WITH PROTECTED EXISTING VEGETATION**



**FIGURE 4
INLET AND OUTLET SLOPE PROTECTION**

CULVERT NOTES:

1. FOR EASE OF INFILL, CONTRACTOR MAY SUBSTITUTE A LARGER DIAMETER PIPE, PROVIDED THAT THE SUBSTITUTED PIPE IS WITHIN THE SIZE LIMITS PROVIDED AND GAGE IS INCREASED AS APPROPRIATE FOR THE SPECIFIED LOADING. NO PRICE ADJUSTMENT WILL BE MADE FOR ADDITIONAL EXCAVATION, INFILL, RIPRAP, OR PIPE MATERIAL.
2. CULVERT JOINTS SHOULD NOT LEAK.
3. BACKFILL SHALL BE PLACED AND COMPACTED WITH CARE AND SHALL BE BROUGHT UP EVENLY AND SIMULTANEOUSLY ON BOTH SIDES OF PIPE.
4. CULVERT INFILL MATERIAL SHALL BE INSTALLED IN PIPE ACCORDING TO PLANS. MANUAL INSTALLATION IS REQUIRED.

CULVERT INFILL NOTES:

1. CULVERT INFILL MATERIAL MAY BE PREPARED BY MIXING EQUAL PARTS BY VOLUME:
 - POROUS BACKFILL MATERIAL
 - USABLE EXCAVATION OR UNCLASSIFIED MATERIAL RICH IN FINES
 - DITCH LINING MATERIAL
2. SALVAGED STREAMBED MATERIAL MAY BE ADDED AT ANY RATIO.
3. CONSTRUCT CHANNEL BED LEAVING A ROUGH, UNEVEN SURFACE.
3. CULVERT INFILL MATERIAL SHALL BE INSTALLED IN PIPE ACCORDING TO PLANS. MANUAL INSTALLATION IS REQUIRED.

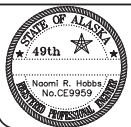
CHANNEL NOTES:

1. CONSTRUCT CHANNEL BED LEAVING A ROUGH, UNEVEN SURFACE WITH A DEPRESSION IN THE MIDDLE FOR LOW FLOW.
2. ALL VEGETATION IN THE AREAS NOT AFFECTED BY WORK SHALL BE PRESERVED AND PROTECTED BY THE CONTRACTOR. RESEED ALL DISTURBED AREAS.
3. TIE CONSTRUCTED STREAMBANKS INTO EXISTING STREAMBANKS AT THE LOCATIONS SHOWN OR AS DIRECTED BY ENGINEER.
4. SALVAGE VEGETATIVE MAT WITH A MINIMUM THICKNESS OF 12 INCHES FROM THE DISTURBANCE AREA OR THE LOCAL AREA.
5. IF LOSS OF TOPSOIL DURING HANDLING AND STOCKPILING REDUCES MAT THICKNESS TO LESS THAN 12 INCHES, PLACE ADDITIONAL TOPSOIL OR NATIVE MATERIAL BENEATH MAT TO BRING TOTAL THICKNESS OF VEGETATIVE MAT TO 12 INCHES.
6. PLACE VEGETATIVE MATS TIGHTLY TOGETHER TO MINIMIZE GAPS BETWEEN PIECES OF MAT.
7. FILL SURFACE VOIDS IN RIPRAP SLOPE PROTECTION WITH UNCLASSIFIED FILL THEN SEED.

MEASUREMENT AND PAYMENT

STREAM DIVERSION, EXCAVATION, DEWATERING, BANK CONSTRUCTION, AND CULVERT INFILL (INCLUDING RIPRAP BANKS WITHIN CULVERT IF PIPE SIZE INCREASED) ARE SUBSIDIARY TO PIPE.

CULVERT SUMMARY SCHEDULE	
SIZE	60" ROUND
LENGTH	40'
CORRUGATION	3" X 1"
MATERIAL	ALUMINUM
THICKNESS	0.060" (16 GA)
INCREASE TO 12 GA FOR 84" DIAMETER	



5368 COMMERCIAL BOULEVARD
JUNEAU, ALASKA 99801
907-780-3533
AECL848

Consulting Engineers • Land Surveyors • Construction Administration

JOB NO. J70687.01 | DRAWN BY: STAFF | DESIGNED BY: STAFF | CHECKED BY: STAFF | DATE: MAY 2017



DEPARTMENT OF ENGINEERING

**65% SUBMITTAL
PEDERSON HILL
SUBDIVISION DESIGN
CONTRACT No.**

**FISH PASSAGE
DETAILS**

SHEET NO.

