



## REGULAR PLANNING COMMISSION AGENDA

May 12, 2026 at 6:00 PM

Assembly Chambers/Zoom Webinar

<https://juneau.zoom.us/j/86847221296> or 1-253-215-8782 Webinar ID: 8868 4722 1296

### A. LAND ACKNOWLEDGEMENT

We would like to acknowledge that the City and Borough of Juneau is on Tlingit land and wish to honor the indigenous people of this land. For more than ten thousand years, Alaska Native people have been and continue to be integral to the well-being of our community. We are grateful to be in this place, a part of this community, and to honor the culture, traditions, and resilience of the Tlingit people. *Gunalchéesh!*

### B. ROLL CALL

### C. REQUEST FOR AGENDA CHANGES AND APPROVAL OF AGENDA

### D. APPROVAL OF MINUTES

1. April 14, 2026, Draft Minutes Regular Planning Commission — APPROVED

### E. BRIEF REVIEW OF THE RULES FOR PUBLIC PARTICIPATION

### F. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS

### G. ITEMS FOR RECONSIDERATION

### H. CONSENT AGENDA

1. **USE2026 0004: Conditional Use Permit to construct a five-bay storage structure with one dwelling unit in the Light Commercial (LC) zoning district. - APPROVED AS RECOMMENDED**

**Applicant: Rob Worden**

**Location: 9333 Glacier Hwy**

### **DIRECTOR'S REPORT**

The applicant requests a Conditional Use Permit to construct a five-bay storage structure with one dwelling unit in the Light Commercial (LC) zoning district. The applicant's proposal includes a two-story structure with five shop bays for storage and an upper-story dwelling unit. A single-family structure was originally constructed on the site in 1951. Over time, the property has transitioned to include commercial storage uses with residential development.

**STAFF RECOMMENDATION**

Staff recommends the Planning Commission adopt the Director's analysis and findings and APPROVE Conditional Use Permit USE2026 0004 with the recommended conditions.

- I. UNFINISHED BUSINESS
- J. REGULAR AGENDA
- K. OTHER BUSINESS
- L. STAFF REPORTS
- M. COMMITTEE REPORTS
- N. LIAISON REPORT
- O. CONTINUATION OF PUBLIC PARTICIPATION ON NON-AGENDA ITEMS
- P. PLANNING COMMISSION COMMENTS AND QUESTIONS
- Q. EXECUTIVE SESSION
- R. SUPPLEMENTAL MATERIALS
- S. ADJOURNMENT

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# **DRAFT MINUTES**

Agenda

**Planning Commission**

***Regular Meeting***

CITY AND BOROUGH OF JUNEAU

*Erik Pedersen, Chair*

April 14, 2026

**A. LAND ACKNOWLEDGEMENT** – Read by Mr. Gamez

We would like to acknowledge that the City and Borough of Juneau is on Tlingit land, and wish to honor the indigenous people of this land. For more than ten thousand years, Alaska Native people have been and continue to be integral to the well-being of our community. We are grateful to be in this place, a part of this community, and to honor the culture, traditions, and resilience of the Tlingit people. Gunalchéesh!

**B. ROLL CALL**

Erik Pedersen, Chair, called the Regular Meeting of the City and Borough of Juneau (CBJ) Planning Commission (PC), held in Assembly Chambers of the Municipal Building, virtually via Zoom Webinar, and telephonically, to order at 6 p.m.

**Commissioners present:** Commissioners present in Chambers –Erik Pedersen, Chair; Lacey Derr, Vice Chair; Mandy Cole, Clerk; Douglas Salik; Larry Gamez; Carlee Simon; Keith Koruna; Karinne Wiebold

Commissioners present via video conferencing – None

**Commissioners absent:** Jessalynn Rintala, Vice Clerk

**Staff present:** Scott Ciambor, CDD Planning Manager; Forrest Courtney, Senior Planner; Madeline Carse, CDD Administrative Assistant; Nicole Lynch, Attorney III; Justin Smith, Planner I

**Assembly members:** Greg Smith

**C. REQUEST FOR AGENDA CHANGES AND APPROVAL OF AGENDA**

**D. APPROVAL OF MINUTES**

1. March 24, 2026 Draft Minutes, Regular Planning Commission

**MOTION:** *by Ms. Cole to approve the March 24, 2026 Planning Commission Regular Meeting minutes.*

*The motion passed.*

**E. BRIEF REVIEW OF THE RULES FOR PUBLIC PARTICIPATION**

**F. PUBLIC PARTICIPATION ON NON-AGENDA ITEMS**

**G. ITEMS FOR RECONSIDERATION**

**H. CONSENT AGENDA**

1. **SMF2026 0001:** Tlingit Haida Regional Housing Authority requests final plat approval for Phase 1 of Seet Kanax Duteen, consisting of 21 lots and one tract in the D18 zoning district for detached residential development.

**Applicant:** Lorraine DeAsis  
**Location:** No existing address

**Director's Report**

THRHA requests final plat approval for Phase 1 of Seet Kanax Duteen, consisting of 21 lots and one tract in the D18 zoning district for detached residential development. The plat has been modified from the preliminary version (SMP2024-0001) after a more thorough analysis of the topography and existing drainage. The preliminary plat was designed to accommodate 25 lots with two tracts, A and B, to be set aside for future development. The current final plat will consist of 21 single-family residential lots and a large tract that would be subdivided at a later time. Sheix'w Deiyi (Red Alder Road) is a 60-foot right-of-way that will be provided as a CBJ adopted access within the subdivision and be consistent with Title 49.35.240, the table of roadway construction standards.

**Staff Recommendation**

Staff recommends the Planning Commission adopt the Director’s analysis and findings and APPROVE SMF2026 0001.

Mr. Gamez announced a potential conflict of interest, as he works for Tlingit-Haida Regional Housing Authority in the admin department as a safety coordinator, but stated he did not have any financial gain in the outcome and could be objective in reviewing it.

**MOTION:** *by Ms. Derr to accept staff’s findings, analysis, and recommendations, and approve SMF2026 0001.*

*The motion passed unanimously.*

**I. UNFINISHED BUSINESS**

**J. REGULAR AGENDA**

- 1. **FZE2026 0001:** Flood Zone Exception for construction of a gymnasium/agricultural structure at Echo Ranch Bible Camp in an unnumbered Velocity (V) Zone.

**Applicant:** Ryan Regier  
**Location:** 40001 Glacier Hwy

Ms. Derr, Ms. Simon, and Mr. Koruna disclosed their kids attend the Echo Ranch Bible camp, but they all felt they could be impartial and objectional in the matter.

**Director’s Report**

The applicant requests a Flood Zone Exception to allow the construction of a structure on an existing foundation to be used as a gymnasium by Echo Ranch Bible Camp (Echo Ranch) for five (5) months and agricultural storage for seven months (7) out of the year. The existing foundation was constructed in 1988 and was not evaluated for flood loads, general flood hazard protection, or the more stringent Zone V requirements. The proposed design and construction methods have not been certified by a licensed professional engineer or architect. Base flood elevation data for the site is inconclusive. The site is remote and does not have emergency services. Alternative construction sites outside the special flood hazard area are available.

### **Staff Recommendation**

Staff recommends that the Planning Commission adopt the Director's analysis and findings and DENY Flood Zone Exception FZE2026 0001.

Ms. Cole asked if there was a temporary flood zone exemption they could potentially grant that was not the full exemption.

Mr. Ciambor responded in terms of Title 49 and Building Code Title 19 is 180 days, and the initial application extended that, and there is not a temporary exception through the flood plain option.

Ms. Cole asked for clarification they would have to grant the same exemption whether it included the word temporary for 9 months or 3 years.

Mr. Ciambor answered yes.

Ms. Wiebold inquired if they could put a permanent structure in the same spot and not revisit this.

Mr. Ciambor responded a permanent structure would have to meet the same criteria, but the application did not have information suggesting it would be a permanent structure.

Ms. Derr asked about grandfathering and how that works, as her understanding was because the structure was completely demolished it is considered new construction and must meet current codes and maps.

Mr. Ciambor stated that was correct.

Mr. Salik inquired if they were aware if the structure was considered in the flood zone in 1988 when it was constructed.

Mr. Ciambor answered he would have to search through the report and find that answer.

Chair Pedersen believed the flood mapping they see of today was made around 2013.

Mr. Salik asked more information about the flood data being inconclusive.

Mr. Ciambor responded one data point is checking when the V zone for the area originated, and the other is around base flood elevation, as there were inconclusive reports for this project site.

Chair Pedersen added normally FEMA will figure out the base flood elevation and then they can build through FEMA's base flood, but since this is a low density area of development, FEMA chose not to specify the base flood elevation. He said it is a V-zone with undetermined base flood elevation, which puts the onus on the flood administrator, CBJ, or the applicant to figure out.

Mr. Gamez asked about the seven months of storage for agricultural stuff noted in the report. He added if there was a way to put out a fire if the agricultural storage catches fire.

Mr. Ciambor answered that would be a question for the applicant.

The applicant and Echo Ranch Facilities Director, Ryan Regier, explained they are wanting to build a hoop style structure on the slab of the old gym that, and are looking for a flood zone exception due to the nature of their immediate need to fully function as a summer camp in Juneau. He stated this will be a temporary structure, as they want to build a new permanent structure across the road eventually. He noted the structure will serve as a gym for the kids to meet when coming to camp, a place to play when it rains, and a place to hang out in scheduled free time. He clarified they do not encourage kids to be in the gym when it is storming. The structure will also serve as storage for equipment in the off-season. Mr. Regier shared they are aware this is in the V-zone, and they have flood proof construction materials. He added they want to also build a dividing wall to separate the basketball court from the game room, and the hoop structure will be engineered. He said their hope is the new permanent structure will be fully erected and usable in three years, in which the temporary structure will be taken down. He assured they have safety protocols in place to ensure campers remain safe in all situations, including floods and tsunamis. Mr. Regier shared their professional engineer, Michael Stevens, ran data and came up with a base flood elevation of 22.63 feet and said there is a natural drain line contour where the elevation is above 25 feet with two openings where water can come through. He stated if they had the 100-year flood or large storm come in, the waters would rise very slowly, as it cannot get over that taller area, which would give them time to remove campers from harms way and follow their tsunami and flood protocols. He expressed they take safety very seriously, and they need this gym to operate properly and cannot afford to not have it this season. He wanted it known that they want to heed CDD's recommendation and build their permanent structure on the AE zone.

Randall Alderfer, camp director, added the ministry of Echo Ranch has been there since 1964 and has been providing a place and opportunity for the people of southeast Alaska and Juneau to experience it. He said every building within their organization has a purpose and safety was a concern from the very beginning, but they have never had a concern of flooding.

Chair Pedersen asked the members if they were okay with giving the applicant a few extra minutes to present since it is a complex issue. They agreed.

Mr. Alderfer stated they have seen a lot of weather since 1964, including a tsunami in 2016, and have never seen any evidence their location was not safe. He expressed this building has many different uses and it would very negatively affect them if they could not utilize it.

Mr. Regier added if they had a clear spot somewhere on the camp in the AE zone to do the project now, they would, but they do not have time and it is not practical, as there is still 3 foot of snow in a lot of places and they did not want to cancel their summer programs to build. He said they need to get the building up and running as soon as possible for the ministry purposes of camp.

Ms. Cole asked if the current building was gone or if there was any opportunity to re-enforce the structure.

Mr. Regier answered no, the roof is completely caved in.

Mr. Coruna asked if there was evaluation of the condition of the existing slab.

Mr. Regier answered in preliminary views of the slab, there are no cracks, signs of weakness, or structural damage to the concrete, but they have not removed the building completely yet.

Ms. Derr inquired if they would be taking guests to the chapel or dining hall in case of emergency, which is not located in this zone.

Mr. Regier responded it depends on the type of emergency, as there is a high ridge on the east side of camp in case of tsunami or flood, but for storms they go to the chapel or dining room.

Ms. Cole asked if they had reviewed the flood plain exception criteria included in the packet, which are the criteria under which they have to make findings in order to grant this exception, as she did not see that all criteria had been met. She wanted to hear their thoughts on how they had been met.

Chair Pedersen suggested a 3-minute at ease.

[At ease]

Chair Pedersen asked for public testimony.

Shawn Kantola commented he has been a camper, counselor and wilderness guide at Echo Ranch, and he and his family take shifts covering winter caretaking there. He said his own children now attend camp there, so he is very interested in it being safe. He stated this is the only safe spot feasible to have the building up in time for this camp season, and per the flood map, a portion of the slab is in zone V with potential wave action and a portion is not. He expressed in the packet, under velocity zone standards, it talks about the potential flood wave action and breaking waves of 3 feet high or higher, but he did not believe they should be talking about 3 foot breaking waves affecting this building, as he has been a caretaker there for multiple winters and never seen any issues. He asked the Commission to look at the site with logic and common sense and allow that to supersede rules that seem to apply to flat areas.

Reed Bowman, Mendenhall Valley resident, expressed strong support for granting Echo Ranch's request for a flood zone exception to allow them to rebuild the gym. He said the gym is a vital educational, logistical, and team building space that supports a wide variety of user groups during the summer and stores important camp equipment through the winter, and many people depend on that building. He shared a significant hardship would be incurred if they are not permitted to rebuild the gym and without the space, they have no adequate alternative for securing and maintaining essential gear used by campers and retreat groups, and it would directly impact their ability to operate safely and sustainably. He added there is no other suitable relocation site on

the property that would avoid impeding accessibility or safe camp activities, and rebuilding in the current location is the only practical and safe option temporarily.

Chair Pedersen commented that 10 years ago, when the Commission reviewed one of these, they had a lot of discussion on all the 11 factors that should be considered, but not necessarily met outright. He said FEMA's guidance instructions state, "Variances are granted for the structure and not associated with the property owner, as such, when communities review a variance request, they should consider the life expectancy of a building." He suggested going through and discussing each criteria one by one.

Ms. Cole expressed it appears the slab is not entirely in the V zone and some portion of the current existing slab in the safe zone, so she wondered what the city done in the past when there was a proposed construction that straddles two zones.

Mr. Ciambor said he would have to refer to the variance document for guidance.

Ms. Wiebold asked if they could avoid the issue of having an exception completely if they had them revisit the base flood elevation data, as there were three possible outcomes there.

Mr. Ciambor responded according to staff, one of the criteria needed to make an exception based on the FEMA guidelines has been met, and in the FEMA documentation it suggests that an exception for hardship should not be granted unless it's very unique and limited. However, they have circumstances where this body can take that under consideration and consider all the criteria not being met and make a decision.

Criteria 1: The danger that materials may be swept onto other lands and cause injuries to other persons or properties.

Chair Pedersen explained the property is large and could not see how that would actually happen.

Ms. Cole believed the analysis of that exception is less based on where the site is and more about the potential hazard, and she agreed there are no neighbors that could be impacted.

Criteria 2: Danger to life and property due to flooding or erosion.

Ms. Derr did not believe that was specific to this property and more in general of a structure in a flood zone, so this criteria should be negatively evaluated towards this situation.

Ms. Cole said she heard the argument about opening the doors on either side to reduce flood loss, but someone manually having to open those doors seemed risky.

Mr. Salik commented this is guidance to implement the regulation, and he felt where they are with Echo Ranch was a whole different place than what this criteria was implemented for.

Chair Pedersen did not think Echo Ranch should be subject to any sort of CBJ building codes, as it is well beyond the Urban Service Area.

Ms. Cole stated this guidance is what they have used for years to evaluate flood plain exemptions, and they are beholden to use this guidance as they have in other cases that have come before them seeking flood plain exceptions.

Chair Pedersen felt they should look through all the exception criteria, but it is very hard to meet all the criteria 100%, so they have to look at it holistically and with a greater good.

Ms. Simon inquired if there was a way to have this structure be temporary and then be not temporary.

Ms. Cole voiced that's why she asked staff about that earlier, which they said it did not matter if it was temporary or not, because if it needs a building permit in the flood zone it needs to pass this unless the guidance does not apply.

Mr. Salik said the guidance says it has to be considered, and the Commission could disagree.

Ms. Gamez expressed this is a unique place and not close to a city, but they need to follow through and at least bring the 11 criteria to the table.

Ms. Wiebold felt the danger to life is not applicable, as it is not a residential structure.

Criteria 3: The susceptibility of the proposed facility and its content to flood damage and the effect of such damage on the individual owner.

Ms. Wiebold commented this is on the applicant if it is a risk they are willing to take, and the 40-year history speaks to the susceptibility to the proposed being damaged.

Ms. Simon added the shape of the building should help with snow loads in the future.

Chair Pedersen stated they technically cannot consider snow load in their analysis, but duly noted. He wondered if the doors proposed to be installed would open automatically.

Criteria 4: The importance of the services provided by the proposed facility to the community.

Ms. Cole noted the applicant said the camp could not operate as planned without the space.

Chair Pedersen felt there was enough information in the packet and through the applicant and public testimony to support this.

Criteria 5: The necessity to the facility of a waterfront location where applicable.

Ms. Cole voiced the coastal experience is part of the camp, and did not know if they could have the same camp if it did not have a waterfront location, and that may fall apart some with the specific location of the gym within the camp. She added they all agreed the gym could be somewhere else but cannot be somewhere else soon.

Chair Pedersen said he has never seen a zone V so inland, so it does not strike him as being a waterfront location in its essence.

Criteria 6: The availability of alternative locations for the proposed use which are not subject to flooding or erosion damage.

Ms. Wiebold was getting hung up on the temporary versus permanent nature of it. She wondered if they had any assurances it would be 3 years or if an exemption on this parcel meant it could now be used in perpetuity and the temporary structure could be a permanent structure for the gym or a new use. She asked if this was restrained to temporary other than good will.

Chair Pedersen agreed he was also unsure on that, as well as if they could condition it to the 3 years. He mentioned there was another flood zone exemption granted previously but there were conditions with a time limit.

Mr. Gamez shared it might just be good faith in the 3 years.

Ms. Cole did not feel it mattered if they have faith in this owner for 3 years, because if the exemption goes with the land forever, it could be sold to another owner, which is why they have never been able to condition time limits.

Criteria 7 was not discussed.

Criteria 8: The relationship of the proposed use to the comprehensive plan and flood way management program for that area.

Chair Pedersen explained the relationship to the proposed use of the Comprehensive Plan established this is a fine use for this particular area, and its relationship with the Flood Plain Management Program is what they are talking about today.

Ms. Derr said they have already had two examples where they followed the Comprehensive Plan and they were overruled, so she did not always like to use the Comprehensive Plan as a criterion anymore. She felt the use of this building within the land it is in and the community it serves is well within the use of what the Comprehensive Plan should be.

Criteria 9: The safety and access to the property in times of flood for ordinary and emergency vehicles.

Chair Pedersen said it sounds like the applicant has insight to their emergency procedures, but they did not discuss specifically for ordinary and emergency vehicles.

Criteria 10: The expected heights, velocity, duration, rate of rise, and sediment transport of flood waters and the effects of wave action if applicable expected at the site.

Ms. Cole said the applicant attempted to begin some technical specifications to comply with this, and they heard in other flood plain exceptions that this data is difficult, time-consuming, and

expensive to obtain. She felt there was a lot of wiggle room based on what could be reasonably expected from an applicant to bring who does not have access to the expensive technical planning the Army Corps of Engineers have.

Chair Pedersen agreed, and in other exceptions they did, maybe the data was not exactly perfect and additional items had to be done in the future.

Criteria 11: The cost of providing governmental services during and after flood conditions, including maintenance and repair of public utilities and facilities, such as sewer, gas, electrical, and water systems, and streets and bridges.

Chair Pedersen stated he was not aware of any government services provided to Echo Ranch. He added there may be some facilities now or in the future provided by private entities, but there are not a lot of governmental service costs that would come up due to flooding of that area.

Ms. Simon was confused why that criterion was not met.

Chair Pedersen expressed it might be because there were other flooding events within CBJ where the government had to step in to mitigate in the recent past.

Ms. Simon agreed, but said if they want to follow the guidelines, they should follow it and not have exceptions of past decisions re-describe what this is. She felt this was met.

Chair Pedersen agreed.

Ms. Cole assumed staff was making the point that emergency and rescue services are more expensive when they're remote than in town. She agreed that was not a fair application of the criteria.

Chair Pedersen gave a recap of the comments and questions about each criteria. He asked if staff had any insight on Criteria 6, as that is the one they have been struggling the most with, aside from the type of doors and the vehicles.

Ms. Cole added wanting to make sure emergency procedures were included not mustering in that space during storms.

Chair Pedersen invited the applicant back up to answer any questions.

Mr. Regier responded in regard to the 11 criteria, they included five of those in their narrative, and felt they were meeting some of them. He stated they believe they met Criteria 1 and 2, and Criteria 3, as they are doing the FEMA guidelines for flood proof materials. He said Criteria 4, 7, 8, and 11 are self-explanatory, and they do not view this as a waterfront location. He stated they expect questions on Criteria 9 they can address, and with regard to Criteria 10, they are not going to get waves from the front beach back at the gym unless there is a very huge event, which most of the time comes with warning so they can evacuate up their tsunami route. He expressed they knew they probably could not fit all of them, but could maybe interpret them in a certain way to

fit. He urged the Commission to ask them questions if they need clarification. He added they have the door design.

Ms. Cole asked if any of the emergency procedures had a muster point at the gym.

Mr. Alderfer answered they do not. He stated in the event of an emergency, the muster point would not be the gym.

Mr. Gamez inquired about the door details and if they open in, out, and slide left and right.

Mr. Regier answered they will be special doors that are typically out-swing, but they can be in-swing as well. However, they will make them where they cannot be pushed in by the horses during the winter. He added they will have spring ball stops on the bottom and top. He explained the doors would be able to open so flood water would come, go through, and the big overhead door will be a canvas door with a weight on the bottom that can be opened up on either side and a knock-away so it can go in or out.

Mr. Gamez asked if someone would have to open it or if it would be electric.

Mr. Regier responded the door itself would be manual, but it is canvas, with a weight at the bottom with cables, so it can drape open with the flow of the water.

Ms. Derr asked in regard to Criteria 9, if the road to the ranch is accessible at least twice a day during low tide via vehicle.

Mr. Alderfer answered yes.

Chair Pedersen inquired if there were any stagnant emergency vehicles at the site for fire protection of any sort.

Mr. Regier responded they have a fire bus with a pump and three large tanks of water they keep in there, which can be taken wherever they need to be to put out fires. He added they have other vehicles on site they keep available for ambulatory type events.

Mr. Koruna asked if the slab angled out and down at all.

Mr. Regier said it was dead flat.

Chair Pedersen noted the LiDAR cannot shoot through the roof of the building, so it cannot interpret the elevation of the slab.

Ms. Cole inquired if this is not granted, are they still able to host the events and campers they have obligated for this year.

Mr. Alderfer answered they will, but it will affect their ability to provide service as usual.

Ms. Wiebold asked if the slab is in good shape and why they do not just build the gym back on the same slab and skip moving it 10 feet into the woods.