**27
of
40**

PEDERSON HILL SUBDIVISION

JUNEAU, ALASKA - MAY, 2017

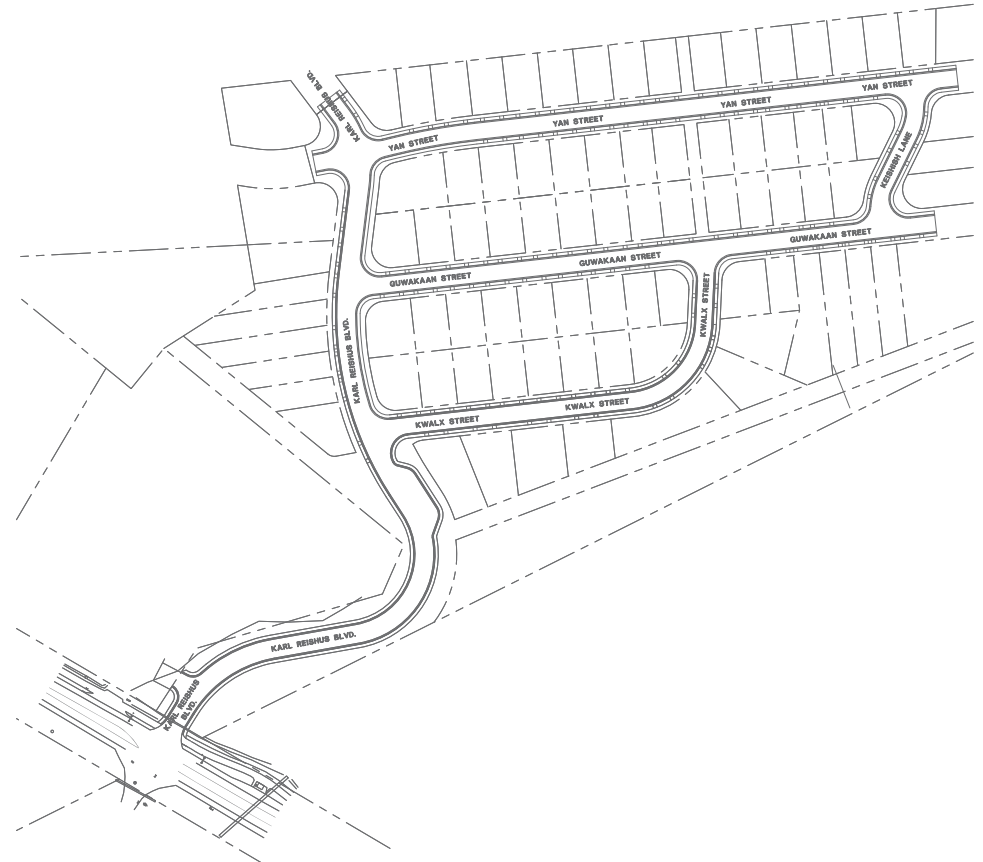
Attachment C: Subdivision Design

INDEX	
SHEET NUMBER	SHEET TITLE
E1	TITLE, INDEX, LEGEND & GENERAL NOTES
E2	PEDERSON HILL - ELECTRICAL LAYOUT
E3	ELECTRICAL PLAN - GLACIER HIGHWAY TO STA "KR" 11+00
E4	ELECTRICAL PLAN - STA "KR" 11+00 TO STA "KR" 16+00
E5	ELECTRICAL PLAN - STA "KR" 16+00 TO STA "KR" 21+00 KARL REISHUS BLVD TO STA "KS" 32+00 & STA "G" 51+00
E6	ELECTRICAL PLAN - STA "KR" 21+00 EOP KARL REISHUS BLVD TO STA "Y" 72+00
E7	ELECTRICAL PLAN - STA "KS" 32+00 TO STA "KS" 36+75
E8	ELECTRICAL PLAN - STA "G" 51+00 TO STA "G" 56+00 & STA "KS" 36+75 TO GUWAKAAN STREET
E9	ELECTRICAL PLAN - STA "G" 56+00 TO EOP GUWAKAAN STREET TO STA "KL" 101+50
E10	ELECTRICAL PLAN - STA "Y" 72+00 TO STA "Y" 75+50
E11	ELECTRICAL PLAN - STA "Y" 75+50 TO EOP STA "KL" 101+50 TO YAN STREET
E12	LOAD CENTER DETAILS
E13	LIGHT POLE DETAILS

LEGEND	
CKT	CIRCUIT
C/B	CIRCUIT BREAKER
	CIRCUIT BREAKER (AMPS/POLES)
	CONTACTOR
GND	GROUND
HOA	HAND-OFF-AUTO
	HAND-OFF-AUTO SWITCH
	LIGHTING CONTACTOR
	LIGHT POLE WITH LUMINAIRE
	METER
NEC	NATIONAL ELECTRICAL CODE
	PHOTOCELL
	RECEPTACLE
TYP-#	TYPICAL

GENERAL NOTES:

- PERFORM ALL WORK PER NATIONAL ELECTRICAL CODE (NEC), 2017 EDITION.
- PERFORM ALL WORK AS SHOWN ON DRAWINGS AND AS REQUIRED TO PROVIDE OPERATIONAL SYSTEMS.
- COORDINATE WITH POWER, TELEPHONE, AND TELEVISION UTILITIES TO ALLOW THEM TO PERFORM THEIR WORK. UTILITY WORK WILL BE PAID FOR BY OTHERS. DO NOT INSTALL ANYTHING IN CONFLICT WITH UTILITIES. BRING ALL CONFLICTS TO THE ATTENTION OF THE ENGINEER. OBTAIN LOCATES BEFORE WORKING TO AVOID NEWLY INSTALLED UTILITIES.
- ALL CONDUIT SHALL BE SCHEDULE 40 PVC EXCEPT ALL ROAD CROSSINGS SHALL BE SCHEDULE 80 PVC. PROVIDE SCHEDULE 80 PVC WITHIN 10' OF LIGHT POLE FOUNDATIONS, TYPE 1A JUNCTION BOXES AND CONCRETE STRUCTURES.
- ALL WIRING SHALL BE IN CABLE WITH COPPER CONDUCTOR, 600V RATED XHHW INSULATION, AND OVERALL PVC JACKET. PROVIDE ADDITIONAL BARE GROUND. USE BARE GROUND TO GROUND TYPE 1A JUNCTION BOXES, LIGHT POLES, FOUNDATIONS, ETC. BOND GROUND INSIDE CABLE TO LOAD CENTER AND LIGHT POLES.



Consulting Engineers • Land Surveyors • Construction Administration

5368 COMMERCIAL BOULEVARD
JUNEAU, ALASKA 99801
907-780-3533
AECL648



DEPARTMENT OF ENGINEERING

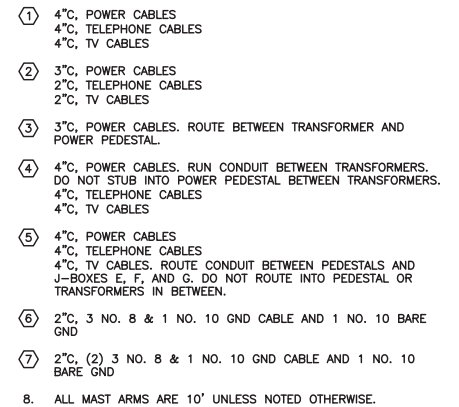
65% SUBMITTAL
PEDERSON HILL
SUBDIVISION DESIGN
CONTRACT No.

**TITLE, INDEX, LEGEND &
GENERAL NOTES**

SHEET NO.

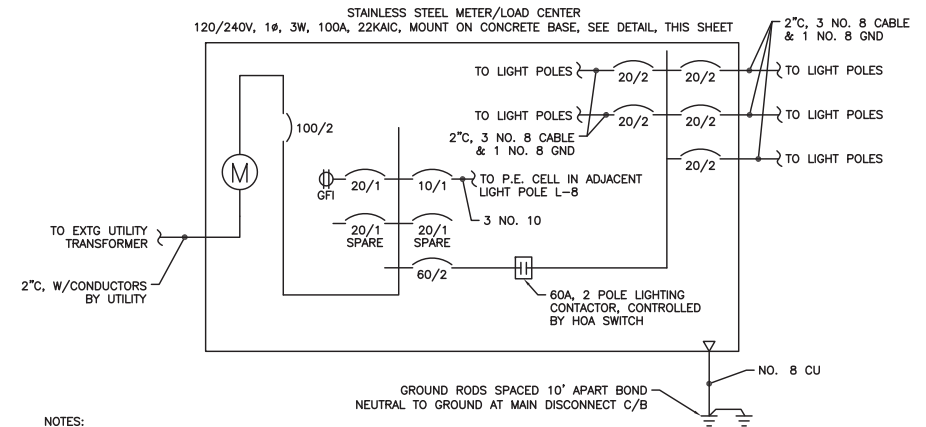
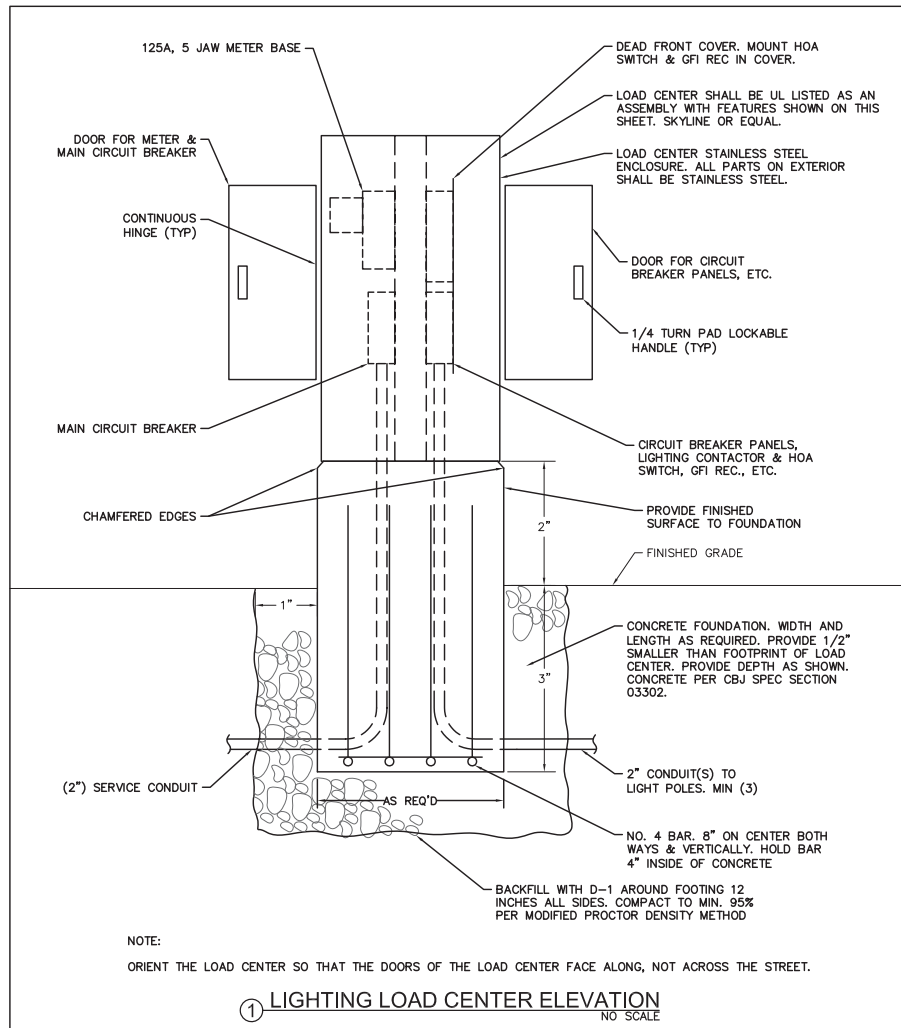
E1
of
40

JOB No. J70687.01 | DRAWN BY: STAFF | DESIGNED BY: STAFF | CHECKED BY: STAFF | DATE: MAY 2017



x:\120 dowl engineering\120 pederson hill subdivision\working\load center details.dwg 2017-5-25 14:43:11

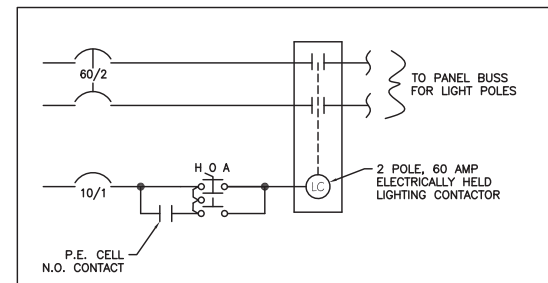
Attachment C: Subdivision Design



NOTES:

1. THE LIGHTING CONTACTOR SHALL BE CONTROLLED BY THE P.E. CELL WHEN THE HOA SWITCH IS IN THE AUTOMATIC POSITION.
2. A STATE OF ALASKA DOT/PF STANDARD LOAD CENTER FOR HIGHWAY ILLUMINATION MAY BE SUBSTITUTED FOR THE LOAD CENTER SHOWN. COMPLY WITH THE ELECTRICAL REQUIREMENTS SHOWN.
3. INSTALL GROUNDING HUBS, THIRD PARTY CERTIFIED FOR WET LOCATIONS (MYERS TYPE), WHEN ATTACHING CONDUITS TO THE LOAD CENTER ENCLOSURE.
4. LABEL ALL CIRCUIT BREAKERS AS TO FUNCTION AND POSITION. LABEL THE SELECTOR SWITCH "LIGHTING" AND ITS POSITIONS "ON-OFF-AUTO".
5. STORE A SCHEMATIC DIAGRAM, A CIRCUIT DIRECTORY, AND A MATERIALS LIST THAT INCLUDES THE MANUFACTURER'S NAME AND PART/CATALOG NUMBERS, ALL LAMINATED IN PLASTIC, IN A METAL POCKET ATTACHED TO THE INSIDE OF THE LOAD CENTER. INSTALL THE POCKET ON THE LOAD CENTER DOOR AND PROVIDE DRAIN HOLES IN THE LOAD CENTER TO PREVENT WATER ACCUMULATION.

② SINGLE LINE DIAGRAM - LTG LOAD CENTER NO SCALE



③ HOA SWITCH CONTROL SCHEMATIC NO SCALE



Consulting Engineers • Land Surveyors • Construction Administration

JOB No. J70687.01 | DRAWN BY: STAFF | DESIGNED BY: STAFF | CHECKED BY: STAFF | DATE: MAY 2017

5368 COMMERCIAL BOULEVARD
JUNEAU, ALASKA 99801
907-780-3533
AECL648



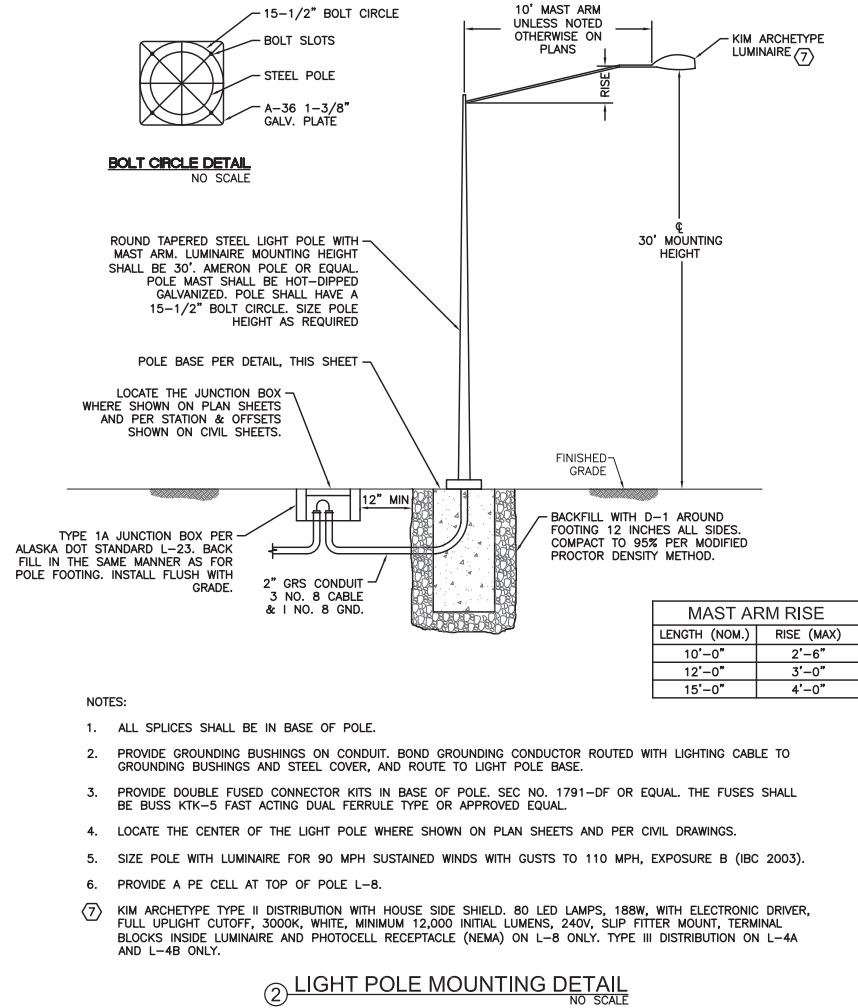
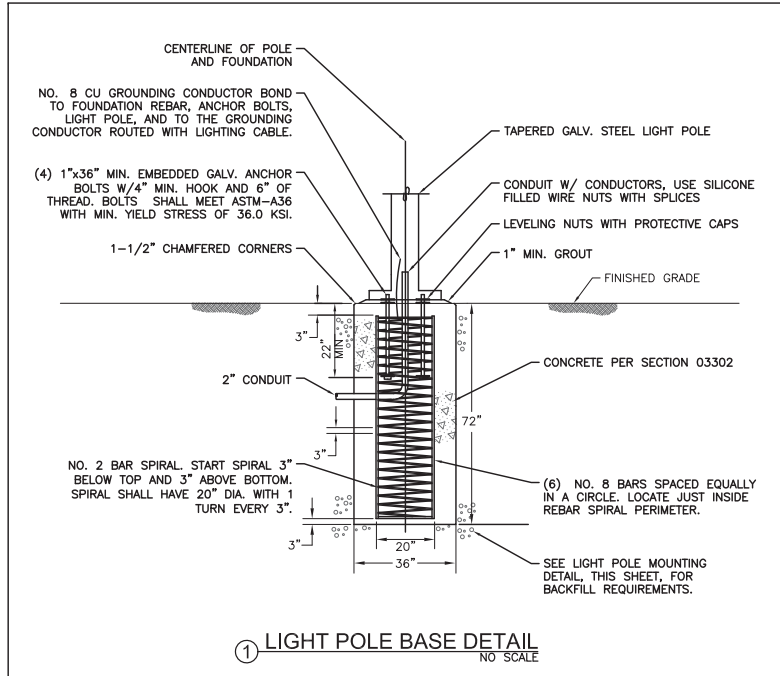
DEPARTMENT OF ENGINEERING