Mr. Regier responded it will take two years to build a new structure minimum, and they need something there temporarily to be the gym with concrete so kids can play basketball. He said if they could build something quick they would, but it is not practical to build something there. He added they could build somewhere else but they would still be having the same conversation.

Mr. Alderfer added they will have to rebuild above the flood zone so they will never have to have this conversation again.

Ms. Wiebold commented the engineering in the temporary building looks robust and expensive, so it is hard to imagine a good looking functional building being taken down in several years if it is allowed to exist now.

Mr. Regier said they did not want two giant buildings right next to each other, as it would take away from the camp look and feel. He mentioned they initially asked about an event tent, but they did not know if it would have to follow these guidelines. However, they wanted something more robust than an event tent since horses walk through the area and it would be hard to keep them out of that.

Attorney Lynch clarified under 49.74.10(a), it specifies the exceptions for this provision of this article, and they are limited to the powers granted in this article about the flood zone. Therefore, it is only exempting the building and exempting it from the requirements under 49.70.400.

Ms. Cole asked if that meant it could not be rebuilt without getting another exception.

Attorney Lynch confirmed that is correct.

Ms. Cole inquired if they would have to leave the temporary structure indefinitely, and if they would have to get a new exception if they ever took it down.

Attorney Lynch answered yes.

Chair Pedersen added it looks like it was tied to a building permit and not really like a land use action.

Ms. Cole commented it says the gym was constructed in 1988 and the foundation was constructed without flood load evaluation or velocity zone requirements, but the inspection records note the project engineer okayed the concrete and additional required documentation was not provided in 1989 or 1993 and no additional review occurred and the status was set as final in 2021. Therefore, the permit might have been open for all of those years and it was closed in 2021.

Mr. Ciambor responded it was closed out by the building inspector as part of routine look at open permits.

Ms. Simon asked if they had an answer on if an event tent would have the same criteria to meet.

Mr. Ciambor did not know and would have to look into it.

Ms. Wiebold inquired if there was any way they could consider it not to be demolished, as it still has some essence and footprint of the building there.

Mr. Ciambor answered anything replacing it would be considered new development and would have to meet the thresholds they have been discussing.

Chair Pedersen added there is a threshold calculation FEMA set out and it appears it probably would not meet that unless the slab almost costs more than the metal structure. He added reviewing all the criteria, they are not all experts in flood zone management and there are a lot of things to consider. He said they went through the criteria and all generally agreed they could be met, but he encouraged his fellow commissioners to express their opinion on that.

Ms. Cole asked Attorney Lynch if they were allowed to condition the exception.

Attorney Lynch answered yes. She added they must include in the record the exception must only be issued upon a showing of good cause and sufficient cause and determination that failure to grant the exception would result in exceptional hardship to the applicant and a determination that the grant of an exception will not result in increased flood heights, additional threats.

**MOTION:** *by Chair Pedersen that the Planning Commission has considered all relevant factors, including those set forth in 49.70.410(b) and 49.70.410(h). Upon such consideration, the Planning Commission grants FZE2026 0001, flood zone exception for construction of a gymnasium/agricultural structure at Echo Ranch Bible Camp in an unnumbered velocity V zone.*

Ms. Cole did not love applying this criteria to this project, partly because it is only partially in the velocity zone and because there is tons of anecdotal and logical evidence that if part of a flat foundation is safe, it is logical to assume this is safe. She said they made a reasoned discussion of the criteria, but she did not believe they were all met. She explained if they are going with they have all been met to move the project forward, she did not believe they could do that, but if they are evaluating it based on consideration of the criteria, they have considered it.

Chair Pedersen voiced they are considering the exception as a whole.

Mr. Salik felt Ms. Cole made good points, as a number of the criteria were not met, but they considered them all. He appreciated the applicant's professional engineer's work, as that number makes a big difference.

Ms. Simon felt similarly, and appreciated the clarity this is on the structure and not just some forever approval. She expressed it still felt like a tent to her, especially with the canvas door.

Mr. Gamez commented in all these years, they have never seen a flood in that area. He added they have done their research, homework, and brought a lot to the table.

Mr. Koruna echoed the same sentiment, and said they considered all the criterion and evidence.

Ms. Wiebold said she would feel more comfortable if there were legal assurances around it not being the permanent building, but agreed straddling two different flood plain zones makes it a complicated concept. She noted how strange the climate has been and the flooding camp event that took place in Texas, which caused her pause. She felt this became more complicated in the conversation but clearer in the direction.

The motion passed 6-2.

**K. OTHER BUSINESS**

**L. STAFF REPORTS**

Mr. Ciambor reported the Coast Guard has a request for information out for housing and a presentation as to what they are looking for. He said there was a city lease to Juneau Animal Rescue on Crazy Horse Drive. He thanked staff for putting together the contents of the report. He announced Justin Smith is leaving and wished him well.

**M. COMMITTEE REPORTS**

Chair Pedersen shared the Title 49 Committee met last Thursday, where they got halfway through the table of permissible uses and gamed out different scenarios. He added they will be meeting again shortly to go through the rest of them.

**N. LIAISON REPORTS**

Mr. Smith gave a brief update. He reiterated the Title 49 Committee reviewed the proposed revision of the table of permissible uses, and they are looking at meeting in early May to continue reviewing that. He said in regard to Lands, they are possible actions on short term rentals, and budget is a big focus now. He shared the manager presented her budget and gave an overview of where they stand for FY26 and FY27, which was reduced by \$4 million and an increased revenue by \$2 million. He shared they approved the year round emergency shelter, which comes with a cost.

Mr. Gamez voiced in regard to the emergency shelter, it sounds like they are going to pursue it and keep the shelter going all summer long. He asked if that was 24 hours a day.

Mr. Smith believed it will close during the summer or the day and transportation will be provided.

**O. CONTINUATION OF PUBLIC PARTICIPATION ON NON-AGENDA ITEMS**

P. **PLANNING COMMISSION COMMENTS AND QUESTIONS**

Q. **EXECUTIVE SESSION**

R. **ADJOURNMENT**

The April 15, 2026 Planning Commission Meeting was adjourned at 8:11 p.m.



**PLANNING COMMISSION STAFF REPORT  
CONDITIONAL USE PERMIT USE2026 0004  
HEARING DATE: MAY 12, 2026**

(907) 586-0715

CDD\_Admin@juneau.gov

www.juneau.org/community-development

155 Heritage Way • Juneau, AK 99801

**DATE:** May 4, 2026  
**TO:** Erik Pedersen, Chair, Planning Commission  
**BY:** Kathryn Oberlin, Planner *K.Oberlin*  
**THROUGH:** Scott Ciambor, Director

**PROPOSAL:** A Conditional Use Permit to construct a five-bay storage structure with one attached dwelling unit in the Light Commercial (LC) zoning district.

**STAFF RECOMMENDATION:** Approval with conditions

**KEY CONSIDERATIONS FOR REVIEW:**

- The project design is cohesive with other uses in the area.
- The mixed-use nature of the project provides an additional housing unit and commercial use which aligns with adopted plans.

GENERAL INFORMATION	
Property Owner	Rob Worden
Applicant	Rob Worden
Property Address	9333 Glacier Hwy
Legal Description	MENDENHALL ACRES BL 41 LT 3B
Parcel Number	5B1601140051
Zoning	LC
Land Use Designation	Commercial
Lot Size	27,824
Water/Sewer	CBJ
Access	Platted easement/Glacier Hwy
Existing Land Use	Mixed uses
Associated Applications	NCC25-62, BLD26-41

**ALTERNATIVE ACTIONS:**

1. **Amend:** require additional conditions, or delete or modify the recommended conditions.
2. **Deny:** deny the permit and adopt new findings for items 1-6 below that support the denial.
3. **Continue:** to a future meeting date if determined that additional information or analysis is needed to make a decision, or if additional testimony is warranted.

**ASSEMBLY ACTION REQUIRED:**

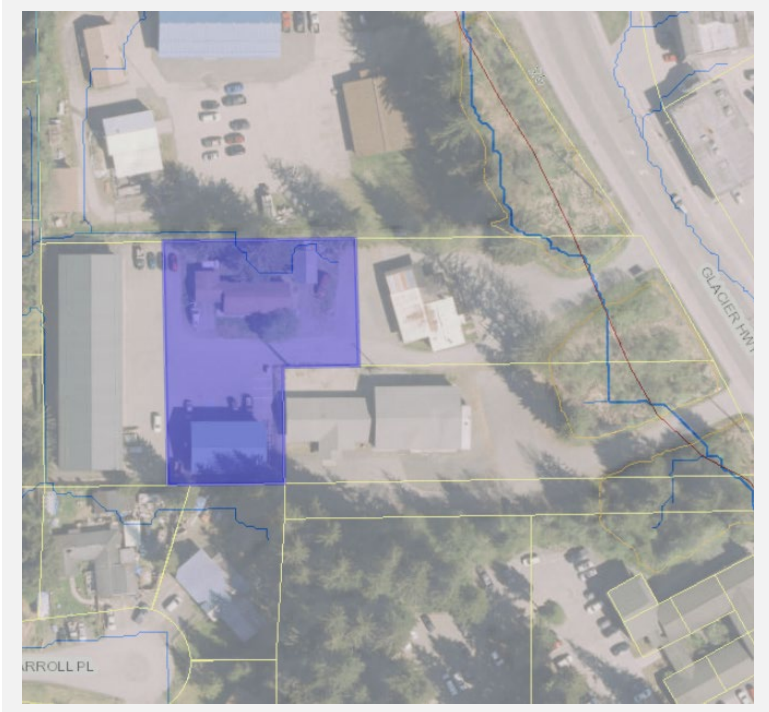
Assembly action is not required for this permit.

**STANDARD OF REVIEW:**

- Quasi-judicial decision
- Requires five (5) affirmative votes for approval
- Code Provisions:
  - 49.15.330
  - 49.25
  - 49.40

**The Commission shall hear and decide the case per 49.15.330(a) Conditional Use Permit.** A conditional use is a use that may or may not be appropriate in a particular zoning district according to the character, intensity, or size of that or surrounding uses. The conditional use permit procedures is intended to afford the commission the flexibility necessary to make determinations appropriate to individual sites. The commission may attach to the permit those conditions listed in subsection (g) of this section as well as any further conditions necessary to mitigate external adverse impacts. If the commission determines that these impacts cannot be satisfactorily overcome, the permit shall be denied.

**SITE FEATURES AND ZONING**



SURROUNDING ZONING AND LAND USES	
North (LC)	Commercial
South (D5/LC)	Residential
East (LC)	Club Lodge
West (LC)	Storage

SITE FEATURES	
Anadromous	Duck Creek
Flood Zone	Panel 02110C1527E
Hazard	None mapped
Hillside	None
Wetlands	No
Parking District	No
Historic District	No
Overlay Districts	Mining & Exploration Surface Activities Exclusion District, Bonus Eligible Overlay District, Urban/Rural Mining District

**BACKGROUND INFORMATION**

**Project Description** – The applicant is proposing a two-story structure with five shop bays for storage and an upper-story dwelling unit (**Attachment A**). The project would include demolition of the existing single-family structure and noncompliant accessory structure. The development will expand the existing light commercial use of the property by adding additional storage capacity and a second dwelling unit. Parking is proposed in front of the storage bays. Per CBJ 49.25.300, the proposed use is a dwelling unit (Use 1.110) and storage (Use 10.210), permissible through the Conditional Use Permit process in the Light Commercial (LC) zoning district.

**Background** – The subject property, located at 9333 Glacier Highway, is legally described as Lot 3B, Block 41, Mendenhall Acres and is zoned LC. A single-family structure was originally constructed on the site in 1951. Over time, the property transitioned to include commercial storage uses and accessory residential development.

In 2004, a two-bay storage structure with an upper-story dwelling unit on the south of the lot was approved by the CBJ Planning Commission through the Conditional Use Permit process.

In 2006, a nine-bay storage structure with an upper-story dwelling unit on the adjacent lot to the west was approved by the Commission through the Conditional Use Permit process (**Attachment C**). Later that year, a 20-foot-wide access and utility easement was made between the parcel owners, establishing the primary access to the lots.

In 2025, the property underwent a minor subdivision and lot consolidation, reducing five lots into three, reconfiguring lot boundaries, and platting the access easement. As a condition of the subdivision, a Nonconforming Certificate for access and frontage was issued (**Attachment B**).

If this conditional use permit is approved by the Planning Commission, the upper-story dwelling unit attached to the five-bay storage building would become the primary dwelling unit once constructed.

**INFORMATION REVIEWED**

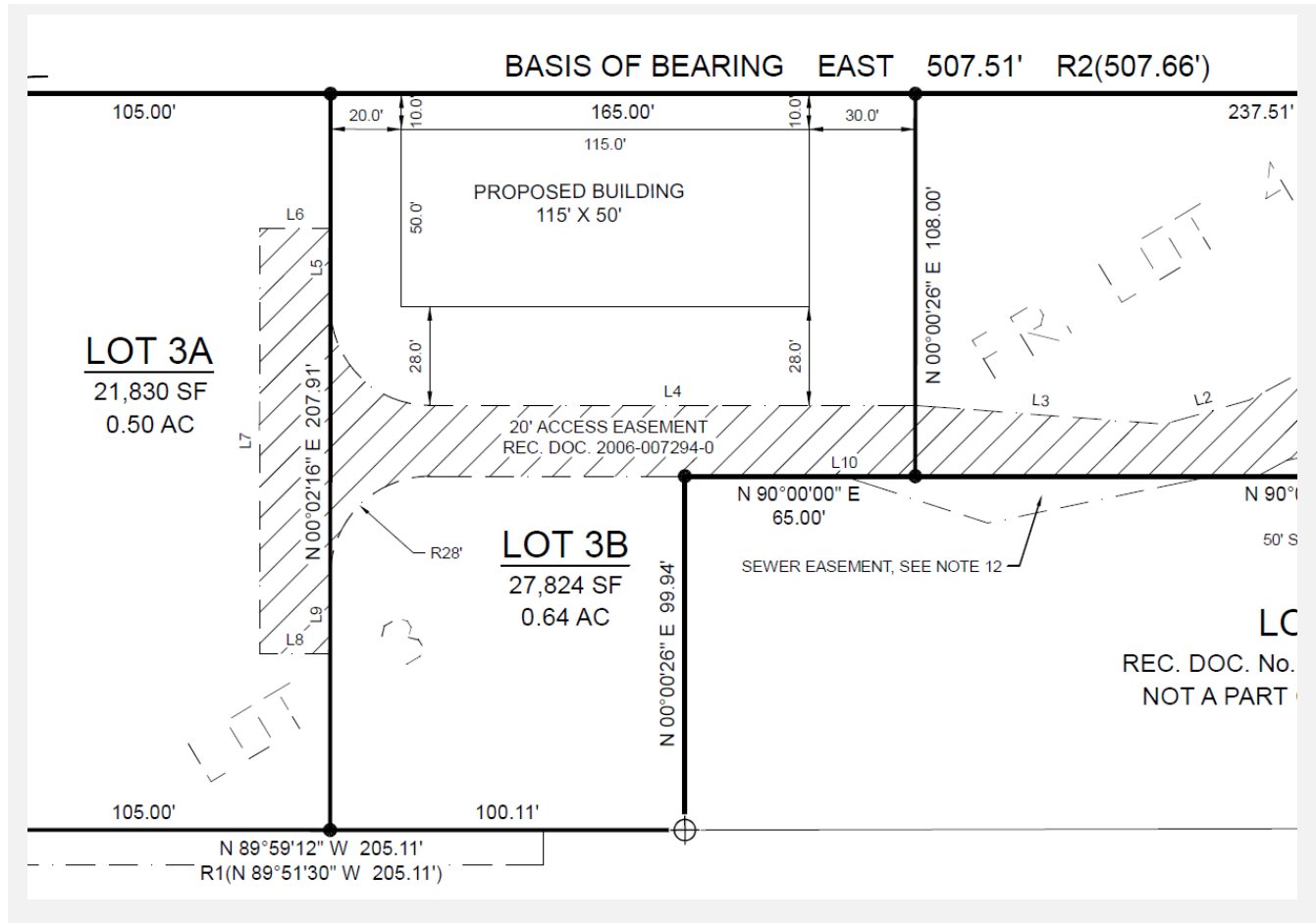
The information reviewed can be found in the attachments of the Nonconforming Certificate (**Attachment B**).

Date	Item	Summary
2004	BLD2004-0258	Building permit for a 40' by 60' garage/shop with 20' by 40' accessory dwelling unit on upper floor
2004	USE04-34	An approved conditional use permit to allow the construction of a storage shop and apartment
2006	Easement Agreement	20-foot-wide access and utility easement approved under USE06-45
2025	PAC25-22	Outlines conditional use permit requirement once subdivision has been completed
2025	MIP25-08	Minor subdivision lot line adjustment and consolidation of lots, thereby reducing five lots into three reconfigured lots
2025	Mendenhall Acre Plat	The plat eliminated two interior lot lines, vacated two unused easements, platted the access easement, and shifted the shared boundary between Lots 3B and 4B approximately 15 ft. east.
2026	BLD26-41	Building permit to construct proposed five-bay commercial storage structure with an upper-story dwelling unit
2026	NCC25-62	Certified nonconforming structure in front yard setback and nonconforming lot for lack of direct and practical access through street frontage

**ZONING REQUIREMENTS FOR PROPOSED STRUCTURE**

Standard		Requirement	Proposed	Code Reference
<b>Lot</b>	Size	2,000 square feet	27,824 square feet	CBJ 49.25.400
	Width	20 feet	115 feet	CBJ 49.25.400
<b>Setbacks</b>	Front (E)	25 feet	30 feet	CBJ 49.25.400
	Rear (W)	10 feet	20 feet	CBJ 49.25.400
	Side (N)	10 feet	10 feet	CBJ 49.25.400
	Side (S)	10 feet	~48	CBJ 49.25.400
	Side (S)	10 feet	~148	CBJ 49.25.400
<b>Lot Coverage Maximum</b>		No maximum	~30%	CBJ 49.25.400
<b>Vegetative Cover Minimum</b>		15%	~26%	CBJ 49.50.300
<b>Height</b>	Permissible	45	Two-story structure	CBJ 49.25.400
	Accessory	35	Two-story structure	CBJ 49.25.400
<b>Maximum Dwelling Units</b>		30 dwelling units per acre	2 Dwelling units	CBJ 49.25.500
<b>Use</b>		Mixed-use	Storage (Use 10.210) and dwelling unit (Use 1.110)	CBJ 49.25.300

**SITE PLAN**



**ANALYSIS**

**Project Site** – The subject property is approximately 27,824 square feet and is located within the Light Commercial (LC) zoning district. The site is currently developed with storage/shop bays and an accessory dwelling unit and is served by public water and sewer. Access to the site is provided via an existing 20-foot-wide access easement from Glacier Highway. The property does not have direct frontage access and previously received a Nonconforming Certificate for access and frontage.

**Condition:** None

**Project Design** – The proposed development consists of a new five-bay storage building with one upper-story dwelling unit, totaling approximately 6,750 square feet. The structure is designed to be consistent in scale and appearance with existing storage buildings on the same lot and adjacent lot.

**Condition:** None

**Traffic** – According to CBJ 49.40.300(a)(2), a traffic impact analysis is not required. The proposed development is anticipated to generate less than 250 average daily trips (ADTs). The trip generation numbers below were estimated using the ITE Trip Generation Manual, 9th Edition for an average weekday.

Use	Total Sq. Ft.	Trips Generated	Total Trips
Mini-Warehouse	5,750	2.5/1,000 square feet	14
Single-Family Housing	1,000 (1 unit)	9.5/dwelling unit	9.5
<b>Total ADTs:</b>			<b>23.5</b>

**Condition:** None

**Vehicle Parking & Circulation** – The parking plan proposes ten parking spaces oriented toward the building, which exceed the requirement of CBJ 49.40.210. The plans include lighting for the parking area. There is one ADA parking space present on the lot.

Use	Unit/Total Sq. Ft.	Spaces Required	Total Spaces
Warehouse, storage, wholesale business	5,750	1/1,000 sq. ft. gross floor area	6
Single-family residential	1,000	2/dwelling unit	2
<b>Total Parking Requirement:</b>			<b>8</b>
<b>Off-Street Loading Spaces Required:</b>			<b>1</b>
<b>ADA Accessible Spaces Required:</b>			<b>1</b>

**Condition:** One off-street loading space must be confirmed prior to issuance of Certificate of Occupancy [CBJ 49.40.225(c)].

**Noise** – No high-intensity noise-generating activities are identified as part of the proposal.

**Condition:** None

**Lighting** – The applicant proposes exterior lighting shown on the building plans and submitted fixture details showing a full-cutoff design.

**Condition:** Lighting fixtures must be "full cutoff" styles that direct light only onto the subject parcel.

**Vegetative Cover & Landscaping** – According to CBJ 49.50.300, lots zoned Light Commercial are required to provide a minimum of 15% vegetative cover. The proposal includes adequate space for vegetative cover beyond the minimum requirement; however, a landscaping plan should be provided to confirm locations of vegetative cover.

**Condition:** Prior to issuance of a building permit, a final landscaping plan showing the confirmed locations of vegetative cover shall be submitted for review and approval.

**Habitat** – No known habitat on the lot regulated by Title 49 will be affected by this proposal.

**Condition:** None

**Drainage and Snow Storage** – The proposal includes drainage details. The site has ample space for snow storage. Any proposed grading or changes to drainage will be reviewed through the building permit review process.

**Condition:** None

**Hazard Zones** - The lot is not in a mapped hazard area.

**Condition:** None

**Public Health, Safety, and Welfare** – There is no evidence to suggest that the proposed development, with the appropriate conditions, will materially endanger the public health, safety, or welfare.

**Condition:** None

**Property Value or Neighborhood Harmony** – No information has been submitted that suggests the proposed project will substantially decrease property values or be out of harmony with the neighboring properties. A similar use has historically been located in the area.

**Condition:** None

**AGENCY REVIEW**

CDD conducted an agency review comment period between April 8 and April 20 and received the following responses:

<b>Agency</b>	<b>Summary</b>
Building	Stamped architectural plans (that comply with the current IBC), structural plans (that comply with the current IBC), mechanical plans (that comply with the current IMC and UPC) and electrical plans (that comply with the current NEC) will be required to be submitted for review and approved prior to construction of any structures.
General Engineering	No comments provided.
Capital City Fire and Rescue	Access must meet 2024 IFC Appendix D.

**PUBLIC COMMENTS**

CDD conducted a public comment period between March 31 and April 20, 2026. Public notice was mailed to property owners within 500 feet of the proposed development (**Attachment D**). A public notice sign was also posted on-site two weeks prior to the scheduled hearing (**Attachment E**). No public comments submitted at the time of writing this staff report.

**CONFORMITY WITH ADOPTED PLANS**

The proposed development is in general conformity with the 2013 Comprehensive Plan, the 2015 Juneau Economic Development Plan, and the 2016 Housing Action Plan.