65% SUBMITTAL
PEDERSON HILL
SUBDIVISION DESIGN
CONTRACT No.

LOAD CENTER DETAILS

SHEET NO.

12
of
40



2375 Jordan Avenue #7, Juneau, AK 99801
Phone: 907-789-3350, License: AECL1010



Consulting Engineers • Land Surveyors • Construction Administration

5368 COMMERCIAL BOULEVARD
JUNEAU, ALASKA 99801
907-780-3533
AECL648



DEPARTMENT OF ENGINEERING

65% SUBMITTAL
PEDERSON HILL
SUBDIVISION DESIGN
CONTRACT No.

LIGHT POLE DETAILS

SHEET NO.

13
of
40

JOB No. J70687.01 | DRAWN BY: STAFF | DESIGNED BY: STAFF | CHECKED BY: STAFF | DATE: MAY 2017



(907) 586-0715
CDD_Admin@juneau.org
www.juneau.org/cdd
155 S. Seward Street • Juneau, Alaska 99801

DATE: February 8, 2017

TO: Planning Commission

FROM: Eric Feldt, Planner II, AICP, CFM
Community Development Department

FILE NO.: SMP2016 0002

PROPOSAL: A Preliminary Plat for Phase 1 Pederson Hill Subdivision resulting in 86 residential lots and 5 lots for preservation/park purposes.

This case was heard by the Planning Commission at the February 28, 2017 meeting. The full staff report and attachments, which in their entirety comprise Attachment D to SMP2017 0001, can be found by following this link:

<https://packet.cbjak.org/CoverSheet.aspx?ItemID=3708&MeetingID=498>



THE STATE
of **ALASKA**
GOVERNOR BILL WALKER

Department of Fish and Game

DIVISION OF WILDLIFE CONSERVATION
Southeast Region

802 3rd Street
P.O. Box 110024
Juneau, Alaska 99811-0024
Main: 907.465.4265
Fax: 907.465.4272

October 3, 2017

Ms. Jill Maclean
Senior Planner, AICP
City and Borough of Juneau
230 S. Franklin St.
Juneau, AK 99801

Ms. Maclean:

Thank you for considering our comments on Phase 1 of the Pederson Hill Subdivision. During public testimony at a February 28, 2017 meeting of the Juneau Assembly the ADF&G, Division of Wildlife Conservation (DWC) learned that the City and Borough of Juneau (CBJ) had already received ADF&G's comments on the project. However, the local DWC office was not asked to contribute to those comments. Regardless of where the Phase I development is in the approval process, DWC believes the project, future residents, and area wildlife can still benefit from our comments.

Currently, Pederson Hill and adjacent undeveloped lands provide habitat for a variety of wildlife including deer, black bears, wolves, coyotes, and recently moose. With this project CBJ proposes to develop 86 units of high-density affordable housing on the south side of Pederson Hill. After discussions with Greg Chaney, Lands and Resources Manager, we appreciate the visual and commitment by CBJ to leave undeveloped lands around the proposed subdivision available as wildlife travel corridors from Montana Creek to the Mendenhall Peninsula, Mendenhall Wetlands, and Douglas Island. We know these lands are within a heavily used corridor from animal sign in the area, road kills (deer, bears, wolf), and movements of one radio-collared bear. Wildlife will typically use greenbelt areas within urban environments as a source of refugia when available so any chance to maintain these areas would help reduce urban wildlife conflict situations.

In our experience even after development occur wildlife will continue to use historical travel corridors which will bring animals, primarily bears, into contact and perhaps conflict with future residents. Both CBJ and DWC resources are already overburdened responding to the current level of human- wildlife conflicts, so we believe steps should be taken in design of this and any new subdivision to minimize the potential for new conflicts before any houses are built. To ensure we maintain safe neighborhoods for both people and wildlife we offer the following ideas for minimizing effects on wildlife and the potential for conflicts between future residents of the subdivision and wildlife.

To mitigate wildlife conflicts we recommend that builders be required to include bear-proof trash structures sized to accommodate the larger trash and recycling cans with each house built. We understand that a borough-wide requirement would be ideal, but it would be difficult to enact. Limited staff and resources make enforcement of existing CBJ ordinances and subsequent management of nuisance urban wildlife (managed by the State) conditioned to trash difficult. We continue to believe

Ms. Jill Maclean, CBJ

- 2 -

October 3, 2017

there would be value in using this development as a demonstration project to evaluate the effectiveness of such a requirement. If residents use them and they are effective, it would be much easier to sell the idea as a borough-wide requirement. Alternately, perhaps the city could work with the local refuse company to aid in purchasing effective bear-resistant trash cans, such as the Kodiak Products KP95-HD can, for newly developed residential areas to minimize future human-bear conflicts.

Thanks again for considering our comments. I am available to work with CBJ staff in the design of bear resistant enclosures.