PLAN	Chapter	Page No.	Item	Contents
2013 Comprehensive Plan	Chapter 3 Community Form	18	Principles for Creating Livable Mixed Use Communities, Adapt to Urban Centers	<p><i>Take advantage of the presence of adequate municipal water and sewer services, other utilities, roads and infrastructure by pursuing in-fill development on vacant land within the urban service area, adaptive re-use of vacant buildings and/or redevelopment of underutilized or older, obsolete buildings. In-fill and redevelopment structures should respect the overall character of the existing neighborhood, although building heights and densities will be greater. New developments should provide vehicular, pedestrian and viewshed connectivity to adjacent established neighborhoods.</i></p> <p><b>The proposal meets this principle.</b></p>
	Chapter 10 Land Use	140	Mixed Use Development	<p><i>Mixed use development is also seen as an avenue to implement several Comprehensive Plan policies, notably those pertaining to compact development, energy efficiency/sustainability, efficient transit services, and affordable housing. Locations outside of the downtown core that are suitable for mixed use development include downtown Douglas, the village center of Auke Bay near the University, and areas in and around shopping malls and near major employment centers. It should be noted that in mixed use areas around the airport, owners should be required to notify prospective tenants and buyers of aircraft noise impacts.</i></p> <p><b>The proposal meets this principle.</b></p>
	Chapter 11 Land Use Maps	180-181	Subarea 4: East Mendenhall Valley & Airport	<p><i>Maintain the density of existing neighborhoods while encouraging in-fill development of low- to moderate-income affordable housing.</i></p>

PLAN	Chapter	Page No.	Item	Contents
				<p><i>Expand the Mixed Use District in the Mendenhall Mall vicinity that would incorporate general commercial uses, high density residential use and public transit services. Make the most efficient use of parking by incorporating housing over a garage with retail shops wrapping around the ground floor. Student or senior housing within the Mall or over the garage should not be required to provide parking spaces.</i></p> <p><b>The proposal meets these principles.</b></p>
<b>2015 Juneau Economic Development Plan</b>	2. Economic Development Planning Concepts and Practices	17	3. Remove barriers and strengthen the foundational areas that support economic success.	<p><i>Land availability - an adequate supply of appropriately zoned land is available for commerce and industry, as well as residential development. This includes access to the land needed to support commercial, industrial, and other development. This also includes zoning that supports neighborhood-based small business growth that creates jobs and provides services which area residents and the community need. This type of small business development and growth also supports quality of life and walkable mixed-use neighborhoods.</i></p> <p><b>The proposal meets this principle.</b></p>
	5. Action Plan for Juneau's Economy	101	Initiative: Promote Housing Affordability and Availability, Local Government Role	<p><i>Zoning to encourage smaller housing development (e.g. multiple small homes on a single lot, cottage housing, accessory apartments, etc.)</i></p> <p><b>The proposal meets this principle.</b></p>
	4. Juneau's Desired Economic Future	41	Core Economic Development Principles	<p><i>A healthy housing market that meets the needs of all residents and employers is an essential element of a strong economy.</i></p> <p><b>The proposal meets this principle.</b></p>
<b>2016 Housing Action Plan</b>	4. Production targets	40	Develop Homeowner Opportunities	<p><i>As stated in the CBJ Comprehensive plan, housing is a key form of economic development, one that is best paired</i></p>

PLAN	Chapter	Page No.	Item	Contents
			for Young Adults and Families	<p><i>with the economic drivers of the local economy. In Juneau, these include sectors such as marine biology and high-end tourism, but they also include people, the most important group being innovative millennials. Young adults and families – who Juneau must have in order to maintain its current population and grow in the future – need affordable and market-rate rental units and lower-cost (“first time homebuyer”) for-sale opportunities.</i></p> <p><b>The proposal meets this principle.</b></p>

**FINDINGS**

**Conditional Use Permit Criteria** – Per CBJ 49.15.330 (e) & (f), Review of Director's & Commission’s Determinations, the Director makes the following findings on the proposed development:

**1. *Is the application for the requested Conditional Use Permit complete?***

**Analysis:** No further analysis needed.

**Finding: Yes.** The application for the requested Conditional Use Permit is complete.

**2. *Is the proposed use appropriate according to the Table of Permissible Uses?***

**Analysis:** The proposed use is permissible with a conditional use permit process in a LC zone.

**Finding: Yes.** The proposed use is appropriate according to the Table of Permissible Uses.

**3. *Will the proposed development comply with the other requirements of this chapter?***

**Analysis:** The proposed site design complies with Title 49.

**Finding: Yes.** With the recommended conditions, the proposed development will comply with Title 49, including parking, lighting, signage, public and private improvements, vegetative cover, and noise.

**4. *Will the proposed development materially endanger the public health, safety, or welfare?***

**Analysis:** No further analysis needed.

**Finding: No.** There is no evidence to suggest that with appropriate conditions, the requested use, in a LC zoning district, will materially endanger the public health or safety.

**5. Will the proposed development substantially decrease the value of or be out of harmony with property in the neighboring area?**

**Analysis:** No further analysis needed.

**Finding: No.** There is no evidence to suggest that with appropriate conditions, the requested use, in a LC zoning district, will substantially decrease the value or be out of harmony with the property in the neighboring area.

**6. Will the proposed development be in general conformity with the 2013 Comprehensive Plan, the 2016 Housing Action Plan, the 2015 Juneau Economic Development Plan, or other officially adopted plans?**

**Analysis:** The mixed use nature of the proposal is in alignment with community visions outlined in the plans reviewed earlier in the report.

**Finding: Yes.** The proposed use, with the recommended conditions, will be in general conformity with the 2013 Comprehensive Plan, the 2016 Housing Action Plan, and the 2015 Juneau Economic Development Plan.

**RECOMMENDATION**

Staff recommends the Planning Commission adopt the Director's analysis and findings and APPROVE the requested Conditional Use Permit. The permit would allow the development of a five-bay storage structure with one attached dwelling unit in a LC zone.

The approval is subject to the following conditions:

1. One off-street loading space must be confirmed prior to issuance of Certificate of Occupancy [CBI 49.40.225(c)].
2. All exterior lighting fixtures shall be of a "full cutoff" design.
3. Prior to issuance of a building permit, a final landscaping plan showing the confirmed locations of vegetative cover shall be submitted for review and approval.

**STAFF REPORT ATTACHMENTS**

Item	Description
Attachment A	USE26-04 Application Packet
Attachment B	NOD_NCC25-62 Final Bundle
Attachment C	NOD_USE06-45
Attachment D	ABN_USE26-04 Abutters Notice
Attachment E	USE26-04 Public Notice Sign Photo



**City & Borough of Juneau, Alaska**  
 155 Heritage Way Juneau, AK 99801

Plan NO.: **USE20260004**  
 Plan Type: **PL - Conditional Use Permit**  
 Work Classification: **Commission Approval (Final)**  
 Plan Status: **In Review**  
 Apply Date: **03/19/2026**  
 Expiration: **[None Listed]**

**Location Address**

**9333 Glacier Hwy, Juneau, AK 99801**

**Parcel Number**

**5B1601140051**

**Contacts**

Rob Worden, WORDEN HOMES INC PO BOX 211574, AUKE BAY, AK 99821-1574 (907) 321-5015	<b>Applicant</b>  roblisa@ak.net	Rob Worden, WORDEN HOMES INC PO BOX 211574, AUKE BAY, AK 99821-1574 (907) 321-5015	<b>Owner</b>  roblisa@ak.net
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**Description:** 5 unit storage building with assessorly apartment .Needed to meet PAC2025-0022

<u>Fees</u>	<u>Amount</u>	<u>Payments</u>	<u>Amt Paid</u>
Public Notice Sign Fee	50.00	<b>Total Fees</b>	<b>\$650.00</b>
Public Notice Sign Deposit	100.00	Credit Card	\$650.00
Class II Use Fee	500.00	<b>Amount Due:</b>	<b>\$0.00</b>
<b>Total:</b>	<b>\$650.00</b>		

<u>Condition Name</u>	<u>Description</u>	<u>Comments</u>
Fire Access Modifications	Prior to the issuance of a building permit for the subject project, the developer shall make any and all modifications to the site plan required by the CBJ Fire Marshal in order to provide adequate facilities for emergency vehicle access.	Fire department access must meet 2024 IFC Appendix D.

**Additional Information:**

**Note:** Only answered questions are listed below. For a full view of all application questions see Civic Access More Info Tab:

<https://cityandboroughofjuneauak-energovweb.tylerhost.net/apps/selfservice#/plan/aea8d8be-0bb3-48d3-8cfe-5829add1f23d?tab=moreinfo>



**City & Borough of Juneau, Alaska**  
155 Heritage Way Juneau, AK 99801

Plan NO.: **USE20260004**  
Plan Type: **PL - Conditional Use Permit**  
Work Classification: **Commission Approval (Final)**  
Plan Status: **In Review**  
Apply Date: **03/19/2026**  
Expiration: **[None Listed]**

**Pre-Application Case Number:** PAC2025-0022

**Describe the Project:** new 5 unit storage bays with an accessory apartment

**Describe the Project Purpose:** There is a shortage of dry large storage in town and this will mirror the existing buildings next to it.

**Describe the Project Site Circulation:** there is plenty of driving areas and parking in the area.

**Describe the Project Traffic:** standard construction traffic during project with storage unit parking in front of the units after construction or parking inside the units.

**Describe the Project Site Drainage:** all drainage runs to a ditch easement and out to duck creek at the front of the adjoining property

**Describe the Project Site Snow Storage:** There are several snow storage spots on site and at the ends of the proposed building

**Describe the Project Site Vegetation:** paved parking in the front and natural vegetation in the rear of the building

**Describe Any Other Project Details:** This building is a mirror image to the building on the neighboring lot .

**Comprehensive Plan:** This building fits in as light commercial and is the same as neighboring properties.

**Accessory Apartment?:** Yes

**Previous Approval Case Number:** PAC2025-0022

**Total Area of Lot (Sq. Ft):** 27824

**Total Area of Existing Structure(s) (Sq. Ft.):** 2400

**Total Area of Proposed Structure(s) (Sq. Ft.):** 6750

**Total Lot Coverage Existing Structure(s) (Sq. Ft.):** 2400

**Total Lot Coverage Proposed Structure(s) (Sq. Ft.):** 9150

**Current use of land or building(s):** light commercial with shop bays and one accessory apartment

**Proposed use of land or building(s):** light commercial with 5 more shop bays and one more accessory apartment

**Project includes proposed lighting?:** Yes

**Existing lighting to remain?:** Yes

**CBJ Water Available?:** Public

**CBJ Sewer Available?:** Public

**Class I Use:** No

**Class II Use:** Yes

**Class III Use:** No

**Class IV Use:** No

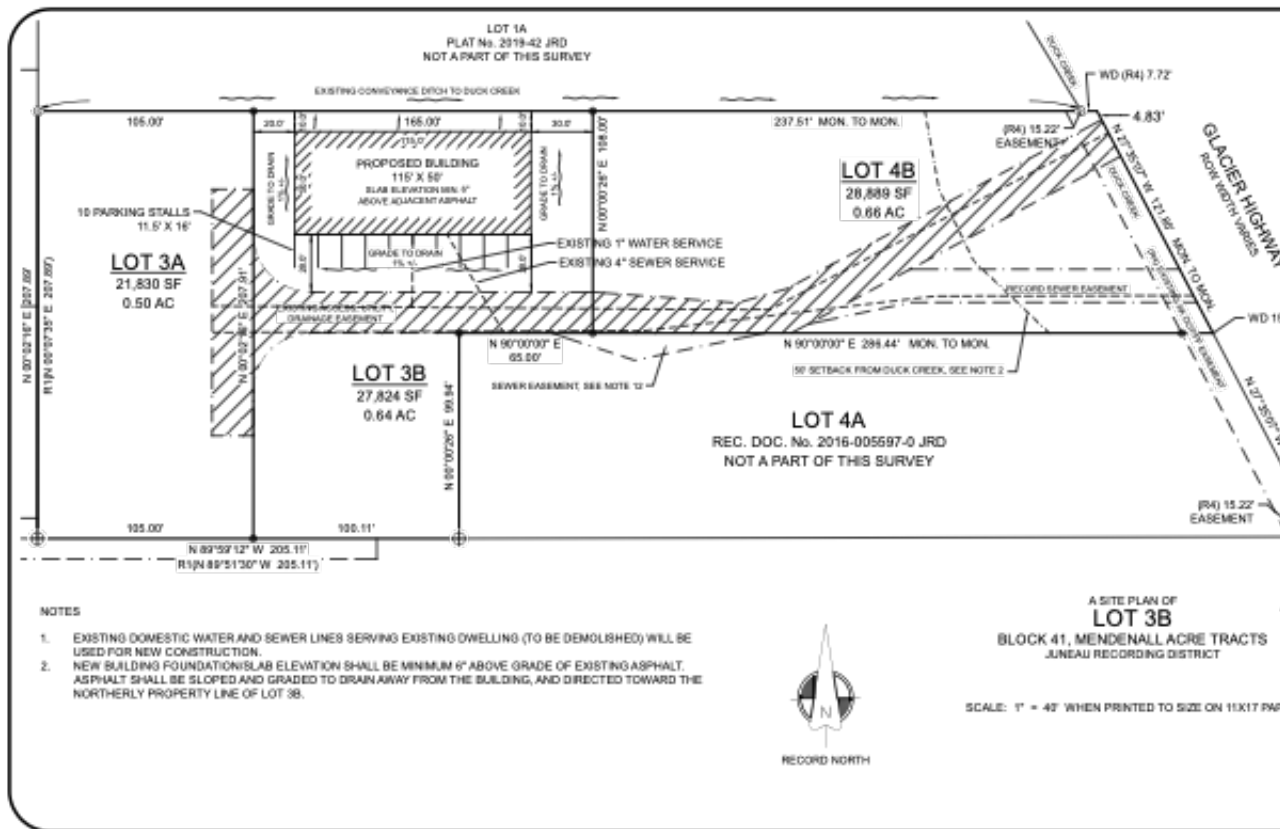
**Class V Use:** No

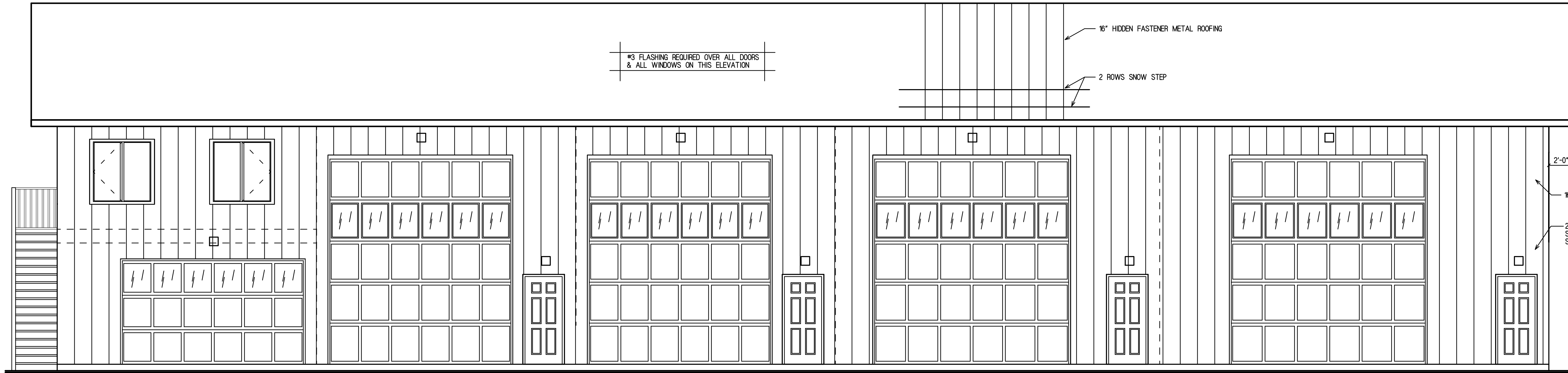
From: Alec Venchuk lastfrontiersurveying@gmail.com  
 Subject: Worden Homes Mendenhall Acres Site plan  
 Date: January 28, 2026 at 1:31 PM  
 To: Rob and Lisa Worden roblisa@ak.net, Permits Permits@juneau.gov



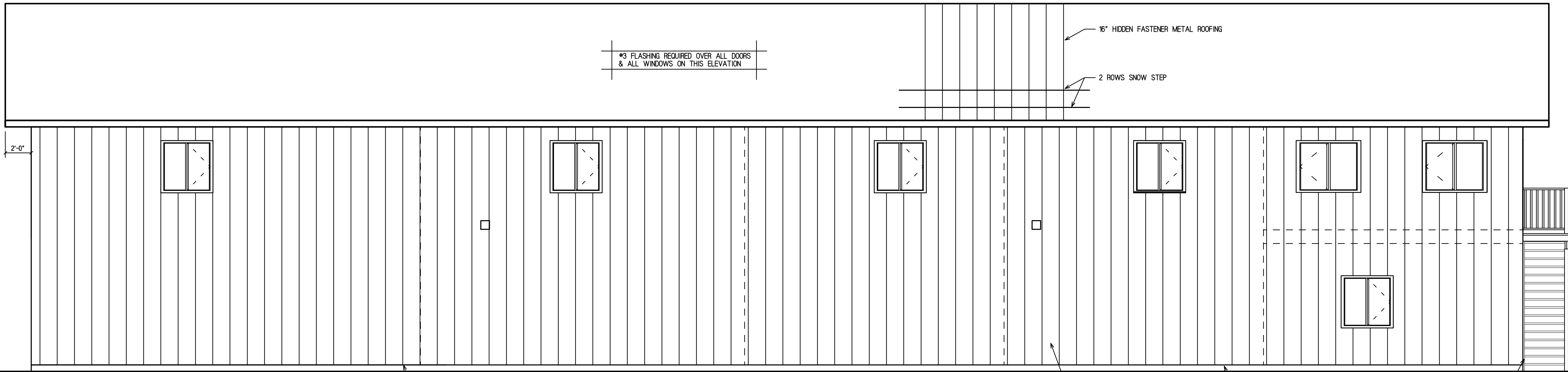
See attached Site plan for Worden Homes.

-Alec





**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

NOTE: TYPICAL ALL ELEVATIONS  
 - VENTED RIDGE  
 - VENTED SOFFIT  
 - METAL ROOFING  
 - VERT. METAL SIDING  
 □ - EXTERIOR WALL LIGHT

REFER TO ENGINEER DRAWINGS FOR ALL STRUCTURAL DETAILS AND SPECS.

**WORDEN HOMES  
BOAT STORAGE BLDG.**

ADDRESS:  
9337 GLACIER HWY, JUNEAU AK

MODEL:  
CUSTOM - 5 UNITS

ORDER #:  
K25005

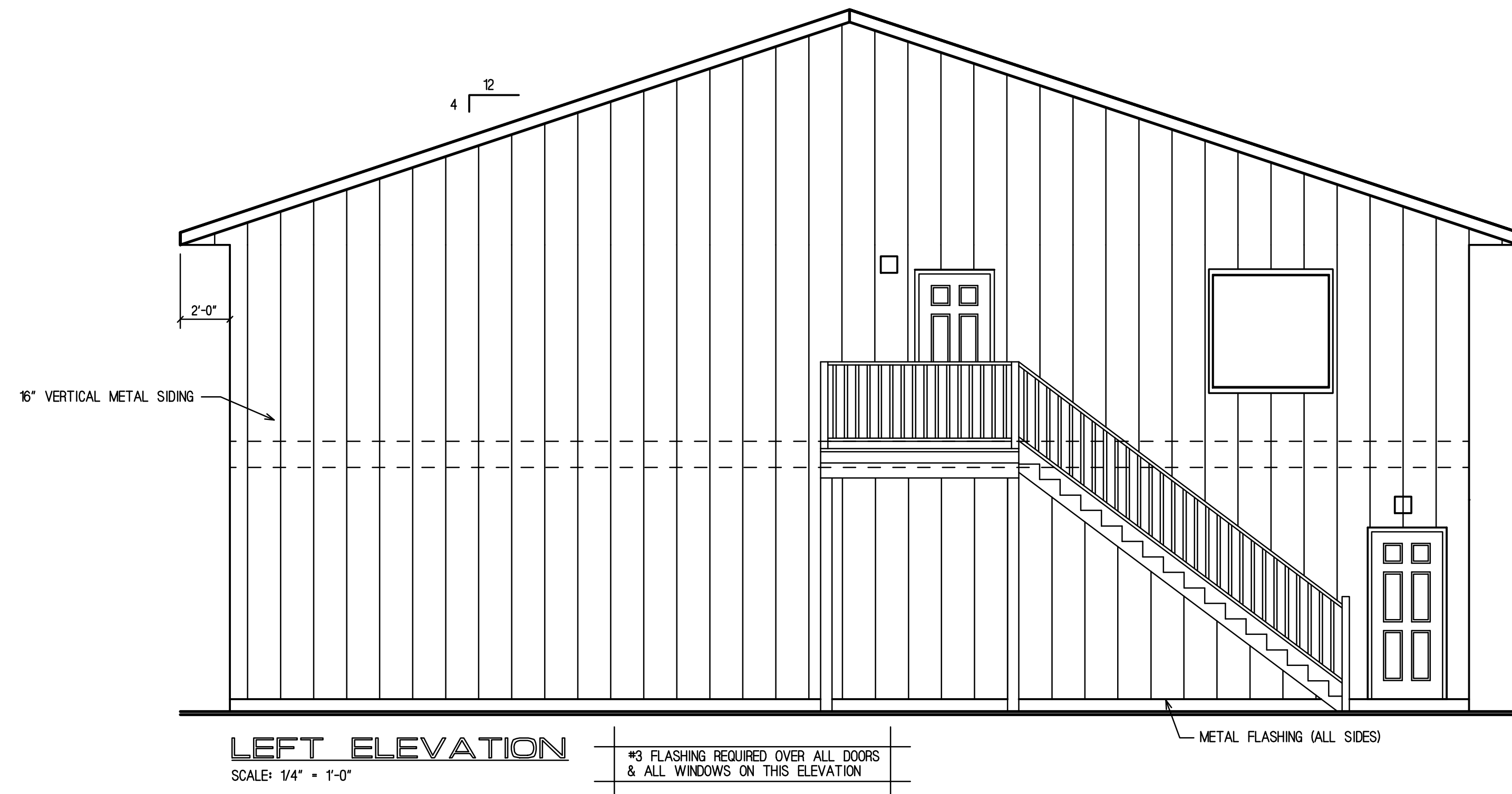
DATE ORG. DRAWN: FEBRUARY 26, 2025

DATE ORG. DRAWN: FEBRUARY 26, 2025

REVISIONS

REVISIONS	DATE (MM/YY)	DRAWN	CHECKED
SKETCH DRAWINGS	12 MAR 2025	LIFESPAC	
SKETCH DRAWINGS	18 MAR 2025	LIFESPAC	
WORKING DRAWINGS	18 JUN 2025	LIFESPAC	
REVISIONS	17 AUG 2025	LIFESPAC	
REVISIONS	12 JAN 2026	LIFESPAC	

**A1**

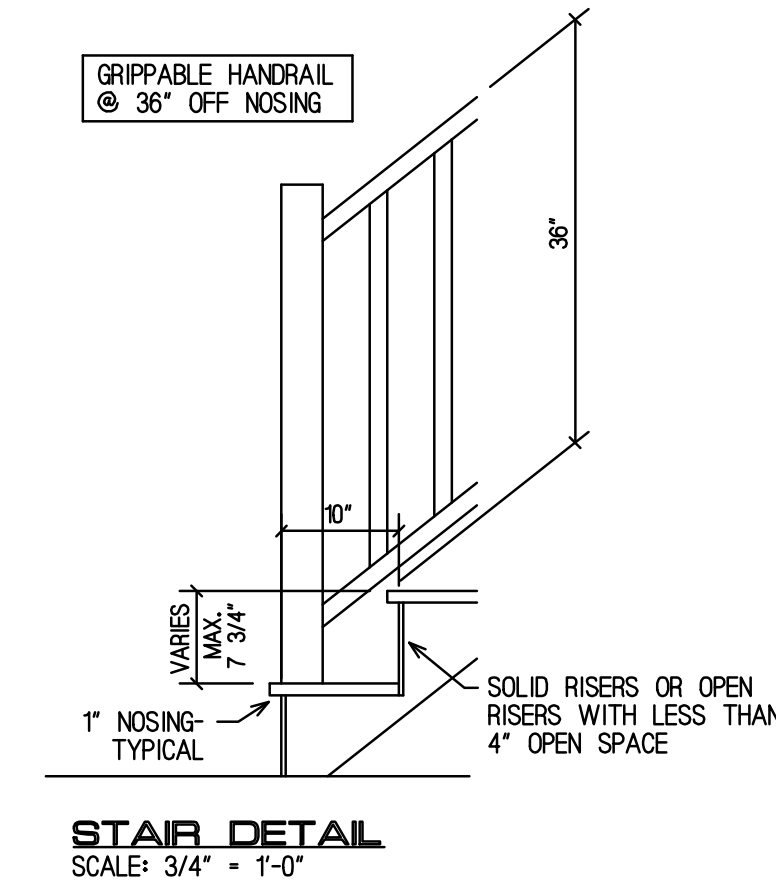


STAIR NOTES:  
 7 3/4" MAX. RISE  
 10" MIN. TREAD (NOSING TO NOSING)  
 36" MIN. RAIL HEIGHT AT LANDINGS  
 SLOPED GRIPPABLE HANDRAIL TO BE 34-38" ABOVE SLOPED PLANE OF NOSINGS  
 3x12 STAIR HORSE  
 HANDRAIL TO WALL OR POST DIMENSION: MIN. 1 1/2"  
 HANDRAILS MUST RETURN TO WALL OR END AT POST- NO PROJECTING ENDS  
 PICKETS: LESS THAN 4" BETWEEN

NOTE:  
 ALL EXTERIOR DECK AND STAIR WOOD MUST BE FACTORY  
 PRESSURE TREATED, CEDAR, REDWOOD OR OTHER  
 APPROVED MATERIALS WITH RESISTANCE TO DECAY.