Stephanie K. Sell

Wildlife Biologist III

Alaska Department of Fish and Game

Division of Wildlife Conservation

P. O .Box 110024

Juneau, AK 99811-0024

907-465-4266 office

stephanie.sell@alaska.gov

cc: Jackie Timothy, ADF&G, Div. of Habitat, Juneau
Holly Zafian, ADF&G, Div. of Wildlife Conservation, Anchorage
Tom Schumacher, ADF&G, Div. of Wildlife Conservation, Juneau
Greg Chaney, CBJ, Lands Manager

From: [PC_Comments](#)
To: [Jill Maclean](#)
Subject: FW: Pederson Hill Subdivision
Date: Friday, September 22, 2017 8:19:14 AM

From: Bobbi Epperly [mailto:bepperly@gci.net]
Sent: Thursday, September 21, 2017 8:36 PM
To: PC_Comments
Subject: RE: Pederson Hill Subdivision

Case No: SMP2017 0001
Parcel No: 4B2201010101

Dear Jill Maclean and Assembly Members,

First off I'd like to thank you for revamping how you develop Pederson Hill. I am happy to hear that you've decided to divide phase one into three separate sub-phases. This will allow for CBJ to develop at the pace the market will bear. As a lifelong citizen of Juneau, it was very concerning to see CBJ leaders potentially losing 8.8 million dollars on a housing project when Alaska's economy is in a recession. Taking smaller steps and spending 3 million dollars for phase one is easier to accept, although I still feel that this is not the time for over building and spending money we don't have. Thank you.

I do have great concern with the proposed intersection light being placed at Sherwood Lane and Karl Reishus Blvd. I've lived on Pederson Hill my entire life, and I've witnessed many near accidents with drivers flying down the hill going faster than the posted speed limit of 50 MPH. I watched my school bus back in the 80's and 90's almost get rear ended numerous times as it stopped at Swampy Acres' driveway to pick me up. I myself have almost been rear ended many times making a left hand turn into my driveway at Swampy Acres. The high speed limit on Pederson Hill has been a problem for decades, and it's time to address it with the incoming new intersection. I am asking that you work with the State Highways Dept. to get the speed limit on Pederson Hill dropped to 40 MPH like it is once you crest over the hill to Auke Lake.

Sincerely,
Bobbi Epperly and James Pietan
Esther K. Epperly



Virus-free. www.avg.com

From: [PC_Comments](#)
To: [Jill Maclean](#)
Subject: FW: Pederson Hill Subdivision comments
Date: Thursday, September 28, 2017 11:41:13 AM

From: Katharine Savage [mailto:kkcandc@hotmail.com]
Sent: Thursday, September 21, 2017 7:20 AM
To: PC_Comments
Subject: Pederson Hill Subdivision comments

To the members of the Planning Commission and Juneau Assembly:

Greetings,

My husband, two kids and I have lived on Frank Maier Drive next to Pederson Hill for almost 20 years, we enjoy living there and we consider Frank Maier Drive our permanent neighborhood and home. I have reviewed the current Pederson Hill plat with both planner Jill Maclean and Deputy Lands and Resources Manager Dan Bleidorn and I am hoping you will consider the following requests/modifications.

I would like request that as few trees as possible are removed from the southernmost lot (#15 in the plat in use as of 9/20/2017 which includes the horse trail) and that lot #1 be kept as CBJ undeveloped property. I am making these requests for the following reasons:

1. We would like to preserve an element of privacy. Our back yard and patio directly face the southeast corner of the proposed subdivision and trees would continue to ensure our privacy.
2. As a wildlife biologist, I have recognized over the years that the area is a significant wildlife corridor between the forest and wetlands. It would be worthwhile preserving the integrity of the woods for this reason as much as possible.
3. Maintaining a corridor of trees would limit noise from the subdivision. Frank Maier Drive gets substantial traffic noise from the highway throughout the year and almost constant helicopter noise during summer months. It would be to everyone's benefit to limit any increase in noise as much as possible.

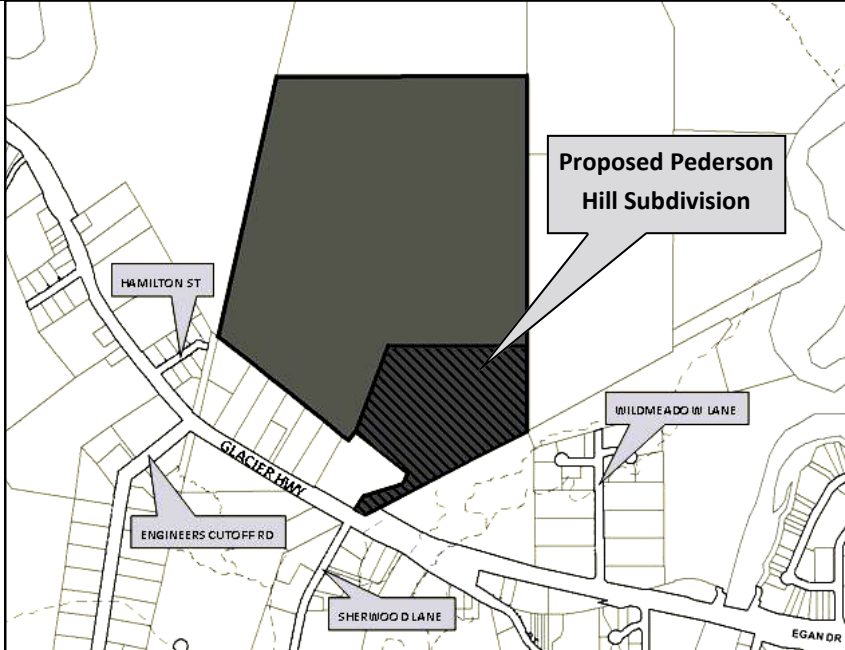
My husband and I support affordable housing in our community and we applaud Juneau for working towards this goal. At the same time, we feel that keeping the needs of established neighborhoods on the forefront as well leads to a positive outcome for all.

Thank you,

Katharine Savage and Chris Cunningham

Invitation to Comment

On a proposal to be heard by the CBJ Planning Commission
Your Community, Your Voice



COMMUNITY DEVELOPMENT

155 S. Seward Street Juneau, Alaska 99801

TO:

An application has been submitted for consideration and public hearing by the Planning Commission for a **modification to the Pederson Hill Subdivision preliminary plat** resulting in 86 residential lots and four lots for preservation/park purposes.

TIMELINE

Follow the case (staff report, hearing results, meeting minutes) at <http://www.juneau.org/assembly/novus.php>

Now through Sept. 22, 2017

Your comments to the Planner, Jill Maclean, will be included in the staff report.

September 23 through 3 pm, October 10

Your comments will be sent to Commissioners to read along with the staff report in preparation for the hearing.

HEARING DATE & TIME
7:00 pm, October 10, 2017

You may testify at the hearing in City Hall's Assembly Chambers, 155 S. Seward St., Juneau.

October 11

The results of the hearing will be posted online.

Phone: (907)586-0715 ♦ Email: pc_comments@juneau.org
Mail: Community Development, 155 S. Seward St, Juneau AK 99801

Case No.: SMP2017 0001
Parcel No.: 4B2201010101
CBJ Parcel Viewer: <http://epv.juneau.org>
Date notice was printed: September 12, 2017