NOTE:  
 3 FT. LANDINGS REQUIRED AT TOP AND BOTTOM AND  
 INTERMEDIATE SO THAT NO FLIGHT OF STAIRS EXCEEDS  
 12 FT. BETWEEN LEVELS, EXCEPT AT TOP OF INTERIOR STAIRS  
 WHERE DOOR DOES NOT SWING OVER STAIRS.

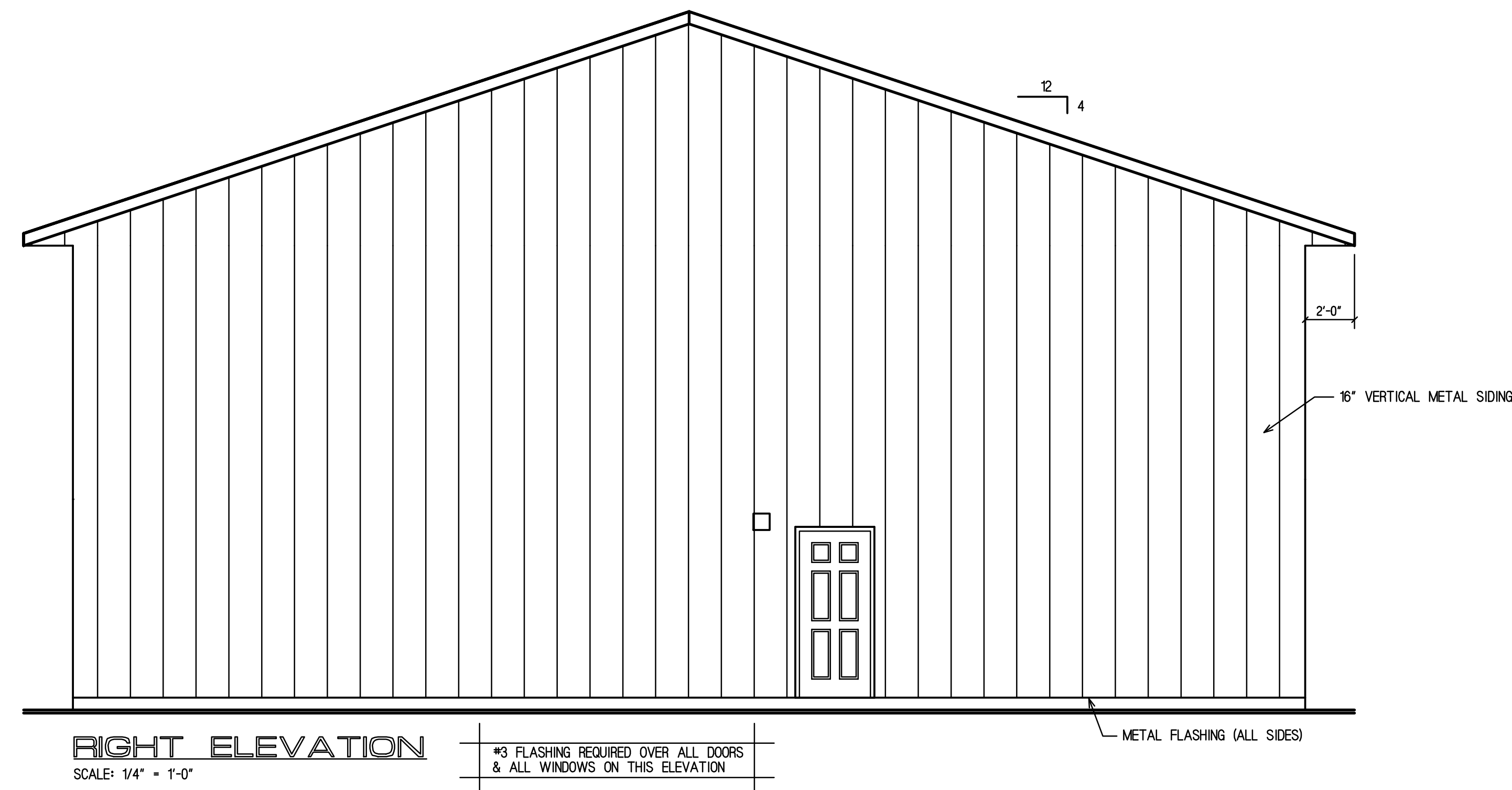
NOTE:  
 STAIR REQUIREMENTS UNDER THE 2012 INTERNATIONAL  
 RESIDENTIAL CODE. SEE IRC SECTIONS R301 AND R302  
 FOR ADDITIONAL DETAILED REQUIREMENTS & EXCEPTIONS.



NOTE: TYPICAL ALL ELEVATIONS

- VENTED RIDGE
- VENTED SOFFIT
- METAL ROOFING
- VERT. METAL SIDING

□ - EXTERIOR WALL LIGHT



REFER TO ENGINEER  
 DRAWINGS FOR ALL  
 STRUCTURAL DETAILS  
 AND SPECS.

<b>WORDEN HOMES BOAT STORAGE BLDG.</b>			
ADDRESS: 9337 GLACIER HWY, JUNEAU AK			
MODEL: CUSTOM - 5 UNITS			
ORDER #: K25005			A2
DRAWN BY: LIFESPACEDESIGN (2022) INC.			
DATE ORG. DRAWN: FEBRUARY 26, 2025			
SPECIFICATION UPDATE: 2025			
REVISIONS	DATE (MM/YY)	DRAWN	CHECKED
SKETCH DRAWINGS	12 MAR 2025	LIFESPACED	
SKETCH DRAWINGS	18 MAR 2025	LIFESPACED	
WORKING DRAWINGS	18 JUNE 2025	LIFESPACED	
REVISIONS	17 AUG 2025	LIFESPACED	
REVISIONS	12 JAN 2026	LIFESPACED	

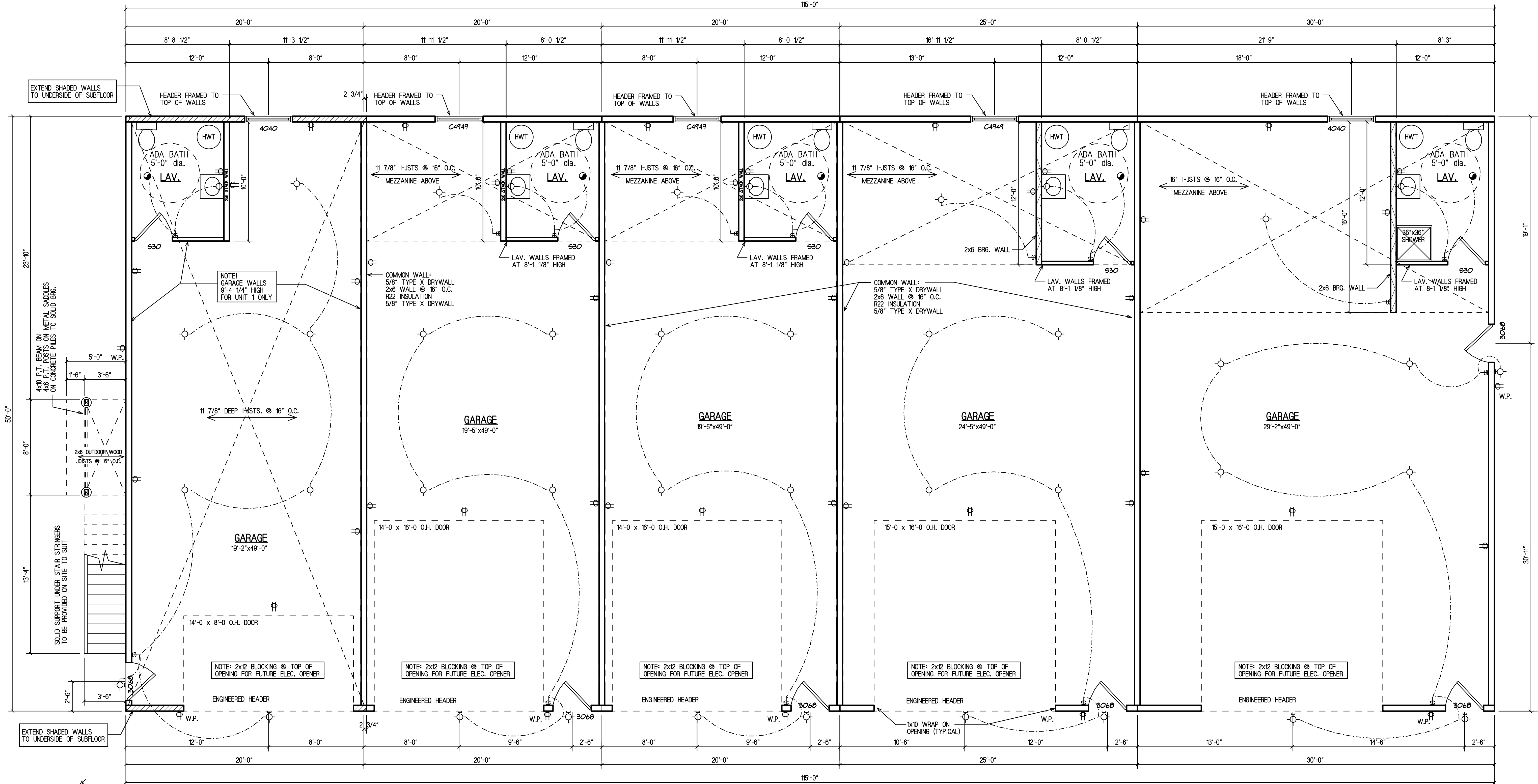
**UNIT 1**  
1000 SQ. FT.

**UNIT 2**  
1000 SQ. FT.

**UNIT 3**  
1000 SQ. FT.

**UNIT 4**  
1250 SQ. FT.

**UNIT 5**  
1500 SQ. FT.



**GARAGE LEVEL PLAN**  
SCALE: 1/4" = 1'-0"

NOTE!  
ALL GARAGE WALLS  
FOR UNITS 2-5 TO BE  
18'-6" HIGH UNLESS  
NOTED OTHERWISE.

NOTE:  
DECKS SHOWN FOR REFERENCE ONLY.  
REFER TO ENGINEERED DECK  
DWGS. FOR DETAILS/NOTES

STAIR NOTES:  
7 3/4" MAX. RISE  
10" MIN. TREAD (NOSING TO NOSING)  
36" MIN. RAIL HEIGHT AT LANDINGS  
GRIPPABLE SLOPED HANDRAIL TO BE 34-38" ABOVE SLOPED PLANE OF NOSINGS  
3x12 STAIR HORSE  
HANDRAIL TO WALL OR POST DIMENSION: MIN. 1 1/2"  
HANDRAILS MUST RETURN TO WALL OR END AT POST- NO PROJECTING ENDS  
PICKETS: LESS THAN 4" BETWEEN

OPENING SCHEDULE								GARAGE LEVEL PLAN
NAME	TYPE	QTY.	SWING	HAND	WIDTH	HEIGHT	HEADER HEIGHT	DESCRIPTION
15x16	EXTERIOR DOOR	2	-	-	15'-3"	16'-0"	16'-0"	15x16 OH DOOR
14x16	EXTERIOR DOOR	2	-	-	14'-3"	16'-0"	16'-0"	14x16 OH DOOR
14x8	EXTERIOR DOOR	1	-	-	14'-3"	8'-0"	8'-0"	14x8 OH DOOR
3068	EXTERIOR DOOR	6	as per plan	as per plan	3'-2 1/2"	6'-10 1/2"	6'-10 1/2"	3'-0" EXT CLAD DOOR
530	INTERIOR DOOR	5	as per plan	as per plan	3'-2"	6'-10 1/4"	6'-10 1/2"	3'-0" INTERIOR SWING DOOR
4040	WINDOW	1	-	-	4'-0"	4'-0"	6'-10 1/2"	
4040	WINDOW	4	-	-	4'-0"	4'-0"	17'-3 3/8"	

NOTE:  
ALL EXTERIOR DECK AND STAIR WOOD MUST BE FACTORY  
PRESSURE TREATED, CEDAR, REDWOOD OR OTHER  
APPROVED MATERIALS WITH RESISTANCE TO DECAY.

NOTE:  
3 FT. LANDINGS REQUIRED AT TOP AND BOTTOM AND  
INTERMEDIATE SO THAT NO FLIGHT OF STAIRS EXCEEDS  
12 FT. BETWEEN LEVELS, EXCEPT AT TOP OF INTERIOR STAIRS  
WHERE DOOR DOES NOT SWING OVER STAIRS.

NOTE:  
STAIR REQUIREMENTS UNDER THE 2012 INTERNATIONAL  
RESIDENTIAL CODE, SEE IRC SECTIONS R311 AND R312  
FOR ADDITIONAL DETAILED REQUIREMENTS & EXCEPTIONS.

REFER TO ENGINEER  
DRAWINGS FOR ALL  
STRUCTURAL DETAILS  
AND SPECS.

**WORDEN HOMES  
BOAT STORAGE BLDG.**

ADDRESS: 9337 GLACIER HWY, JUNEAU AK

MODEL: CUSTOM - 5 UNITS

ORDER #: K25005

DATE ORG. DRAWN: FEBRUARY 26, 2025

DATE ORG. DRAWN: FEBRUARY 26, 2025

DATE ORG. DRAWN: FEBRUARY 26, 2025

REVISIONS	DATE	BY	CHKD
SKETCH DRAWINGS	2 MAR 2025	LPS/SPACE	
SKETCH DRAWINGS	5 MAR 2025	LPS/SPACE	
WORKING DRAWINGS	10 JUNE 2025	LPS/SPACE	
REVISIONS	11 AUG 2025	LPS/SPACE	
REVISIONS	12 JAN 2026	LPS/SPACE	

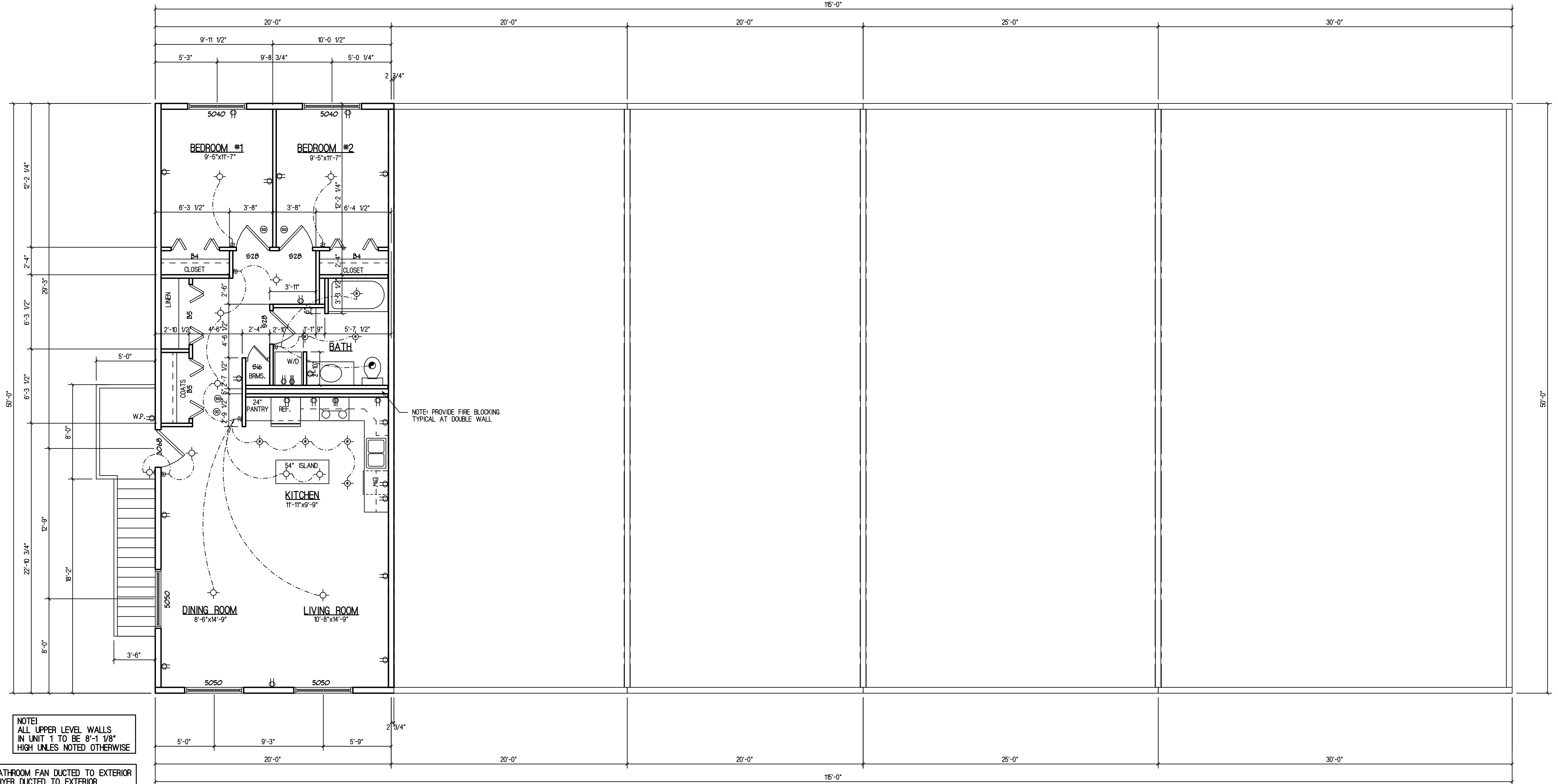
**UNIT 1**  
1000 SQ. FT.

**UNIT 2**

**UNIT 3**

**UNIT 4**

**UNIT 5**



NOTE: PROVIDE FIRE BLOCKING TYPICAL AT DOUBLE WALL

NOTE:  
ALL UPPER LEVEL WALLS  
IN UNIT 1 TO BE 8'-1 1/8"  
HIGH UNLESS NOTED OTHERWISE

- BATHROOM FAN DUCTED TO EXTERIOR
- DRYER DUCTED TO EXTERIOR
- MICROHOOD DUCTED TO EXTERIOR
- PROVIDE MIN. 26 Ga. THICKNESS AT KITCHEN EXHAUST FAN DUCTING.

**UPPER FLOOR LEVEL: UNIT 1 ONLY**  
SCALE: 1/4"=1'-0"

OPENING SCHEDULE								UPPER LEVEL
NAME	TYPE	QTY.	SWING	HAND	WIDTH	HEIGHT	HEADER HEIGHT	DESCRIPTION
3068	EXTERIOR DOOR	1	as per plan	as per plan	3'-2 1/2"	6'-10 1/2"	6'-10 1/2"	3'-0" EXT CLAD DOOR
B4	INTERIOR DOOR	2	as per plan	as per plan	4'-1 1/4"	6'-10 1/2"	6'-10 1/2"	4'-0" BI-FOLD
B5	INTERIOR DOOR	2	as per plan	as per plan	5'-1 1/4"	6'-10 1/2"	6'-10 1/2"	5'-0" BI-FOLD
S16	INTERIOR DOOR	1	as per plan	as per plan	1'-8"	6'-10 1/2"	6'-10 1/2"	1'-6" INTERIOR SWING DOOR
S28	INTERIOR DOOR	3	as per plan	as per plan	2'-10"	6'-10 1/2"	6'-10 1/2"	2'-8" INTERIOR SWING DOOR
5040	WINDOW	2	-	-	5'-0"	4'-0"	6'-10 1/2"	
5050	WINDOW	3	-	-	5'-0"	5'-0"	6'-10 1/2"	

**WORDEN HOMES  
BOAT STORAGE BLDG.**

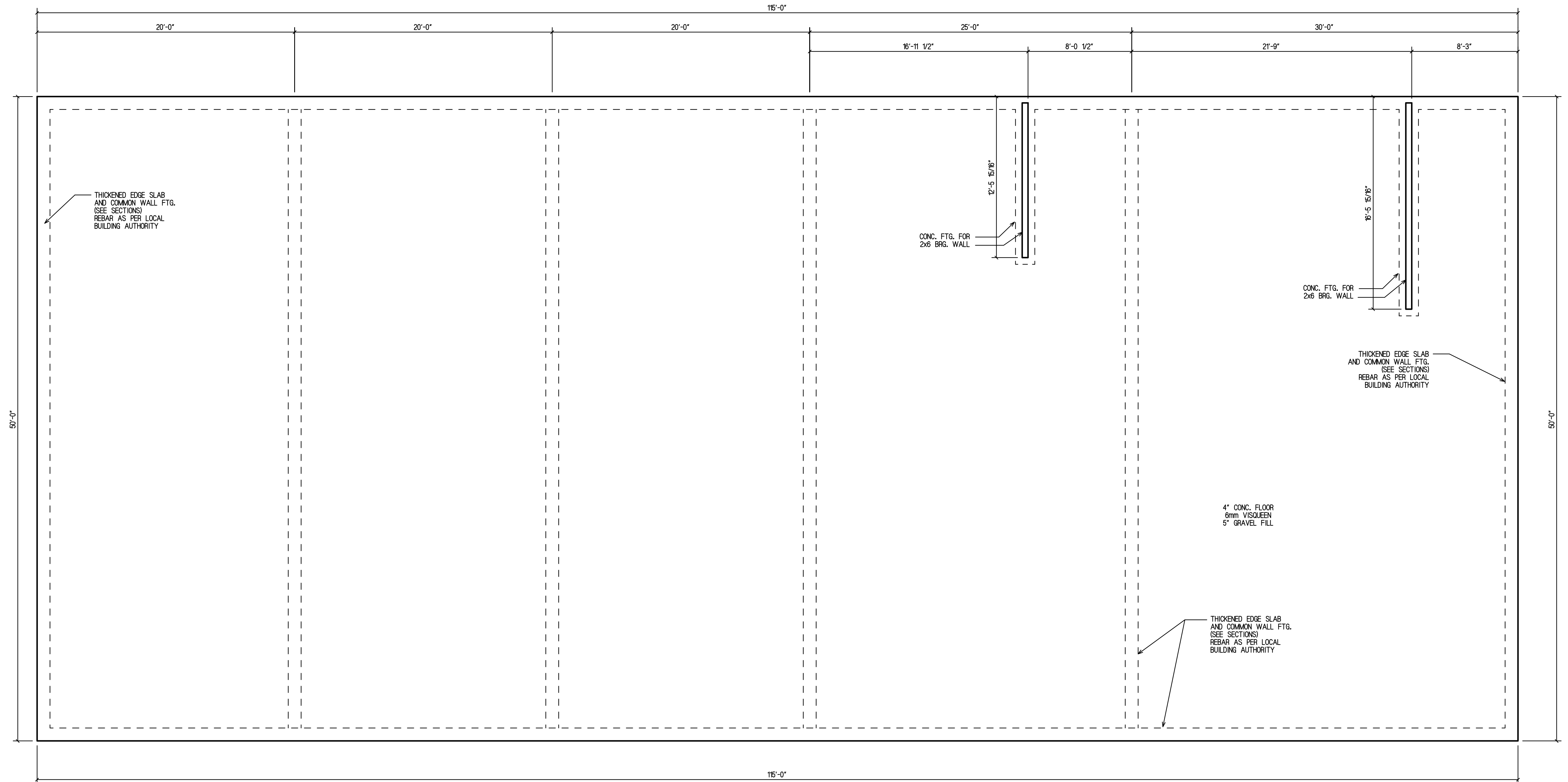
ADDRESS:  
9337 GLACIER HWY, JUNEAU AK

MODEL:  
**CUSTOM - 5 UNITS**

DRAWN BY: LIFESPACEDESIGN (2022) INC.  
DATE ORIG. DRAWN: FEBRUARY 26, 2025  
SPECIFICATION UPDATE: 2025

REVISIONS	DATE (MM/YY)	DRAWN	CHECKED
SKETCH DRAWINGS	12 MAR 2025	LIFESPACED	
SKETCH DRAWINGS	18 MAR 2025	LIFESPACED	
WORKING DRAWINGS	18 JUN 2025	LIFESPACED	
REVISIONS	17 AUG 2025	LIFESPACED	
REVISIONS	12 JAN 2026	LIFESPACED	

REFER TO ENGINEER DRAWINGS FOR ALL STRUCTURAL DETAILS AND SPECS.

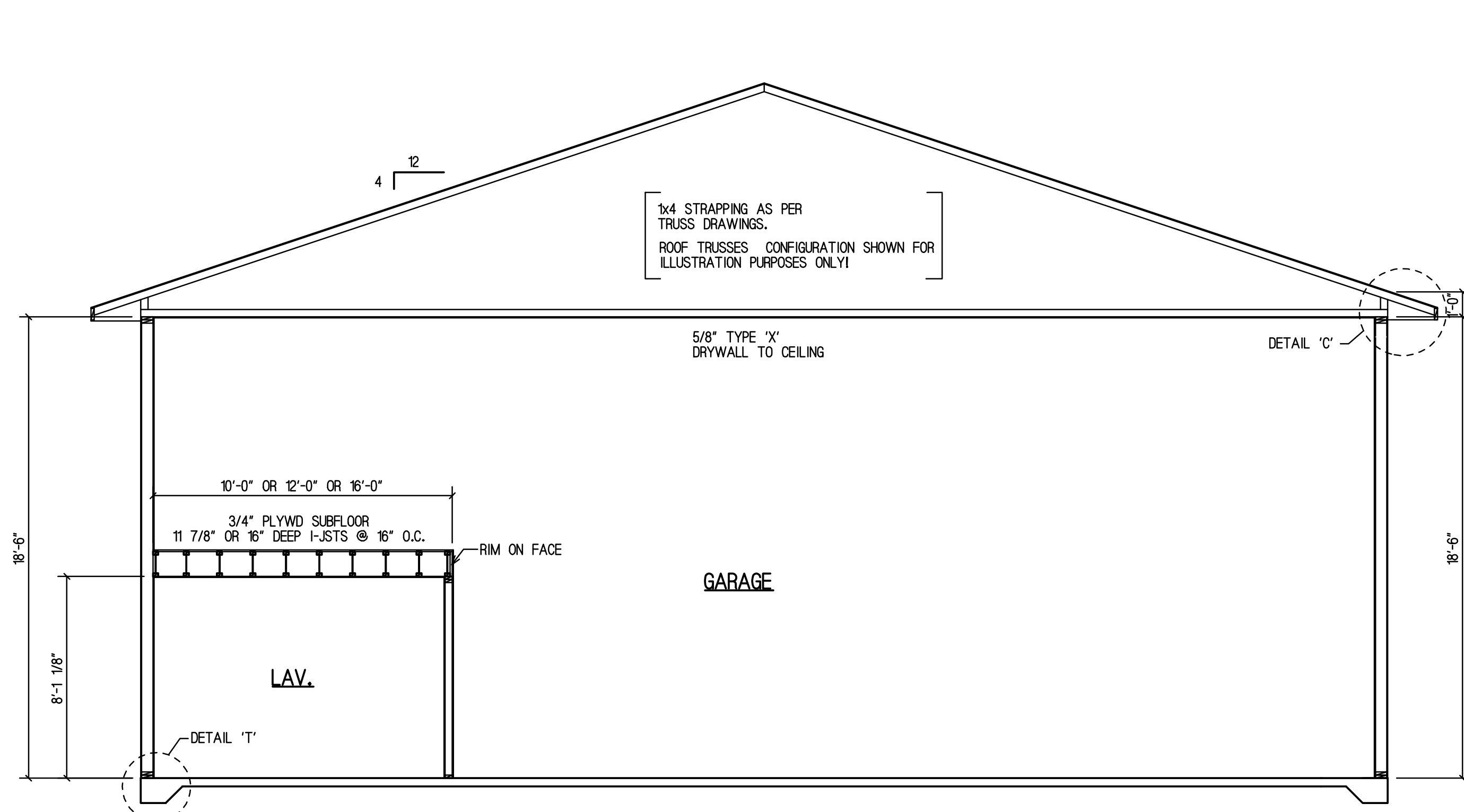


**FOUNDATION PLAN**  
SCALE: 1/8"=1'-0"

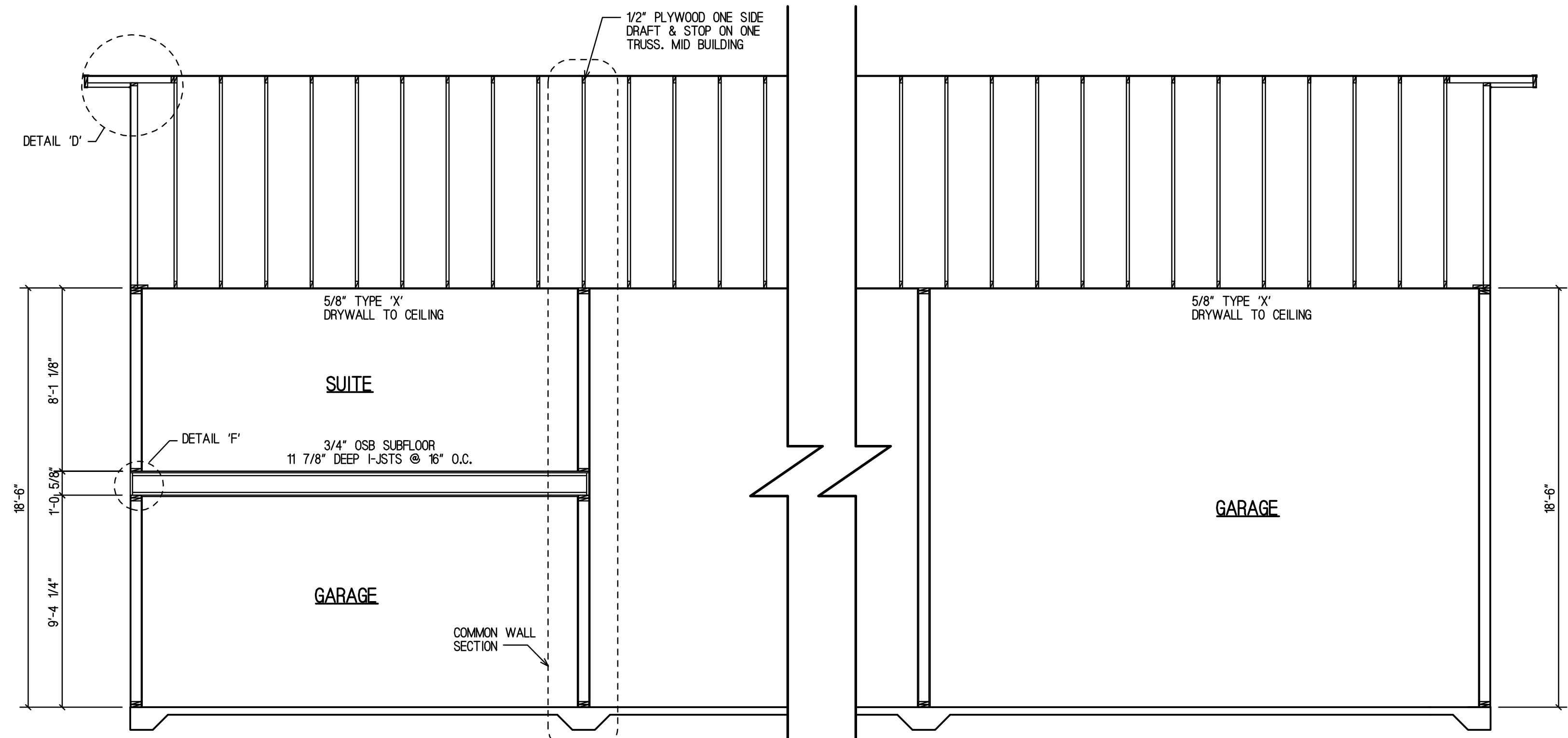
NOTE:  
STRUCTURAL AS PER STAMPED  
ENGINEERED DRAWINGS

REFER TO ENGINEER  
DRAWINGS FOR ALL  
STRUCTURAL DETAILS  
AND SPECS.

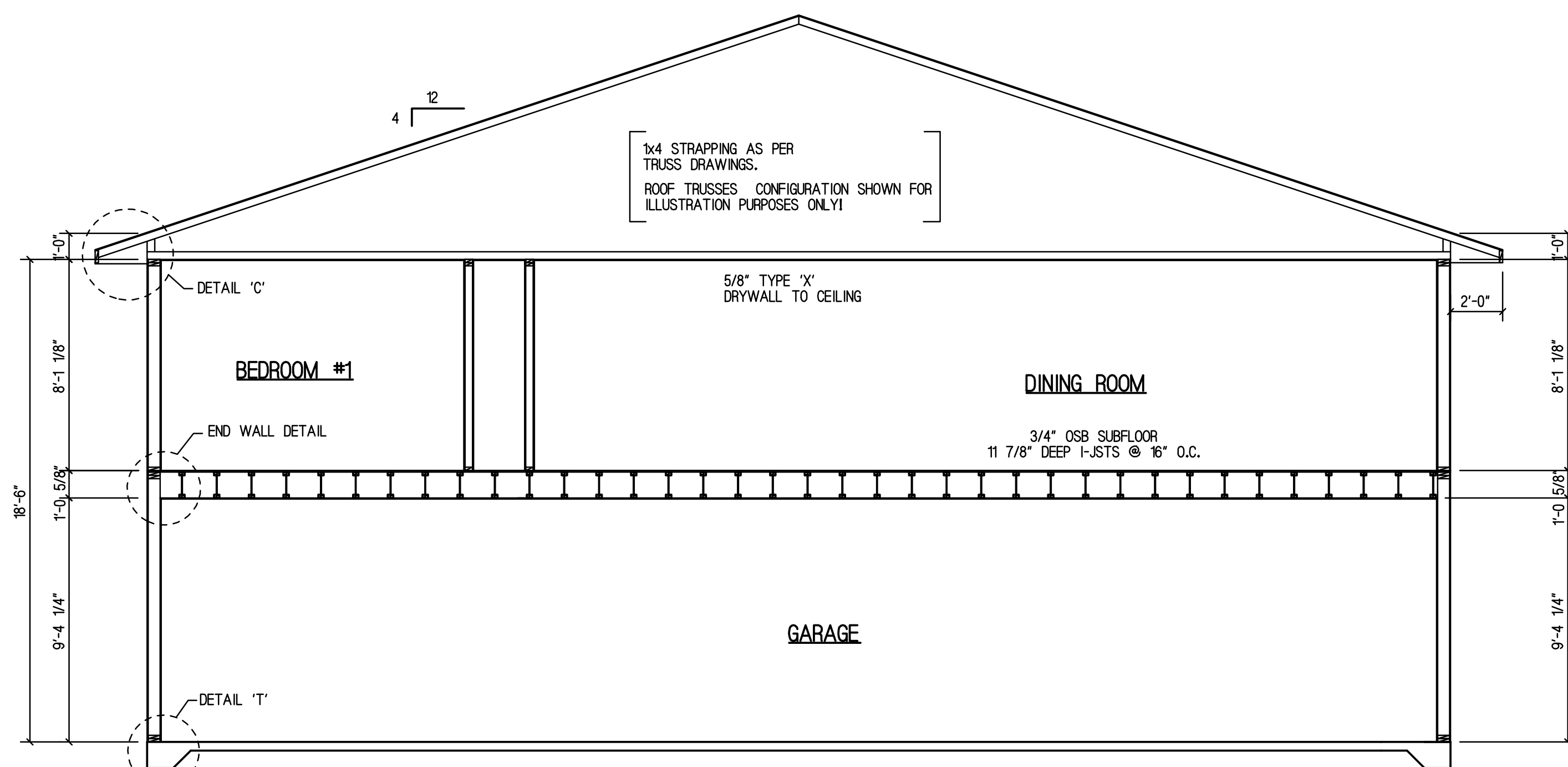
<b>WORDEN HOMES BOAT STORAGE BLDG.</b>			
ADDRESS: 9337 GLACIER HWY, JUNEAU AK			
MODEL: CUSTOM - 5 UNITS			
ORDER #: K25005			A5
DRAWN BY: LIFESPACE DESIGN (2020) INC.			
DATE ORG. DRAWN: FEBRUARY 26, 2025			
SPECIFICATION UPDATE: 2025			
REVISIONS	DATE (MM/YY)	DRAWN	CHECKED
SKETCH DRAWINGS	12 MAR 2025	LIFESPACE	
SKETCH DRAWINGS	18 MAR 2025	LIFESPACE	
WORKING DRAWINGS	18 JUNE 2025	LIFESPACE	
REVISIONS	17 AUG 2025	LIFESPACE	
REVISIONS	12 JAN 2026	LIFESPACE	



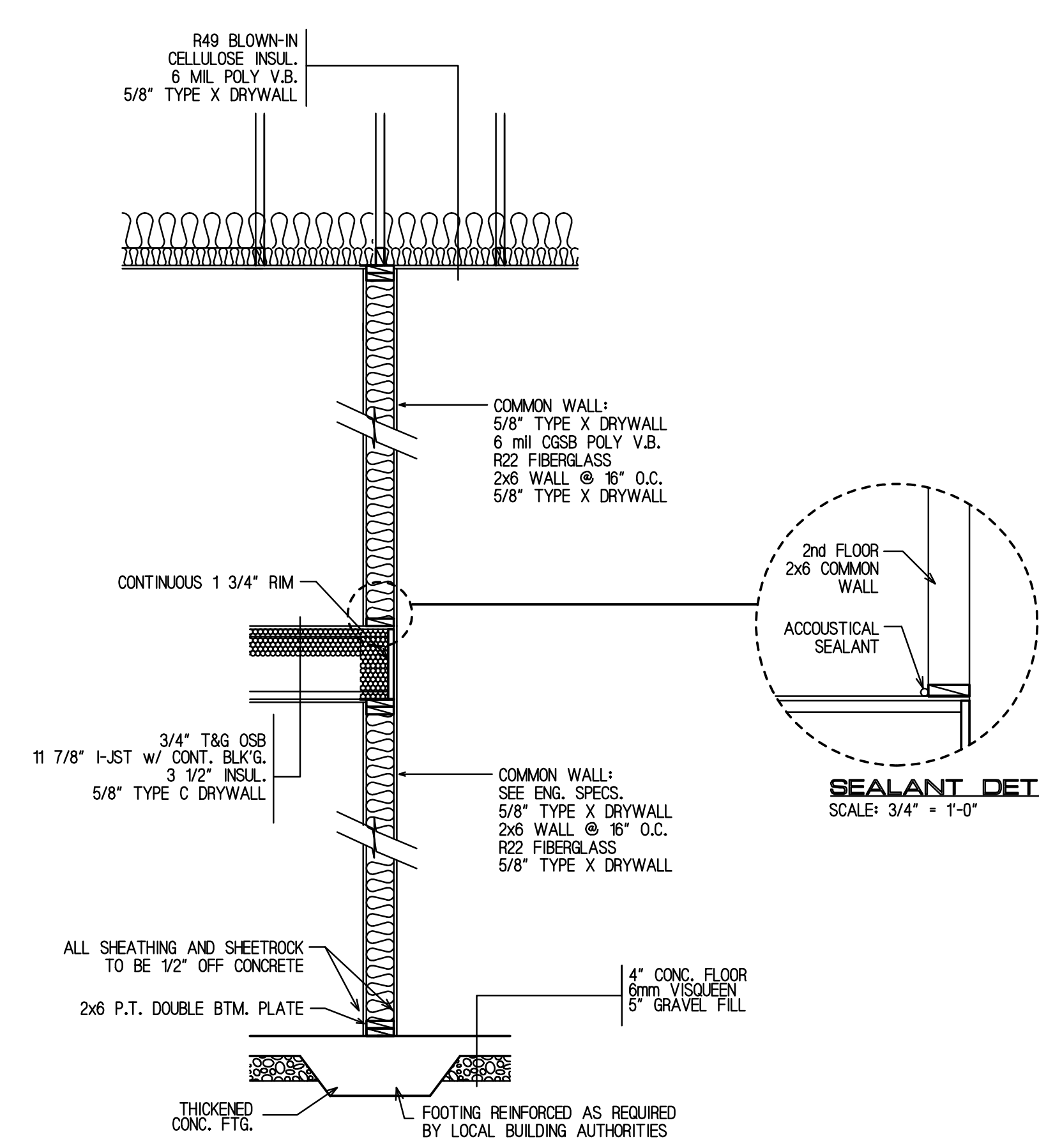
**SECTION A-A: UNITS 2-5 ONLY**  
SCALE: 1/4" = 1'-0"



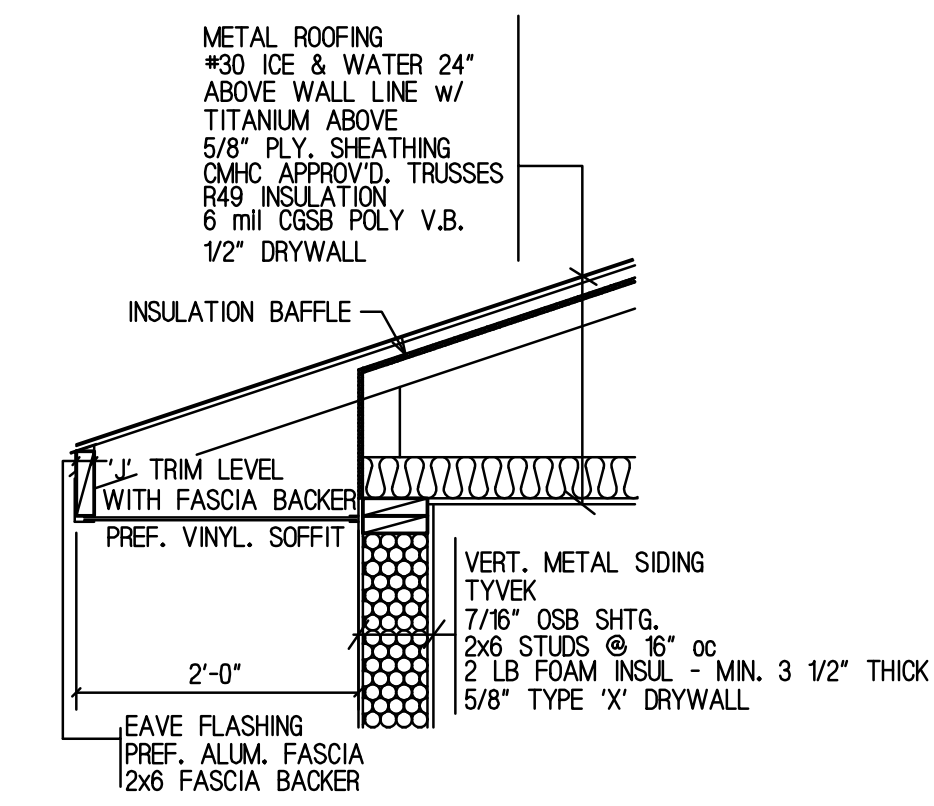
**SECTION B-B**  
SCALE: 1/4" = 1'-0"