SMP2017 0001 Modification to the Pederson Hill Preliminary Plat

Planning Commission Hearing
October 10, 2017



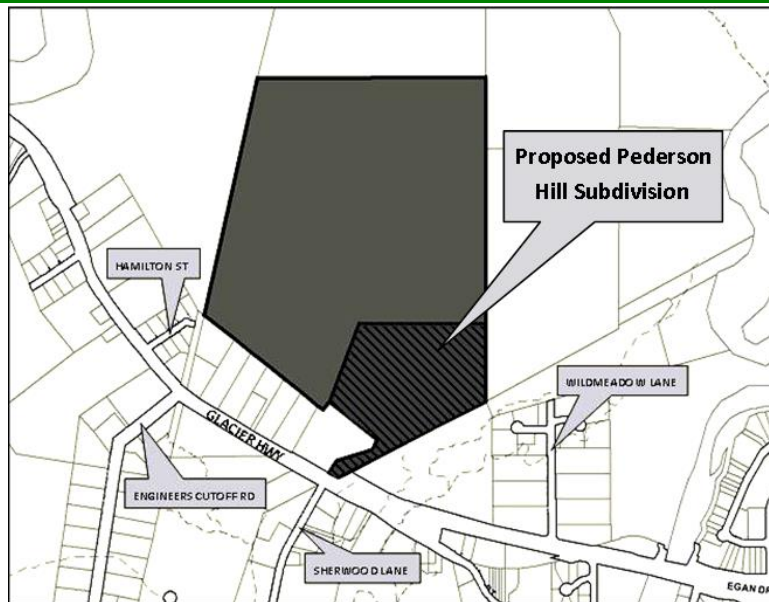
Property Info

Applicant / Property Owner: CBJ	Existing Land Use: Vacant
Site Location: Pederson Hill Lot 2	Surrounding Land Use: North – Vacant UAS (D1(T) D5)
Site Size: Approx. 120 acres Project Size: Approx. 20 acres	South – Vacant Sherwood Land (I)
Comprehensive Plan Land Use Designation: Medium Density Residential (MDR)	East – Vacant UAS (D1(T) – D5)
Zoning: D-10SF	West – Christ Evangelical Lutheran Church (D10)
Utilities: CBJ Water / Sewer	Access: Glacier Highway / Karl Reishus Blvd

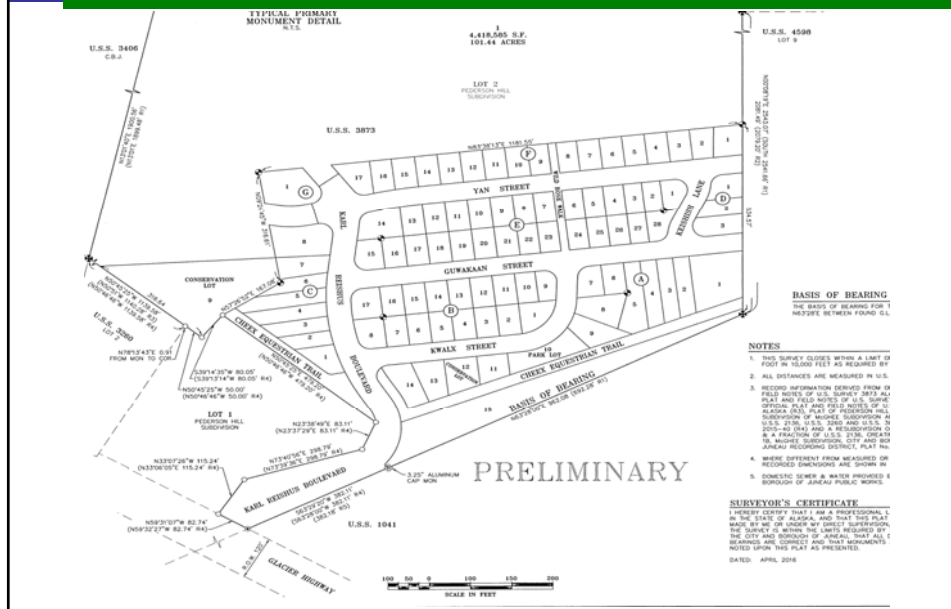
Proposal

- Modification to the Pederson Hill Preliminary Plat
- Due to internal financing mechanisms necessary to complete the project, the applicant is seeking to modify the approved subdivision into three phases of development – Phases 1A, 1B, and 1C.
- The subdivision remains essentially the same, except for a new emergency vehicle access via the Christ Evangelical Lutheran Church parking lot, rather than using the equestrian trail as previously intended.

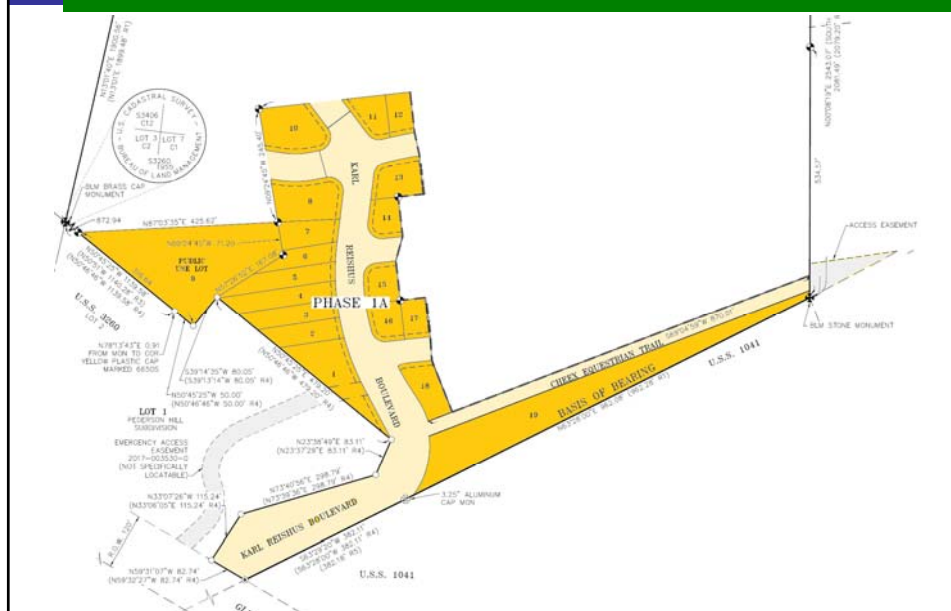
Vicinity Map



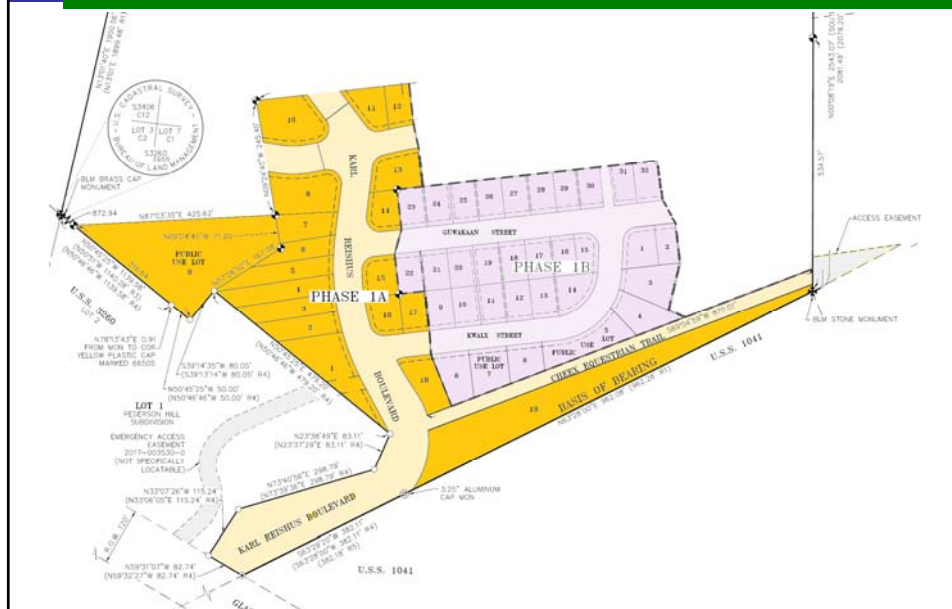
Preliminary Plat (SMP16-02)