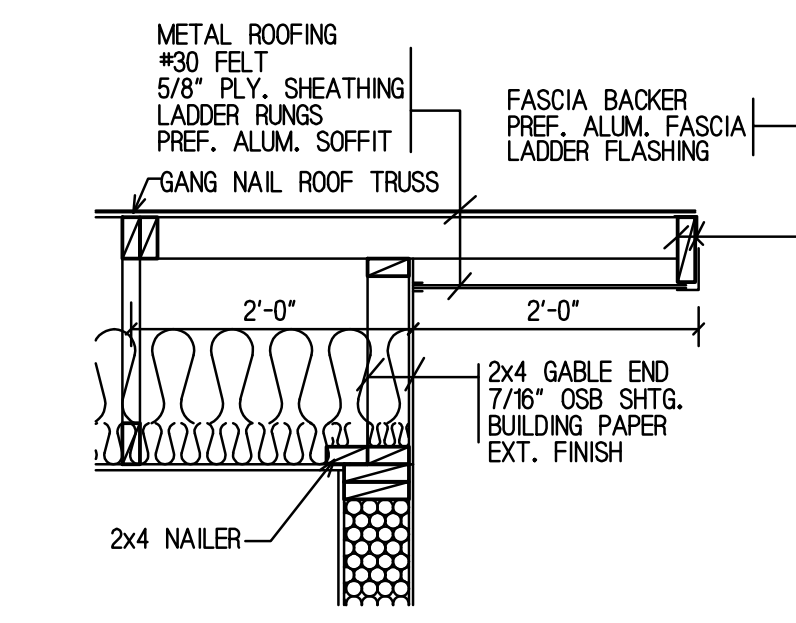
**SECTION C-C: UNIT 1 ONLY**  
SCALE: 1/4" = 1'-0"



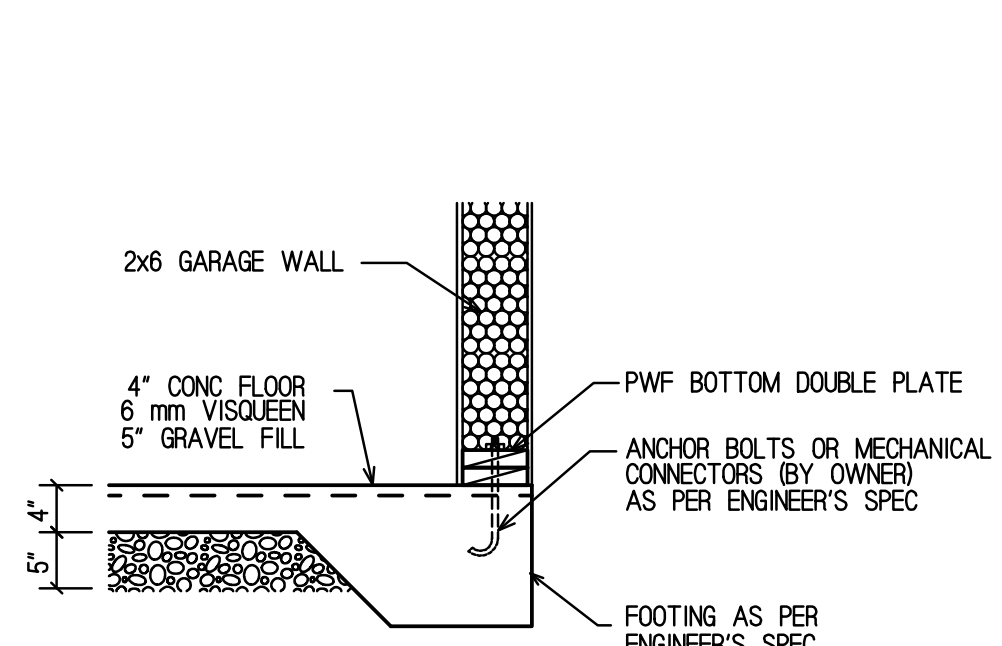
**SECTION THRU COMMON WALL**  
SCALE: 1/2" = 1'-0"



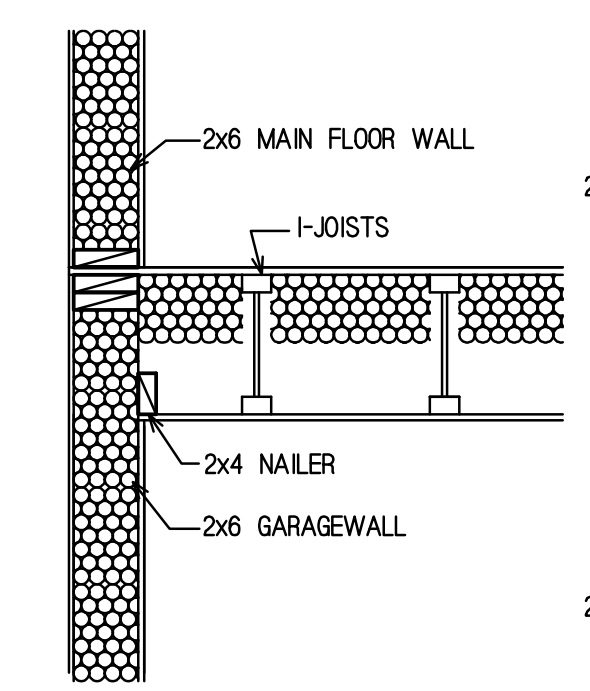
**SECTION THRU EAVE (2'-0" O.H.)**  
**DETAIL C**  
SCALE: 3/4" = 1'-0"



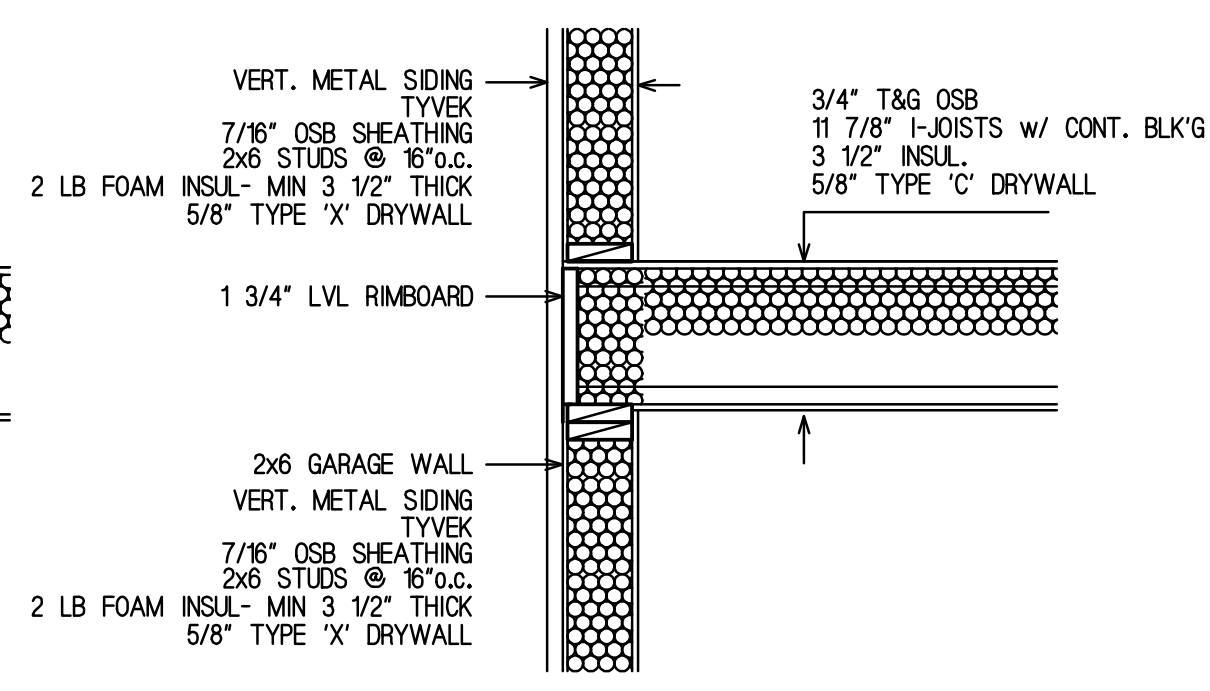
**SECTION THRU GABLE END (2'-0" O.H.)**  
**DETAIL D**  
SCALE: 3/4" = 1'-0"



**DETAIL I**  
SCALE: 3/4" = 1'-0"



**END WALL DETAIL**  
SCALE: 3/4" = 1'-0"



**DETAIL F**  
SCALE: 3/4" = 1'-0"

**NOTE**

- ALL FOUNDATIONS TO BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE LATEST MUNICIPAL, CITY, PROVINCIAL, AND NATIONAL BUILDING CODES AND/OR AUTHORITY HAVING JURISDICTION.
- THIS FOUNDATION PLAN HAS BEEN DESIGNED USING STANDARD BUILDING PRACTICES, AND CONFORMS TO THE INTENT OF THE CODE. IT IS POSSIBLE THAT LOCAL AUTHORITIES MAY REQUIRE AN ENGINEER'S REPORT TO CONFIRM THIS DESIGN. IF SUCH REPORT IS REQUIRED, IT IS THE RESPONSIBILITY OF THE OWNER OR BUILDER TO PROVIDE THE REPORT.
- FOUNDATION AND FOOTING DESIGN IS TO BE DESIGNED TO SUIT LOCAL SOIL CONDITIONS AND LOAD REQUIREMENTS.
- FOUNDATION IS TO BE DESIGNED TO ENSURE FOOTINGS AND/OR PILES EXTEND BELOW FROST LEVEL.
- DIMENSIONS TO BE CHECKED BY INSTALLING CONTRACTOR AND ANY DISCREPANCY TO BE VERIFIED BY OWNER

**WORDEN HOMES**  
**BOAT STORAGE BLDG.**

ADDRESS: 9337 GLACIER HWY, JUNEAU AK  
MODEL: CUSTOM - 5 UNITS  
ORDER #: K25005

DATE ORG. DRAWN: FEBRUARY 26, 2025

REVISIONS	DATE (MM/YY)	DRAWN	CHECKED
SKETCH DRAWINGS	12 MAR 2025	LFPSPACE	
SKETCH DRAWINGS	18 MAR 2025	LFPSPACE	
WORKING DRAWINGS	18 JUNE 2025	LFPSPACE	
REVISIONS	17 AUG 2025	LFPSPACE	
REVISIONS	12 JAN 2026	LFPSPACE	

REFER TO ENGINEER DRAWINGS FOR ALL STRUCTURAL DETAILS AND SPECS.

PLAT No. 362 JRD

LOT 11

LOT 10

EASEMENT  
107293-0

BASIS OF BEARING EAST 507.51' R2(507.66')

**LOT 3A**  
21,830 SF  
0.50 AC

**LOT 3B**  
27,824 SF  
0.64 AC

**LOT 4B**  
28,889 SF  
0.66 AC

**LOT 4A**

REC. DOC. No. 2016-005597-0 JRD  
NOT A PART OF THIS SURVEY

PROPOSED BUILDING  
115' X 50'

20' ACCESS EASEMENT  
REC. DOC. 2006-007294-0

SEWER EASEMENT, SEE NOTE 12

SEWER EASEMENT, SEE NOTE 12

50' SETBACK FROM DUCK CREEK, SEE NOTE 2

(R4) 15.22'  
EASEMENT

(R4) EXISTING AKDOT IPE EASEMENT

GLACIER  
ROW WIDTH V.A.

(R4) 15.22'  
EASEMENT

105.00'

20.0'

10.0'

165.00'

10.0'

30.0'

115.0'

50.0'

28.0'

28.0'

N 00°00'26" E 108.00'

N 00°02'16" E 207.91'

N 00°02'16" E 207.89'

R1(N 00°07'35" E 207.89')

N 90°00'00" E  
65.00'

N 90°00'00" E 286.44' MON. TO MON.

WD (R4) 7.72'

4.83'

N 27°35'07" W 121.85' MON. TO MON.

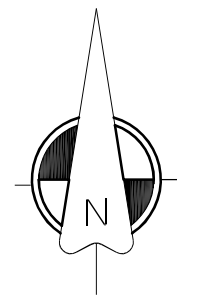
105.00'

100.11'

N 89°59'12" W 205.11'  
R1(N 89°51'30" W 205.11')

A BUILDING PLAN SKETCH OF  
**LOT 3B**  
BLOCK 41, MENDENALL ACRE TRACTS  
JUNEAU RECORDING DISTRICT

SCALE: 1" = 40' WHEN PRINTED TO SIZE ON 11X17 PAPER



RECORD NORTH



(907) 586-0715  
CDD\_Admin@juneau.gov  
www.juneau.org/community-development  
155 Heritage Way • Juneau, AK 99801

## NONCONFORMING CERTIFICATE

Date: March 17, 2026  
File No.: NCC2025 0062

Rob Worden  
P.O. Box 211574  
Auke Bay, AK 99821  
[roblisa@ak.net](mailto:roblisa@ak.net)

Proposal: A Nonconforming Situation Review for practical access to a right-of-way through street frontage.

Property Address: 9333 Glacier Hwy  
Property Legal Description: MENDENHALL ACRES BL 41 LT 3B  
Property Parcel Code No.: 5B1601140050

The Director of Community Development adopted the analysis and findings listed in the attached memorandum dated March 17, 2026, and has found the following situations on the lot to be certified nonconforming to the Title 49 Land Use Code of the City and Borough of Juneau:

- Nonconforming Structures (CBJ 49.30.250):
  - Front yard setback of 12.1 feet
- Nonconforming Lot (CBJ 49.30.260):
  - The lot does not have direct and practical access to a right-of-way through street frontage; however, an approved access easement serves the lot

This Nonconforming Certificate applies to the nonconforming situations stated above. The nonconforming rights provided herein may be relinquished under certain circumstances provided under the CBJ Title 49 Land Use Code. It is the responsibility of the owner or agent of the owner to ensure that all development on the lot is in compliance with this certification and the CBJ Title 49 Land Use Code.

**CBJ 49.30.215: Accidental damage or destruction.** *Structures receiving a nonconforming certification may have the right to reconstruct a nonconforming structure per CBJ Chapter 49.30.*

The Director of Community Development adopted the analysis and findings lists in the attached memorandum dated March 17, 2026, and has found the following situations on the lot to be NONCOMPLIANT to the Title 49 Land Use Code:

- Noncompliant Structure [CBJ 49.30.310(j)]:
  - Side yard setback of approximately eight (8) feet
  - The property owner must bring the accessory structure into compliance with the Land Use Code.

This Nonconforming Certificate constitutes a final decision of the Director of Community Development. Appeals must be brought to the CBJ Planning Commission in accordance with CBJ 49.20.110. Appeals must be filed by 4:30 PM on the day twenty days from the date the decision is signed by the Director of the CBJ Community Development Department.

If you have any questions regarding your project or anticipate any changes to your plans, please call the Community Development Department at (907) 586-0715.

Project Planner:	 <hr style="width: 100%;"/> Kathryn Oberlin, Planner Community Development Department	3/17/2026 <hr style="width: 100%;"/> Date Signed
Director:	 Planning Manager, for <hr style="width: 100%;"/> Jill Lawhorne, Director Community Development Department	3/17/2026 <hr style="width: 100%;"/> Date Signed

cc: Plan Review

**NOTE:** The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this development project. ADA regulations have access requirements above and beyond CBJ-adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.



**DIRECTOR'S REVIEW STAFF REPORT  
NONCONFORMING CERTIFICATION  
NCC2025 0062**

(907) 586-0715  
CDD\_Admin@juneau.gov  
www.juneau.org/community-development  
155 Heritage Way • Juneau, AK 99801

**DATE:** March 17, 2026  
**TO:** Jill Lawhorne, AICP | Director  
**BY:** Kathryn Oberlin | Planner *K.Oberlin*

**PROPOSAL:** A Nonconforming Situation Review for practical access to a right-of-way through street frontage

**KEY CONSIDERATIONS FOR REVIEW:**

- Commercial structure permitted through a variance and nonconforming for front yard setback.
- Access is provided via a 20-foot-wide access easement established with Conditional Use case USE2006-0045.
- Accessory structure noncompliant for side yard setback. The property owner must bring the accessory structure into compliance with the Land Use Code.

GENERAL INFORMATION	
Property Owner	Worden Homes Inc.
Applicant	Rob Worden
Property Address	9333 Glacier Hwy*
Legal Description	MENDENHALL ACRES BL 41 LT 3B
Parcel Number	5-B16-0114-005-0
Zoning	Light Commercial (LC)
Lot Size (sq. ft.)	27,824
Water/Sewer	CBJ
Access	Glacier Highway via access easement
Existing Land Use	Residential and storage
Associated Applications	BLD20260041

\*Additional addresses include 9331 (storage shop) and 9329 (accessory dwelling unit)

**STAFF RECOMMENDATION:**

**Staff recommends the following situations receive**

**Nonconforming Certification:**

- Nonconforming Structures (CBJ 49.30.250)
- Nonconforming for Lot (CBJ 49.30.260)

**ABANDONMENT:**

If a nonconforming situation is deemed to be abandoned by the Director, the decision may be reconsidered in accordance with CBJ 49.30.220. After reconsideration is reviewed, an appeal may be filed in accordance with CBJ 49.20.110.

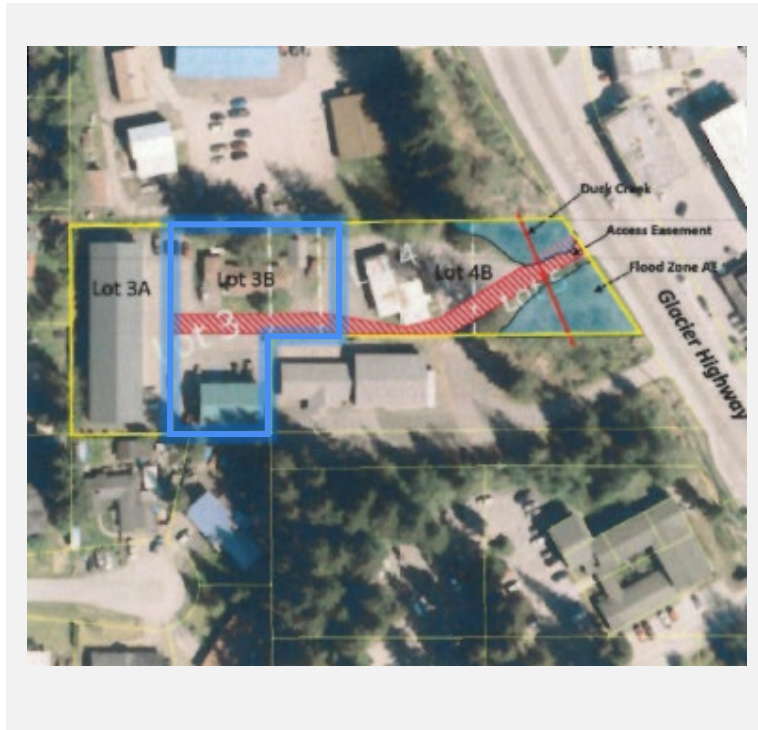
**NONCOMPLIANCE:**

If a situation fails to be certified as nonconforming, an appeal of this decision may be filed in accordance with CBJ 49.20.110.

- Unpermitted accessory structure in side yard setback

**CBJ 49.30.215: Accidental damage or destruction.** Structures receiving a nonconforming certification may have the right to reconstruct a nonconforming structure per CBJ Chapter 49.30.

**SITE FEATURES AND ZONING**

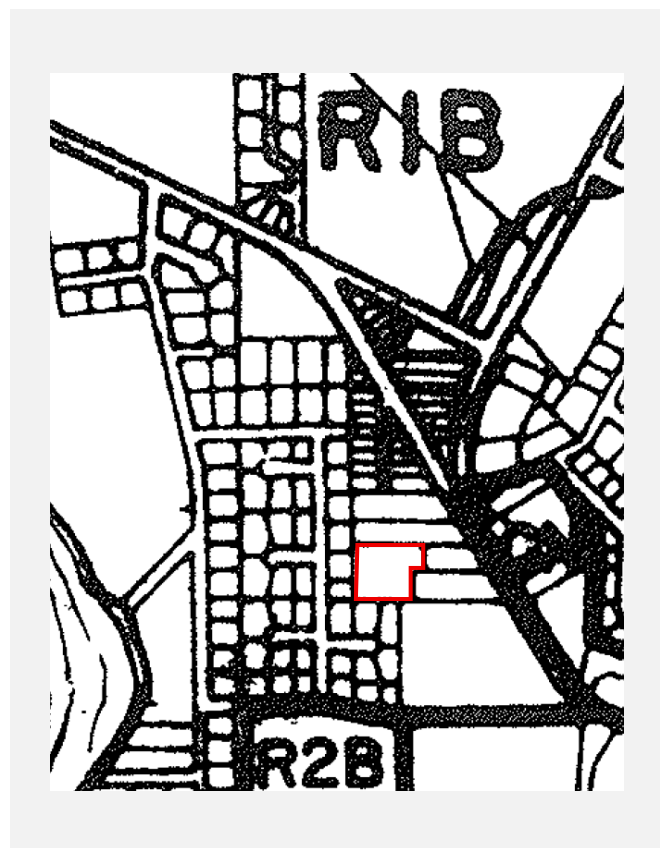
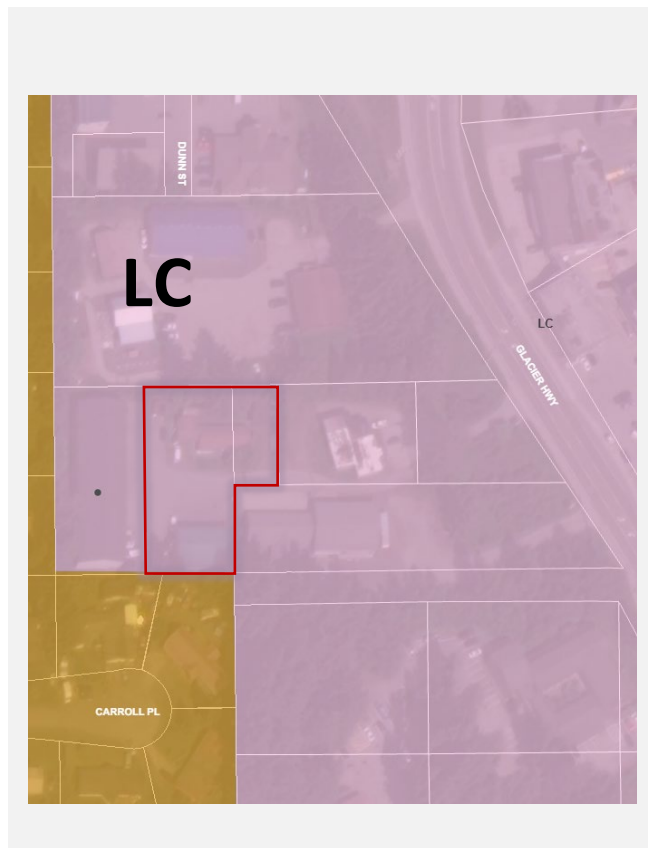


**CURRENT ZONING MAP**

SURROUNDING ZONING AND LAND USES	
North (LC)	Commercial
South (D5/LC)	Residential
East (LC)	Club Lodge
West (LC)	Warehouse

SITE FEATURES	
Anadromous	Duck Creek
Flood Zone	Panel 02110C1527E
Avalanche Hazard	None mapped
Hillside	None
Wetlands	No
Parking District	No
Historic District	No
Overlay Districts	Mining & Exploration Surface Activities Exclusion District, Bonus Eligible Overlay District, Urban/Rural Mining District

**1964 ZONING MAP**



**ZONING HISTORY**

Year	Zoning District	Summary
1964	R1B	<p>At the time of the zoning designation to R1B in 1964, a single-family structure existed on the property. No records are available to confirm the lot’s dimensions during the R1B zoning period.</p> <p>Minimum lot size: 7,500 sq. ft.            Minimum lot width: 75 ft.            Minimum lot depth: 100 ft.            Minimum front yard setback: 20 ft.            Minimum side yard setback: 5 ft.            Minimum rear yard setback: 25 ft.            Maximum height: 2 stories and basement, not to exceed 35 ft.            Maximum lot coverage: 30%</p> <p>Based on available records, the existing single-family structure appears to have remained compliant with permitted use, parking, and structural standards during this zoning period. Lot dimensional conformity cannot be confirmed due to lack of documentation.</p>
1969	R7	<p>At the time of rezoning to R7, the existing single-family structure remained in place. No documentation is available confirming lot dimensions during the R7 zoning period.</p> <p>Minimum lot size: 7,000 sq. ft. (single-family); 9,000 sq. ft. (duplex)            Minimum lot width: 70 ft.            Minimum lot depth: 85 ft.            Minimum front yard setback: 20 ft.            Minimum side yard setback: 5 ft.            Minimum rear yard setback: 20 ft.            Maximum height: 35 ft.            Maximum lot coverage: 30%            Parking: 1 space per dwelling unit</p> <p>Based on available information, the single-family use remained permitted and compliant with use, parking, and structural standards during the R7 zoning period. Lot dimensional conformity cannot be confirmed due to lack of documentation.</p>
1987	LC	<p>The zoning code was repealed and replaced in 1987. The property and surrounding area’s zoning changed to LC. At the time, a single-family structure existed on the property. Based on available records, the use was permitted within the district. There are no records on file confirming the exact lot dimensions at the time.</p> <p>Minimum lot size: 2,000 sq. ft.            Minimum lot width: 20 ft.            Minimum lot depth: 80 ft.*</p>

Year	Zoning District	Summary
		<p>Minimum front yard setback: 25 ft.  Minimum side yard setback: 10 ft.  Minimum rear yard setback: 10 ft.  Maximum height: 35 ft. permissible uses, 25 ft. accessory  Maximum lot coverage: None  Parking: 1 per 1000 sq. ft. gross floor area  Minimum vegetative coverage: 15%</p> <p>According to the 1987 Zoning Code, section 49.40.120, each lot shall abut and be physically accessible from a dedicated street. Based on the 1987 Zoning Map, the lot did not meet this requirement. Access was not mentioned in prior versions of the zoning code.</p>
2015	Amendment to Access Standards	Ordinance 2015-03(c)(am) (Attachment G) became effective in 2015. The exception in CBJ 49.15.424(c), which allows lots served by privately maintained access roads created through subdivision, is limited to lots outside the Urban Service Area or to roadways not accepted for maintenance by a government agency.
2021	*All zoning districts – lot depth repealed.	On August 23, 2021, the CBJ Assembly adopted Ordinance 2021-28, repealing lot depth as a minimum dimensional standard. Other dimensional standards for LC remain the same.

**BACKGROUND INFORMATION**

The applicant requests a Nonconforming Situation Review for access and frontage, both lot nonconformities (**Attachment A**). The property originated as part of U.S. Survey 381 (1904) (**Attachment B**). A single-family structure was constructed on the lot in 1951 (**Attachment C**).

The site has been subject to multiple development and land-use actions, including the conditional use permit for a storage shop with an upper-story accessory dwelling unit in 2004 (**Attachment D**). In 2004, a variance was approved related to construction activity proximal to an eagle’s nest (**Attachment E**). Access to the lot was formally established through a 2006 Easement Agreement, approving a 20-foot-wide access and utility easement (**Attachment F**).

Ordinance 2015-03(c)(am) (**Attachment G**) came into effect in 2015; the principal access to the subdivision does not meet the applicable standards for public acceptance and maintenance, making this a nonconforming situation. In 2019, a Conditional Use Permit was approved for a marijuana-cultivation facility (**Attachment H**).

In 2025, the property was reconfigured through a minor subdivision lot line adjustment and consolidation (**Attachment I**). This was the first time the lot was officially platted.

**INFORMATION REVIEWED**

Year	Type	Summary
1904	Plat of U.S. Survey 381	Homestead Claim of T. Knudson ( <b>Attachment B</b> )
1964	Zoning Map	Lots 3 and 4 unlabeled shown as one lot ( <b>Attachment J</b> )
1987	Zoning Map	Lots 3, 4, and 5 of Block 41 shown. ( <b>Attachment K</b> )
1991	Plat 91-78RS	Mendenhall Acre Tracts, Block 41, Lots 3 and 4 ( <b>Attachment L</b> )
1995	BLD11072.01	Garage replacement and interior renovations ( <b>Attachment M</b> )

Year	Type	Summary
2002	2002-011758-0 Statutory Warranty Deed	Granting Lot 3 and the West 50 feet of the North 108 feet of Lot 4, Block 41, Mendenhall Acre Tracts to Robin M. Worden and Melissa G. Worden ( <b>Attachment C</b> )
2004	BLD2004-0258	New 40' by 60' garage/shop with 20' by 40' accessory dwelling unit on upper floor ( <b>Attachment N</b> )
2004	NOD – USE2004-0034	To allow the construction of a 1,600 sq. ft. storage shop with an 800 sq. ft. upper-story accessory dwelling unit with conditions ( <b>Attachment D</b> )
2004	NOD – VAR2004-0037	To allow construction near an eagle's nest ( <b>Attachment E</b> )
2006	Zoning Map	Shows Lot 3 divided into two, Lot 4 divided into three, and Lot 5 divided into 2 in Block 41 of Mendenhall Acres ( <b>Attachment O</b> )
2006	Easement Agreement	20-foot-wide access and utility easement approved under USE2006-0045 ( <b>Attachment A</b> ) to serve the three lots consistent with CBJ 49.35.250 ( <b>Attachment F</b> )
2006	2006-007292-0 Quitclaim Deed	Granting Lot 3 and a portion of Lot 4, Block 41, Mendenhall Acre Tracts to Worden Homes, Inc. ( <b>Attachment P</b> )
2015	Ordinance 2015-03(c)(am)	Ordinance 2015-03(c)(am) amended multiple provisions of Title 49, including subdivision and roadway standards. Among other changes, it established standards for privately maintained access roads outside of the Urban Service Area ( <b>Attachment G</b> ).
2019	NOD_USE2019-0018	To allow a marijuana-cultivation facility with conditions ( <b>Attachment H</b> )
2023	Certificate of Occupancy	For BLD2020-0109, tenant improvement for Nugz LLC ( <b>Attachment Q</b> )
2025	MIP2025-0008	Approval of a lot-line adjustment and the consolidation of lots, reducing five lots into three with conditions ( <b>Attachment A</b> )
2025	Mendenhall Acre Plat	A subdivision of Lot 3 and Fractions of Lots 4 and 5, Block 41, Mendenhall Acres Tracts  The plat eliminated two interior lot lines, vacated two unused easements, and shifted the shared boundary between Lots 3B and 4B approximately 15 ft. east ( <b>Attachment I</b> ).
2025	Draft As-Built Survey	Draft as-built survey depicting easements and structures in relation to property boundaries. ( <b>Attachment R</b> )
2025	Assessor's Records	Includes images, sketches, and lot history ( <b>Attachment C</b> )
2025	Site Visit	Visited site on 12/12/25. Staff confirmed presence of the accessory structure that was absent from the draft as-built survey.

## **ANALYSIS**

**Zoning District Comparison Table** – The table below lists the required standards for the Light Commercial (LC) zoning district compared to the lot. A description of these situations is provided in the following sections. Items bolded do not meet current requirements.

Standard		Requirement	Existing	Code Reference
Lot (square feet) (Feet)	Size	2,000	27,824	CBJ 49.25.400
	Width	20	115	CBJ 49.25.400
Setbacks (Feet)	Front (E)	25	<b>12.1 (commercial structure)</b>	CBJ 49.25.400
	Rear (W)	10	27.8	CBJ 49.25.400
	Side (N)	10	<b>~8 (accessory structure)</b>	CBJ 49.25.400 CBJ 49.25.430 (4)(iii)
	Side (S)	10	12	CBJ 49.25.400
	Street Side	17	N/A	CBJ 49.25.400
Lot Coverage		No maximum	~19%	CBJ 49.25.400
Height (Feet)	Permissible	45	1-story single-family structure; 2-story commercial structure	CBJ 49.25.400
	Accessory	35	<35 (accessory structure)	CBJ 49.25.400
Maximum Dwelling Units		30 DU/Acre	2	CBJ 49.25.500
Use		Commercial	Mixed uses	CBJ 49.25.300
Vegetative Cover		15%	~23%	CBJ 49.50.300
Parking		1/1,000 sq. ft. (warehouse, storage, wholesale business), 2 per dwelling unit (4)	4+	CBJ 49.40.210

**Minimum Lot Requirements** – Dimensions based on the 2025 Mendenhall Acre Plat (**Attachment I**).

**Finding: Staff finds the lot conforming for lot size and lot width.**

**Minimum Setback Requirements** – Dimensions based on draft as-built survey (**Attachment R**). The commercial structure on the south of the lot is 12.1 feet from the front property line to the east (**Attachment R**) which is less than the minimum front yard setback requirement of 25 feet. Planning Commission approval of USE04-34 (**Attachment D**) allowed construction of the commercial structure with an upper-story accessory dwelling unit (**Attachment N**), resulting in the nonconforming situation.

The accessory structure is approximately eight feet from the property line based upon a staff site visit. This setback distance was estimated using the scaled draft as-built survey (**Attachment S**). Based upon the documentation provided, the accessory structure is noncompliant for the northern side yard setback. More information about the noncompliant situation is provided later in the report.

**Finding: Staff finds the commercial structure nonconforming for front yard setback.**

**Finding: Staff finds the accessory structure noncompliant for side yard setback.**

**Lot Coverage** – Calculated from the assessor’s sketches (**Attachment C**) and scaled draft as-built survey (**Attachment S**).

**Finding: Staff finds the lot conforming for lot coverage.**

**Structure Height** – Height estimated from assessor’s records (**Attachment C**).

**Finding: Staff finds the structures conforming for height.**

**Residential Density** – The single-family structure and accessory dwelling unit are permissible in the district.

**Finding: Staff finds the lot conforming for residential density (accessory dwelling units do not count toward density).**

**Use** – The lot has mixed uses, accommodating commercial activities and residential development (CBJ 49.25.300).

**Finding: Staff finds the lot conforming for use.**

**Vegetative Cover** – Approximated from CBJ parcel viewer and scaled draft as-built survey (**Attachment S**).

**Finding: Staff finds the lot conforming for vegetative cover.**

**Parking** – CBJ 49.40.210(a) requires four off-street parking spaces (one per 1,000 square feet). One (1) ADA accessible space is required [CBJ 49.40.210(b)]. The 2023 assessor’s photo (**Attachment T**) shows the ADA-required signage that was imposed under USE19-18 (**Attachment H**).

Use	Total Square Ft.	Spaces Required
Warehouse, storage, wholesale business	2,400	2 (1 per 1,000 sq. ft. gross floor area)
Single-family residential	1,773	2 per dwelling unit
<b>Total Parking Requirement:</b>		<b>4</b>
<b>Total Off-Street Parking Spaces Provided:</b>		<b>4+</b>

**Finding: Staff finds the use conforming for type number and type of off-street parking spaces.**

Modifications to Nonconforming ADA Parking: *Accessible spaces are required where parking facilities are altered or added. The term ‘alterations’ includes resurfacing of vehicular ways (2004 ADAAG Section 106.5). Resurfacing or resealing and projects that add new parking spaces constitute alterations (or additions) and must include accessible spaces as required in the scoping table. Normal maintenance, such as pothole repair, surface patching, or repainting in place existing striping for a few spaces, is not considered an alteration except where it affects a facility’s usability.*

## NONCOMPLIANT SITUATIONS

**CBJ 49.30.310(j) Failure of a situation to qualify for nonconforming certification.** If a situation does not qualify for or is denied nonconforming certification, it is noncompliant and the property is subject to enforcement actions consistent with this title.

**Finding: Staff finds the unpermitted accessory structure noncompliant for side yard setback. Prior to the issuance of further permits, the property owner must bring the accessory structure into compliance with the Land Use Code.**



## ABANDONMENT

**CBJ 49.30.220(b) Abandonment of a nonconforming situation.** A nonconforming situation is abandoned if any of the following events occur:

- (1) The owner indicates in writing that the nonconforming situation is being permanently discontinued;
- (2) The nonconforming situation is damaged, destroyed, removed or demolished intentionally by the owner or intentionally by an authorized agent of the owner;
- (3) The nonconforming structure is moved;
- (4) The owner takes action consistent with an intent to abandon the nonconforming situation;
- (5) The structure(s) associated with the nonconforming situation has been vacant for 365 consecutive days;
- (6) Except for a structure with a nonconforming residential density, the nonconforming use has ceased and not substantially resumed for 365 consecutive days; or
- (7) A structure with a nonconforming residential density has been unoccupied for 1095 consecutive days.

No information has been submitted to suggest the nonconforming situations on the lot have been abandoned.

**Finding: Staff finds none of the above events have taken place, and the nonconforming situations are not deemed abandoned.**

## **FINDINGS**

### **1. Was the nonconforming situation allowed, or not prohibited by law, when it was established?**

**Analysis:** The lot does not have practical access to a right-of-way via street frontage. Through a planning commission decision on USE2006-0045, a shared access easement was established (**Attachment A**). Ordinance 2015-03(c)(am) (**Attachment G**) became effective in 2015. The exception in CBJ 49.15.424(c), which allows lots served by privately maintained access roads created through subdivision, does not apply because it is limited to lots outside the Urban Service Area or those served by roads not accepted for maintenance by a government agency. Because this lot is located within the Urban Service Area, the subdivision's principal access does not qualify for the exception and is nonconforming. The 2025 plat includes a 20-foot access easement (**Attachment I**).

**Finding: Yes. Staff finds the lot nonconforming for lot access.**

**Analysis:** The commercial structure was approved for construction through a conditional use permit (**Attachment D**).

**Finding: Yes. Staff finds the commercial structure nonconforming for front yard setback.**

**Analysis:** The accessory structure in the north side yard is noncompliant for side yard setback because the structure exceeds the maximum height and square footage for unheated structures in the side yard setback [CBJ 49.25.430 (4)(C)(iii)].

**Finding: No. Staff finds the unpermitted accessory structure noncompliant for side yard setback. The property owner must apply for a building permit and move the structure within the side yard setback (10 feet) to bring the accessory structure into compliance with the Land Use Code.**

### **2. Has the nonconforming situation been abandoned?**

**Analysis:** No information to suggest abandonment.

**Finding: No.**

## **RECOMMENDATION**

Staff recommends that the Director adopt the analysis and findings, and find the following situations on the lot to be NONCONFORMING to the Title 49 Land Use Code and issue a Nonconforming Certification for the following situations:

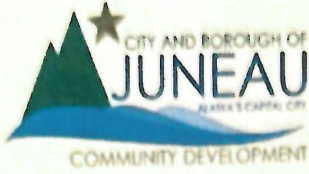
- Nonconforming Structures (CBJ 49.30.250):
  - Front yard setback of 12.1 feet
- Nonconforming Lot (CBJ 49.30.260):
  - The lot does not have direct and practical access to a right-of-way through street frontage; however, an approved access easement serves the lot (**Attachment A**).

Staff recommends the Director adopt the analysis and findings, and find the following situations on the lot NONCOMPLIANT to the Title 49 Land Use Code:

- Noncompliant Structure [CBJ 49.30.310(j)]:
  - Side yard setback of approximately eight (8) feet
  - The property owner must bring the accessory structure into compliance with the Land Use Code.

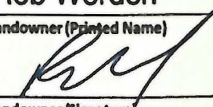
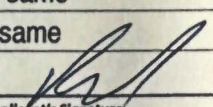
**STAFF REPORT ATTACHMENTS**

<b>Item</b>	<b>Description</b>
<b>Attachment A</b>	Application Packet
<b>Attachment B</b>	1904 Plat of US Survey 381
<b>Attachment C</b>	Assessor’s Records
<b>Attachment D</b>	NOD_USE04-34
<b>Attachment E</b>	NOD_VAR04-37
<b>Attachment F</b>	2006 Easement Agreement
<b>Attachment G</b>	Ordinance 2015-03(c)(am)
<b>Attachment H</b>	NOD_USE19-18
<b>Attachment I</b>	2025 Mendenhall Acre Plat
<b>Attachment J</b>	1964 Zoning Map
<b>Attachment K</b>	1987 Zoning Map
<b>Attachment L</b>	Plat 91-78RS
<b>Attachment M</b>	BLD11072.01
<b>Attachment N</b>	BLD2004-0258
<b>Attachment O</b>	2006 Zoning Map
<b>Attachment P</b>	2006-007292-0 Quitclaim Deed
<b>Attachment Q</b>	Certificate of Occupancy
<b>Attachment R</b>	Draft As-Built Survey
<b>Attachment S</b>	Scaled Draft As-Built Survey
<b>Attachment T</b>	2023 Commercial Structure Photo



# DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

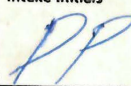
To be completed by Applicant	<b>PROPERTY LOCATION</b>		
	Physical Address <b>9333 Glacier Highway</b>		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot) <b>Mendenhall Acres BL 41 LT 3 FR, 4 FR</b>		
	Parcel Number(s) <b>SB1601140050</b>		
	<input type="checkbox"/> This property is located in the downtown historic district <input type="checkbox"/> This property is located in a mapped hazard area, if so, which _____		
	<b>LANDOWNER</b>		
	Property Owner	Contact Person <b>Rob Worden</b>	
	Mailing Address <b>PO Box 211574 Auke Bay 99821</b>	Phone Number(s) <b>907-321-5015</b>	
	E-mail Address <b>roblisa@ak.net</b>		
	<b>LANDOWNER CONSENT</b>		
<p>Required for Planning Permits, not needed on Building/ Engineering Permits.            Consent is required of all landowners. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner's printed name, signature, and the applicant's name.</p> <p>I am (we are) the owner(s) of the property subject to this application and I (we) consent as follows:            A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission.            B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.</p> <p><b>Rob Worden</b> <span style="float: right;"><b>owner</b></span>            Landowner (Printed Name) <span style="float: right;">Title (e.g.: Landowner)</span></p> <p>X  <span style="float: right;"><b>October 28th 2025</b></span>            Landowner (Signature) <span style="float: right;">Date</span></p> <p>_____            Landowner (Printed Name) <span style="float: right;">Title (e.g.: Landowner)</span></p> <p>X _____            Landowner (Signature) <span style="float: right;">Date</span></p> <p>NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.</p>			
<b>APPLICANT</b>			
If same as LANDOWNER, write "SAME"			
Applicant (Printed Name) <b>same</b>	Contact Person <b>same</b>		
Mailing Address <b>same</b>	Phone Number(s) <b>same</b>		
E-mail Address <b>same</b>			
X  <span style="float: right;"><b>October 28/25</b></span> Applicant's Signature <span style="float: right;">Date of Application</span>			

DEPARTMENT USE ONLY BELOW THIS LINE

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

For assistance filling out this form, contact the Permit Center at 586-0770.

I:\FORMS\PLANFORM\DPA\_Final Draft.docx

	Intake Initials 
Case Number <b>NCC25-62</b>	Date Received <b>10/30/25</b>

Updated 8/2025- Page 1 of 1



# APPLICATION FOR A NONCONFORMING CERTIFICATION REVIEW

See reverse side for more information regarding the permitting process and the materials required for a complete application.

**NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.**

**TYPE OF NONCONFORMING SITUATION (CHECK ALL THAT MAY APPLY)**  
 USE    STRUCTURE    DENSITY    PARKING    LOT  
 9333 GLACIER HWY

Is this property for sale:  YES    NO  
 If yes, what is the projected closing date?

Have you submitted a narrative that fully explains the above listed nonconforming situations? YES  NO   
 The narrative should explain the nature of the nonconforming situation(s). Be specific, state past and present uses of the building, property, etc.

List all relevant information being submitted. Include this material and an as-built or site plan with the application.

Relevant information to show that the *situation was allowed when established* may include: building or land use permits, recorded plats, zoning codes or maps, dated photographs.

Situation	Type of Documentation
Lots 3A and 3B do not have practical access to a right-of-way through their frontage. Though a planning commission decision on USE2006-0045, there is a shared access easement provided.	NOD bundle from MIP2025-0008.

Relevant information to show that the *situation was maintained over time* may include: business licenses, dated photographs, insurance records and maps, utility bills, property tax records, business license, telephone listing, advertisement in dated publications, leases.

Maintained Situation	Type of Documentation
Relevant information included in NOD bundle.	

**NOTE:** If an as-built survey is not submitted, the Community Development Department may not be able to issue a Nonconforming Certificate for setbacks. As-built surveys should show the property in its current condition.

**ALL REQUIRED MATERIALS ATTACHED**

Complete Application (Per CBJ 49.30.310)

Narrative

As-built survey or similar document

Documentation

Fees

**NONCONFORMING CERTIFICATION REVIEW FEES:**

	Fees	Check No.	Receipt	Date
Application Fees	\$ 150 <sup>00</sup>			
Admin. of Guarantee	\$ MIP25-008			
Adjustment	\$ -150 <sup>00</sup>			
Total Fee	\$ N/A			

This form and all documents associated with it are public record once submitted.

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

For assistance filling out this form, contact the Permit Center 907-586-0770.

Case Number	Date Received
NCC25-62	10/30/25

## **Nonconforming Certification Application Instructions**

Nonconforming Situations is outlined in CBJ 49.30.310

**Pre-Application Conference:** A pre-application conference is **NOT** required prior to submitting an application. It is highly recommended that applicants meet with a planner to discuss the nonconforming situation(s) and necessary or appropriate documentation for submittal. Staff may have access to documentation that the applicant does not. Please contact the Permit Center at 907-586-0770 or via e-mail at [permits@juneau.org](mailto:permits@juneau.org).

**Application:** An application for a Nonconforming Certificate will not be accepted by the Community Development Department until it is determined to be complete. The items needed for a complete application are:

1. **Forms:** Completed application for Nonconforming Certificate and Development Permit Application forms.
2. **Fees:** Fee is \$150. If submitted in conjunction with a development permit, the fee is waived. All fees are subject to change.
3. **Project Narrative:** A detailed narrative describing the nonconforming situation(s).