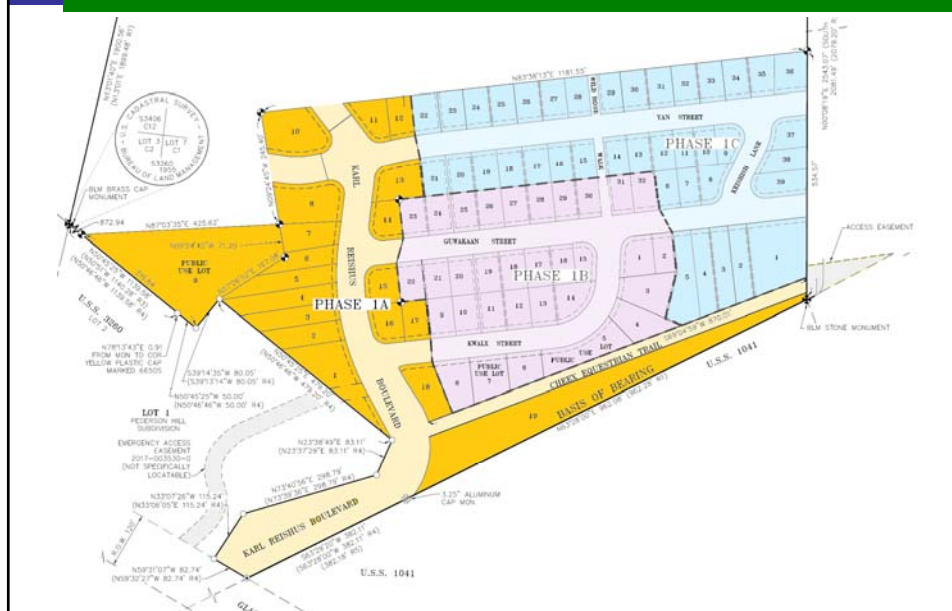
Phasing of Development



Phasing of Development



Phasing of Development





- 5

Background

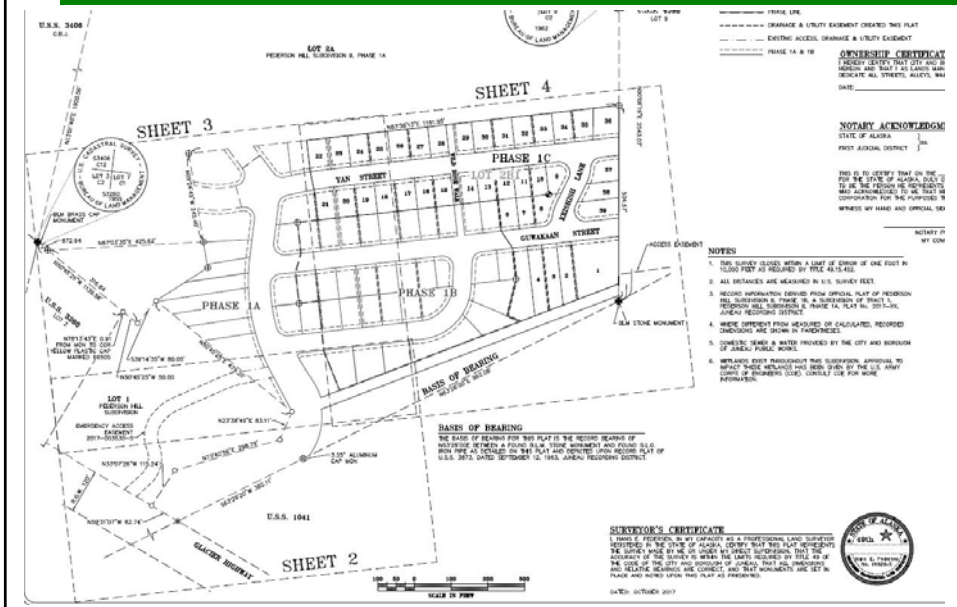
3. Prior to Construction Plan, the applicant shall submit an updated lot closure report. **(This condition has been met.)**
4. Prior to Construction Plan approval, the applicant shall submit another subdivision plat to ensure labels and naming are consistent throughout the plat sheets. **(The modified preliminary plat sheets are consistent. This condition has been met.)**
5. Remove labels 'Preservation Lot' and 'Park Lot' and replace with new plat note, as shown below. [Note: this is in reference to Condition 6.] **(The modified preliminary plat includes this note. This condition has been met.)**

Background

6. Prior to Final Plat approval, the applicant shall submit a draft plat with the following plat notes on the subdivision plat:
 - a. Plat Note: "Right-of-way access for Lots 1-7 Block C (modified on Phase 1A Lots 2-7) shall be restricted to common driveways for each pair of lots. Only one of the seven lots may have its own driveway that is not common to an adjacent lot." **(The modified preliminary plat includes this note. This condition has been met.)**
 - b. Plat Note: "Corner lots abutting Karl Reishus Boulevard shall have driveways limited to accessing a street other than Karl Reishus Boulevard." **(The modified preliminary plat includes this note. This condition has been met.)**
 - c. Plat Note: "Wetlands exist throughout this subdivision. Approval to impact these wetlands has been given by the US Army Corps of Engineers (COE). Consult COE for more information." **(The modified preliminary plat includes this note. This condition has been met.)**
 - d. Plat Note: "Lots 10 & 12 Block A and Lot 9 Block C (modified to Phase 1A Lot 9 and Phase 1B Lots 5, 7) shall be Public Use Lots. Restriction of building development, further subdivision, and other limitations or restrictions apply. **(The modified preliminary plat includes notes to this effect. This condition has been met.)**



Phase 1C Platform Notes



Background

7. Prior to Plat recording, the applicant shall submit documentation that places a permanent protected status on Lots 10 & 12 Block A and Lot 9 Block C (modified to Phase 1A Lot 9 and Phase 1B Lot 7) in accordance with 49.15.422.
8. Prior to Construction Plan approval, the applicant shall submit a design showing a drainage infrastructure that would allow fish passage through the equestrian trail east of Karl Reishus Boulevard. **(This condition has been met.)**
9. Prior to Construction Plan approval, the applicant shall submit a design showing a minimum 10-foot wide walking surface within the Wild Rose Walk ROW per 49.35.610(a). **(This condition has been met.)**

Background

10. Prior to Construction Plan approval, the applicant shall submit a lighting plan meeting applicable CBJ standards. **(This condition has been met.)**
11. Prior to Construction Plan approval, the applicant shall submit documentation ensuring compliance with section D107.1 of the International Fire Code. **(This condition has been met.)**

Agency Comment

- **Capital City Fire/Rescue:** *Capital City Fire Rescue has no objections to the Pederson Hill Subdivision proceeding as planned. The fire access and water requirements have been reviewed and are acceptable to the fire department.*
- **Alaska Dept. of Environmental Conservation:** *No issues at this time.*
- **Alaska Dept. of Fish and Game Habitat Division:** *No comments at this time (see Attachment A p.5 for Minutes from SMP2016-02 hearing on February 28, 2017).*

Agency Comment

- **Alaska Dept. of Fish and Game Wildlife Division:** *In our experience even after development occur wildlife will continue to use historical travel corridors which will bring animals, primarily bears, into contact and perhaps conflict with future residents. Both CBJ and DWC resources are already overburdened responding to the current level of human-wildlife conflicts, so we believe steps should be taken in design of this and any new subdivision to minimize the potential for new conflicts before any houses are built. To ensure we maintain safe neighborhoods for both people and wildlife we offer the following ideas for minimizing effects on wildlife and the potential for conflicts between future residents of the subdivision and wildlife.*

To mitigate wildlife conflicts we recommend that builders be required to include bear-proof trash structures sized to accommodate the larger trash and recycling cans with each house built. We understand that a borough-wide requirement would be ideal, but it would be difficult to enact. Limited staff and resources make enforcement of existing CBJ ordinances and subsequent management of nuisance urban wildlife (managed by the State) conditioned to trash difficult. We continue to believe there would be value in using this development as a demonstration project to evaluate the effectiveness of such a requirement. If residents use them and they are effective, it would be much easier to sell the idea as a borough-wide requirement. Alternately, perhaps the city could work with the local refuse company to aid in purchasing effective bear-resistant trash cans, such as the Kodiak Products KP95-HD can, for newly developed residential areas to minimize future human-bear conflicts.

These comments only reflect the division of wildlife conservation

Public Comment

- Bobbie Epperly, James Pietan and Esther K. Epperly:
Are concerned with over-building and spending funds that the city does not have but are more supportive of the phasing of the development, rather than developing the entire subdivision at once. There is concern with the proposed intersection at Karl Reishus Blvd and Sherwood Lane, and they request that the city work with DOT to lower the speed limit to 40MPH.
- Katherine Savage and Chris Cunningham (Frank Maier Drive):
Request that as few trees as possible are removed from the southernmost lot (previously Lot 15 in the original preliminary plat – bordering the Cheex Equestrian Trail, southwest corner) and that Lot ~~15~~ 19 (previously Lot 1 in the original preliminary plat) remain CBJ undeveloped property to afford more privacy, protect wildlife and wildlife corridors, and buffer noise. They support affordable housing, while keeping the needs of established neighborhoods on the forefront for a positive outcome for all.

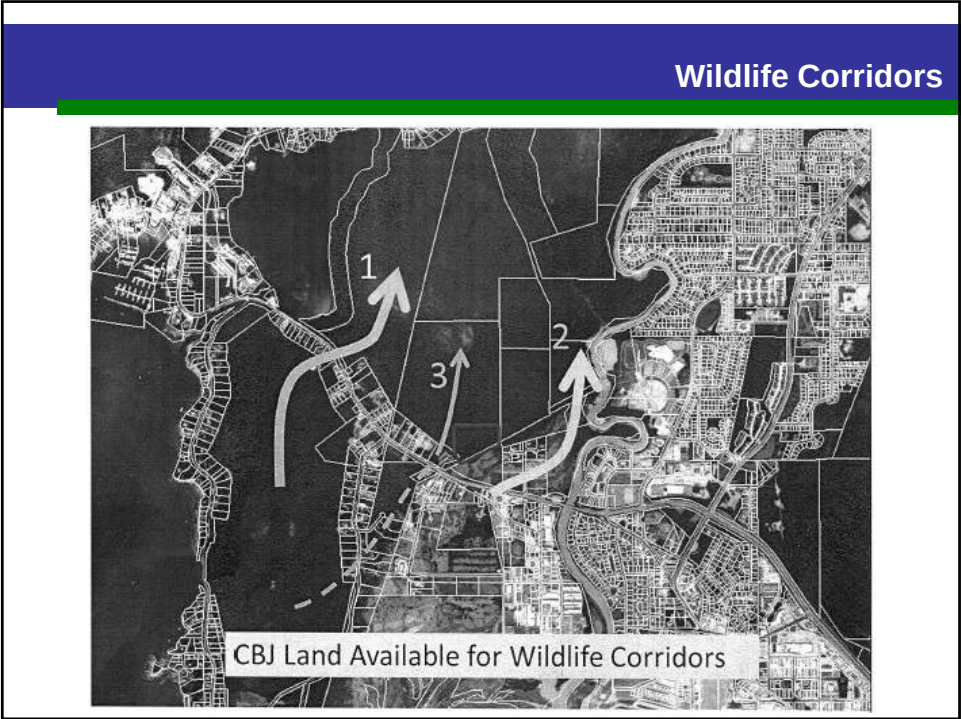
Recommendation

Staff recommends that the Planning Commission adopt the Director's analysis and findings and approve the Modification to the Preliminary Plat for Pederson Hill Subdivision. This approval would allow the applicant to submit the Final Plat application.

SMP2017 0001
Modification to the
Pederson Hill Preliminary Plat

QUESTIONS?







Planning Commission

(907) 586-0715
PC_Comments@juneau.org
www.juneau.org/plancomm
155 S. Seward Street • Juneau, AK 99801

PLANNING COMMISSION NOTICE OF DECISION

Date: October 16, 2017
File No.: SMP2017 0001

City & Borough of Juneau
155 S. Seward Street
Juneau, Alaska 99801

Proposal: Modification to the Pederson Hill Subdivision Preliminary Plat
Property Address: N/A
Legal Description: Lot 2, Pederson Hill
Parcel Code No.: 4B2201010101
Hearing Date: October 10, 2017

The Planning Commission, at its regular public meeting, adopted the analysis and findings listed in the attached memorandum dated October 5, 2017, and approved the modification to the preliminary plat to be conducted as described in the project description and project drawings submitted with the application.

Attachment: October 5, 2017 memorandum from Jill Maclean, AICP, Senior Planner, Community Development, to the CBJ Planning Commission regarding SMP2017 0001.

This Notice of Decision does not authorize any construction. Prior to starting any project, it is the applicant's responsibility to obtain the required building permits.

This Notice of Decision constitutes a final decision of the CBJ Planning Commission. Appeals must be brought to the CBJ Assembly in accordance to CBJ 01.50.030. Appeals must be filed by 4:30 P.M. on the day twenty days from the date the decision is filed with the City Clerk, pursuant to CBJ 01.50.030 (c). Any action by the applicant in reliance on the decision of the Planning Commission shall be at the risk that the decision may be reversed on appeal (CBJ 49.20.120).

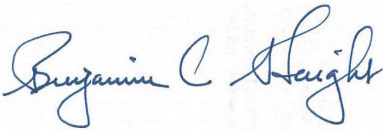
Effective Date: The permit is effective upon approval by the Commission, October 10, 2017.

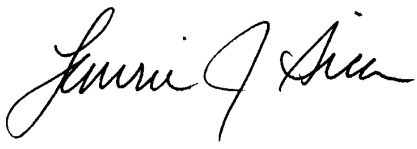
City & Borough of Juneau
 File No.: SMP2017 0001
 October 16, 2017
 Page 2 of 2

Expiration Date: The permit will expire five (5) years after the effective date, or October 10, 2022, if no Building Permit has been issued and substantial construction progress has not been made in accordance with the plans for which the subdivision permit was authorized or no final plat has been approved. Application for permit extension must be submitted thirty days prior to the expiration date.

Project Planner:


 Jill Maclean, AICP, Senior Planner
 Community Development Department


 Benjamin Haight, Chair
 Planning Commission


 Filed With City Clerk

October 16, 2017
 Date

cc: Plan Review

NOTE: The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this subdivision. ADA regulations have access requirements above and beyond CBJ - adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.