**Document Format:** All materials submitted as part of an application shall be submitted in either of the following formats:

1. Electronic copies in the following formats: .doc, .txt, .xls, .bmp, .pdf, .jpg, .gif, .xlm, .rtf (other formats may be preapproved by the Community Development Department).
2. Paper copies 11" X 17" or smaller (larger paper size may be preapproved by the Community Development Department).

**Application Review:** Once the application is determined to be complete, the Community Development Department will initiate the review and scheduling of the application. This process includes:

**Review:** As part of the review process, the Community Development Department will evaluate the application for consistency with all applicable City & Borough of Juneau codes. Depending on the details of the permit request, the application may require review by other City & Borough of Juneau departments. Applicants may be required to provide additional information and clarification.

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**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**



(907) 586-0715  
CDD\_Admin@juneau.gov  
www.juneau.org/community-development  
155 Heritage Way • Juneau, AK 99801

**COMMUNITY DEVELOPMENT  
NOTICE OF DECISION**

Date: October 27, 2025  
File No.: MIP2025 0008

Worden Homes Inc  
PO BOX 211574  
Auke Bay, AK 99821  
[roblisa@ak.net](mailto:roblisa@ak.net)

**Proposal:** Applicant requests approval of a minor subdivision lot line adjustment and consolidation of lots, thereby reducing five lots into three reconfigured lots.

**Property Address:** 9333 Glacier Hwy

**Property Legal Description:** MENDENHALL ACRES BL 41 LT 3 FR, 4 FR

**Property Parcel Code No.:** 5B1601140050; 5B1601140020

**Proposed Subdivision:** LOTS 3A, 3B, and 4B

The Director of Community Development has **APPROVED WITH CONDITIONS** the preliminary plat for a three (3) lot subdivision of Mendenhall Acres Lot 3, and fractions of lots 4 and 5.

This approval is based on the preliminary plat dated 08/01/2025, attached hereto, and with the following conditions:

**Condition 1:** A 50-foot *no-development setback* measured from the centerline of the Duck Creek culvert shall be depicted and labeled on the plat.

**Condition 2:** A Nonconforming certificate is required prior to the issuance of a building permit for Access and Frontage on the lot.

**Condition 3:** Prior to final plat approval, certification from the CBJ Treasurer is required, confirming that all real property taxes and special assessments levied against the property for the year of recording have been paid.

**Condition 4:** Prior to final plat approval, the applicant shall revise the plat to include an emergency turnaround easement in compliance with IFC Appendix D103.4 and Table D103.4, subject to review and approval by Capital City Fire/Rescue.

**Plat Note 1:** PARTS OF THIS SUBDIVISION ARE LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO THE EFFECTIVE CITY AND BOROUGH OF JUNEAU FLOOD INSURANCE RATE MAPS (FIRM) COMMUNITY PANEL #0211C1527E, DATED SEPTEMBER 18, 202. SPECIAL DEVELOPMENT STANDARDS MAY APPLY ACCORDING TO CBJ TITLE 49, LAND USE CODE.

**Plat Note 2:** DUCK CREEK (*ADFG STREAM ID #111-50-10500-2002*) IS DETERMINED TO BE AN ANADROMOUS STREAM PER THE CITY AND BOROUGH OF JUNEAU 2013 COMPREHENSIVE PLAN. SPECIAL REGULATIONS INCLUDING DEVELOPMENT BUFFERS MAY APPLY.

**Plat Note 3:** THE ON- LOT STORMWATER RUNOFF DRAINAGE IS ACCEPTABLE AS EXISTS BETWEEN THE PLATTED LOTS OF THIS SUBDIVISION AND MAY NOT BE MODIFIED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CBJ 19.12.120.1 BEST MANAGEMENT PRACTICES.

**Plat Note 4:** NO LOT WILL DIRECTLY ACCESS GLACIER HIGHWAY.


This Notice of Decision does not authorize any construction activity. Prior to starting any development project, it is the applicant's responsibility to obtain a building permit for any and all improvements requiring a permit.

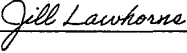
This Notice of Decision constitutes a final decision of the Director of the CBJ Community Development Department. Appeals must be brought to the CBJ Planning Commission in accordance with CBJ 49.20.110. Appeals must be filed by 4:30 PM on the day twenty days from the date the decision is signed by the Director of the CBJ Community Development Department.

**Expiration Date:** The permit will expire five (5) years from the effective date, unless substantial construction progress has been made in construction of required improvements in accordance with the authorized plans, or an application for a final plat has been accepted.

If you have any questions regarding your project or anticipate any changes to your plans, please call the Community Development Department at (907) 586-0715.

Worden Homes Inc  
File No.: MIP2025 0008  
October 27, 2025  
Page 3 of 3

Project Planner:  10/27/2025  
David Peterson, Planner  
Community Development Department  
Date Signed

Director:  10/27/2025  
Jill Lawhorne, Director  
Community Development Department  
Date Signed

cc: Plan Review

**NOTE:** The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this development project. ADA regulations have access requirements above and beyond CBJ-adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.




**DIRECTOR'S REVIEW STAFF REPORT  
MINOR SUBDIVISION  
MIP2025 0008**

(907) 586-0715

CDD\_Admin@juneau.gov

www.juneau.org/community-development  
155 Heritage Way • Juneau, AK 99801

**DATE:** October 27, 2025  
**TO:** Jill Lawhorne, Director, AICP  
**BY:** David Peterson, Planner II 

**PLANNING COMMISSION  
REVIEW REQUIRED:**

Planning Commission review is not required for this permit.

**PROPOSAL:** Applicant requests approval of a minor subdivision lot line adjustment and consolidation of lots, reducing five lots to three lots.

**ASSEMBLY REVIEW REQUIRED:**

Assembly review is not required for this permit.

**STAFF RECOMMENDATION:** Approval with Conditions.

**STANDARD OF REVIEW:**

A minor subdivision permit is required for all subdivisions resulting in 13 or fewer lots.

**KEY CONSIDERATIONS FOR REVIEW:**

- No new lots being created.
- Access is provided via a 20 foot wide access easement established with Conditional Use case USE2006-0045.
- Flood Zone AE present on Lots 4 and 5/4B.
- The culverted Duck Creek flows through property.
- Emergency turnaround access must be provided.

**Code Provisions:**

- CBJ 49.15.401
- CBJ 49.15.411
- CBJ 49.15.412
- CBJ 49.25.300
- CBJ 49.25.400
- CBJ 49.35.210
- CBJ 49.35.250
- CBJ 49.35.310
- CBJ 49.35.410
- CBJ 49.35.510
- CBJ 49.35.610
- CJB 49.40.300
- CBJ 49.55.010
- CBJ 49.70.310
- CBJ 49.80

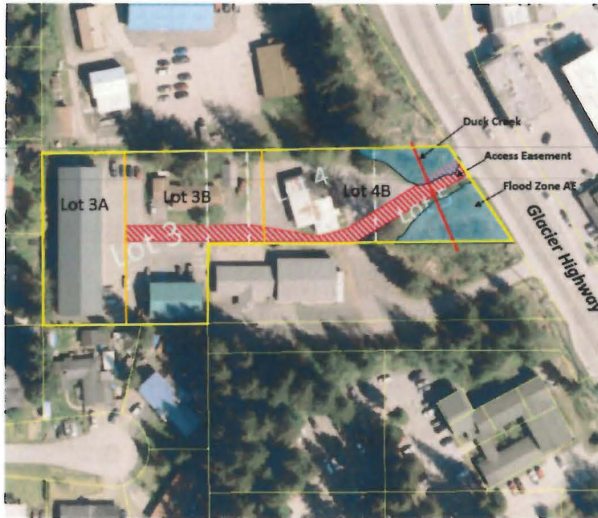
GENERAL INFORMATION	
<b>Property Owner</b>	Worden Homes Inc; BPOE Juneau Lodge 420
<b>Applicant</b>	Worden Homes Inc
<b>Property Address</b>	9321; 9329; 9331; 9333 Glacier Hwy
<b>Legal Description</b>	MENDENHALL ACRES BL 41 LT 3 FR 4 FR
<b>Parcel Number</b>	5B1601140050; 5B1601140020
<b>Zoning</b>	Light Commercial (LC)
<b>Lot Size</b>	26,136 square feet/.60 acres; 25,546 square feet/.59 acres
<b>Water/Sewer Access</b>	CBJ Water and Sewer provided Glacier Highway via access easement.
<b>Existing Land Use</b>	Retail, Storage and Retail,
<b>Associated Applications</b>	N/A

The Director shall decide on the case per **CBJ 49.15.400(a) - Purpose and applicability**. The purpose of this article is to facilitate the subdivision of land to promote the public health, safety, and general welfare of the citizens of the CBJ in accordance with the Comprehensive Plan of the City and Borough of Juneau, Alaska.

And per **CBJ 49.15.401(a) - A minor subdivision permit is required for subdivisions resulting in 13 or fewer lots.**

*Fostering excellence in development for this generation and the next.*

**SITE FEATURES AND ZONING**



SURROUNDING ZONING AND LAND USES	
North (LC)	Office
South (D5/LC)	Child and Day Care
East (ZLC)	Retail
West (LC)	Storage

SITE FEATURES	
Anadromous	Duck Creek
Flood Zone	Per panel 02110C1527E, Flood Zone AE with an elevation of 25.8 and 24.6
Hazard	Flood
Hillside	N/A
Wetlands	N/A
Parking District	N/A
Historic District	N/A
Overlay Districts	Mining & Exploration Surface Activities Exclusion District; Bonus Eligible Overlay District.

**BACKGROUND INFORMATION**

**Project Description** – The applicant, Worden Homes Inc, proposes to construct a storage building with an accessory dwelling unit on a portion of Lot 3B, Block 41, Mendenhall Acres Subdivision (**Attachment E**). To accommodate on-site parking and comply with the dimensional standards of the Light Commercial (LC) zoning district (CBJ 49.25.400), the applicant will consolidate two lots under common ownership through the minor subdivision process (**Attachment B**).

In addition, Worden Homes Inc will acquire approximately 1,620 square feet of property from the adjoining parcel to the east, owned by BPOE Juneau Lodge No. 420, to provide sufficient parking area. They will consolidate their existing Lots 4 and 5 for practical property management purposes.

The three resulting lots will be served by an existing 20-foot-wide access and utility easement previously approved by the Planning Commission under Conditional Use Permit USE2006-0045, consistent with CBJ 49.35.250 for access requirements (**Attachment F**).

Duck Creek, an anadromous waterway, runs along Glacier Highway in a culvert adjacent to the project area. Per to CBJ 49.70.310(a)(1)(A), a 50-foot no-development setback from the ordinary high-water mark of Duck Creek shall be depicted on the plat. Portions of Lots 4 and 5 are located within FEMA Flood Zone AE (Base Flood Elevation 25.8 feet). The plat should include a note referencing the presence of mapped flood hazard areas and identified wetlands.

**Background -**

The table below summarizes relevant history for the lot and proposed development.

Item	Summary
2025 Preliminary Plat	Preliminary Plat of Lots 3A, 3B, and 4B, a subdivision of Lot 3 and Fractions of Lots 4 and 5, Block 41, Mendenhall Acres Subdivision.  The preliminary plat eliminates two interior lot lines, vacates two unused access easements, and shifts the shared boundary between Lots 3B and 4B approximately 15 feet east. <b>(Attachment B)</b>
2025 As-built	As-built survey depicting all existing easements and structures in relation to property boundaries. <b>(Attachment C)</b>
2006 NOD - USE2006-0045	Conditional Use permit for a new 9,000 square foot, 9-unit storage condo building with one residential dwelling unit. Condition number four states that the proposed easement must be widened from 15 feet to 20 feet prior to issuance of a building permit for subject structure. <b>(Attachment F)</b>

**ANALYSIS**

**Dimensional Standards** – The proposed lots as shown on the preliminary plat meet or exceed the dimensional standards listed in CBJ 49.25.400. The CBJ 49.25.400 Dimensional Standards are listed below.

Standard		(LC)	Lot 3A	Lot 3B	Lot 4B	
		Requirement				
<b>MINIMUMS</b>	Lot Size (Square Feet)	2,000	21,830	27,824	28,889	
	Lot Width (Feet)	20	207.91	108	108	
	Setbacks (Feet)	Front (East)	25	35	72.92	236.15
		Rear (West)	10	20	42.47	30.6
		Side (North)	10	12.8	28.41	21.2
		Side (South)	10	14.3	64.42	14.7
		Street Side	17	N/A	N/A	N/A

**Condition:** N/A

**Plat Note:** N/A

**Density** – The Light Commercial (LC) zoning district allows a broad range of commercial and mixed-use development but does not establish a dwelling unit density standard like the residential zoning districts. Residential use in LC Per CBJ 49.25.300 – Table of Permissible Uses, residential uses in the LC district are allowable only when accessory to, or located in conjunction with, a permitted commercial use.

**Condition:** N/A

**Plat Note:** N/A

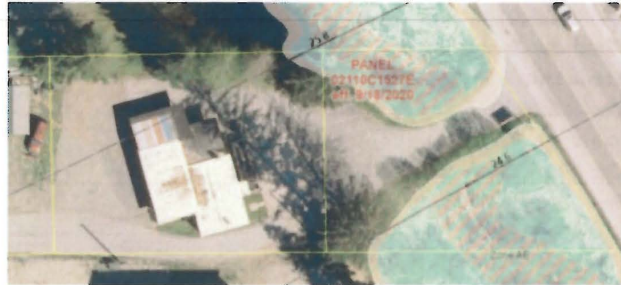
WORDEN HOMES INC  
FILE NO: MIP2025 0008  
October 27, 2025  
Page 4 of 8

**Wetlands – N/A**

**Condition:** N/A

**Plat Note:** N/A

**Hazards –** Flood hazards are present on the property as identified on the City and Borough of Juneau GIS mapping and U.S. Fish and Wildlife Service National Wetlands Inventory, per panel 02110C1527E effective 9/18/2020. These wetlands are not expected to affect the development potential of the site. Any future work within jurisdictional wetlands may require review and authorization from the U.S. Army Corps of Engineers.



**Condition:** N/A

**Plat Note 1:** PARTS OF THIS SUBDIVISION ARE LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO THE EFFECTIVE CITY AND BOROUGH OF JUNEAU FLOOD INSURANCE RATE MAPS (FIRM) COMMUNITY PANEL #0211C1527E, DATED SEPTEMBER 18, 202. SPECIAL DEVELOPMENT STANDARDS MAY APPLY ACCORDING TO CBJ TITLE 49, LAND USE CODE.

**Habitat –** Duck Creek (ADF&G Stream No. 111-50-10500-2002) is an anadromous waterbody that flows through the property in a culvert along Glacier Highway. Although the creek is enclosed, it remains a designated anadromous stream under the Alaska Department of Fish and Game Anadromous Waters Catalog.

Per CBJ 49.70.310(a)(1)(A), development is prohibited within 50 feet of the ordinary high-water mark of an anadromous waterbody. Where the stream is culverted and the ordinary high-water mark cannot be identified, the setback shall be measured 50 feet from the centerline of the culvert as a proxy.

Applicant is encouraged to contact the U.S. Fish and Wildlife for the presence of eagle nests in the area. No anadromous waterbodies exist on Lot A, or within 50 feet.

**Condition 1:** A 50-foot *no-development setback* measured from the centerline of the Duck Creek culvert shall be depicted and labeled on the plat.

**Plat Note 2:** DUCK CREEK (ADFG STREAM ID #111-50-10500-2002) IS DETERMINED TO BE AN ANADROMOUS STREAM PER THE CITY AND BOROUGH OF JUNEAU 2013 COMPREHENSIVE PLAN. SPECIAL REGULATIONS INCLUDING DEVELOPMENT BUFFERS MAY APPLY.

**PUBLIC AND PRIVATE IMPROVEMENTS**

Item	Summary	Plat Note/Conditions
CBJ 49.35.210 Street Improvement Standards	N/A	N/A
CBJ 49.35.210(i)(4) Roadway Construction Standards Waivers	N/A	N/A
CB 49.35.310 Water Improvements	N/A	N/A
CBJ 49.35.410 Sewer Improvements	N/A	N/A
CBJ 49.35.510 Drainage	N/A	N/A
CBJ 49.35.610 Non-motorized Access	N/A	N/A

**Condition:** N/A

**Plat Note 3:** THE ON- LOT STORMWATER RUNOFF DRAINAGE IS ACCEPTABLE AS EXISTS BETWEEN THE PLATTED LOTS OF THIS SUBDIVISION AND MAY NOT BE MODIFIED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CBJ 19.12.120.1 BEST MANAGEMENT PRACTICES.

**Traffic** – According to CBJ 49.40.300(a)(2) a traffic impact analysis is not required at this time.

**Access** – Per CBJ 49.35.250(a) staff has determined that the primary access to the subdivision is Glacier Highway by way of an access easement approved through USE2006-0045 (**Attachment F**). The access easement shall remain in effect and be shown on the final plat as the principal means of access to all lots within the subdivision. However, all lots must satisfy the minimum frontage requirement and have direct and practical access to the right-of-way through the frontage per 49.35.250(b). Therefore, a nonconforming situation will be required.

Lot Number	Primary access
Lot 3A	Glacier Highway
Lot 3B	Glacier Highway
Lot 4B	Glacier Highway

**Condition 2:** A Nonconforming certificate is required prior to the issuance of a building permit for Access and Frontage on the lot.

**Plat Note:** N/A

**Arterial Streets** – According to the CBJ Roadway Classification Map, Glacier Highway is a Minor Arterial. Under CBJ 49.35.210(b), subdivisions with arterial frontage must avoid direct lot access to the arterial and provide access via interior streets or easements; the 36,000-square-foot exception in 49.35.210(b)(3) applies only when direct minor-arterial access is proposed. This subdivision proposes no new direct arterial access, so that exception does not apply.

Vehicular access will occur via a 20-foot private access and utility easement created by this plat that connects to Glacier Highway; this easement supersedes earlier arrangements and follows the subdivision access standards in CBJ 49.35.250.

If existing recorded access/maintenance documents remain adequate, no new agreement may be necessary; however, if the easement is modified or beneficiaries change, CDD and Engineering may require a revised or supplemental access/maintenance agreement as a condition of final plat approval under the minor subdivision process.

Minimum lot area is set by the LC district at 2,000 square feet per lot (Table 49.25.400).

Per PAC notes, an NCC for Access and Frontage will be required prior to building permit

Standard	Requirement	Met?	Plat Notes/Conditions
<b>CBJ 49.35.210(b)(1)(2)</b> Access Restricted	No lot created through the subdivision shall have direct access onto an arterial street. A separate access street or frontage road is required.	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	
<b>CBJ 49.35.210(b)(3)</b> Access Exception – Parcels with less than 500 feet of frontage or 350 feet in depth	<ul style="list-style-type: none"> <li>All resulting lots meet or exceed 36,000 sq. ft.</li> <li>All lots share a common access point; an easement is provided.</li> <li>The applicant has submitted a plan demonstrating parking standards can be met – no back-out parking is allowed.</li> <li>A signed maintenance agreement has been provided.</li> </ul>	<input checked="" type="checkbox"/> Meets/Exceeds <input type="checkbox"/> Not met	

**Condition:** N/A

**Plat Note 4:** NO LOT WILL DIRECTLY ACCESS GLACIER HIGHWAY.

**OTHER ITEMS**

Per 49.15.412(e)(1) - Certification from the CBJ Treasurer is required, stating that all real property taxes and special assessments levied against the property have been paid in full. If the certificate is sought between January 1 and the date of levy, a sufficient deposit must be made with the Treasurer to cover the estimated real property tax for the current year. Special assessments levied against a parcel to be subdivided must be paid in full prior to issuance of the certificate.

**Condition 3:** Prior to final plat approval, certification from the CBJ Treasurer is required, confirming that all real property taxes and special assessments levied against the property for the year of recording have been paid.

**Plat Note:** N/A

**FIRE CODE IMPROVEMENTS**

Access to the subdivision is provided by a private easement that exceeds 434 feet in length. Pursuant to the International Fire Code Appendix D, Section D103.4 (Dead Ends), dead-end fire apparatus access roads longer than 150 feet must be provided with an approved turnaround.

To comply with this standard, an emergency turnaround easement must be shown on the final plat. The turnaround shall meet the dimensional requirements of IFC Appendix D, Table D103.4, unless otherwise approved by Capital City Fire/Rescue.

**Condition 3:** Prior to final plat approval, the applicant shall revise the plat to include an emergency turnaround easement in compliance with IFC Appendix D103.4 and Table D103.4, subject to review and approval by Capital City Fire/Rescue.

**Plat Note:** N/A

**AGENCY REVIEW**

CDD conducted an agency review comment period between October 2, 2025, through October 20, 2025. Agency review comments have been addressed through the review process and can be found in **Attachment G**.

**PUBLIC COMMENTS**

CDD conducted a public comment period between October 14, 2025, through October 28<sup>th</sup>, 2025. Public notice was mailed to the neighbors directly abutting the properties (**Attachment H**). No public comment was received during this period.

**PRELIMINARY PLAT FINDINGS**

Per CBJ 49.15.401(f) the Director makes the following findings on the proposed development:

1. **Does the preliminary plat meet the criteria set forth in CBJ 49.15.412 and CBJ 49.35?**

**Finding: Yes.** The preliminary plat meets the requirements of CBJ 49.15.412 and CBJ 49.35.

2. **Has the applicant complied with any conditions or plat notes required by the director in the notice of decision approving the final plat?**

**Finding: No.** Prior to final plat approval, the applicant must meet all conditions of the preliminary plat.

3. **Has the applicant constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010**

**Finding: N/A.**

**RECOMMENDATION**

Staff recommends the Director approve the requested Final Plat permit. The permit would approve a minor subdivision lot line adjustment and consolidation of lots, thereby reducing five lots into three reconfigured lots in a LC zone.

The approval is subject to the following conditions:

**Condition 1:** A 50-foot *no-development setback* measured from the centerline of the Duck Creek culvert shall be depicted and labeled on the plat.

**Condition 2:** A Nonconforming certificate is required prior to the issuance of a building permit for Access and Frontage on the lot.

**Condition 3:** Prior to final plat approval, certification from the CBJ Treasurer is required, confirming that all real property taxes and special assessments levied against the property for the year of recording have been paid.

**Condition 4:** Prior to final plat approval, the applicant shall revise the plat to include an emergency turnaround easement in compliance with IFC Appendix D103.4 and Table D103.4, subject to review and approval by Capital City Fire/Rescue.

**Plat Note 1:** PARTS OF THIS SUBDIVISION ARE LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO THE EFFECTIVE CITY AND BOROUGH OF JUNEAU FLOOD INSURANCE RATE MAPS (FIRM) COMMUNITY PANEL #0211C1527E, DATED SEPTEMBER 18, 202. SPECIAL DEVELOPMENT STANDARDS MAY APPLY ACCORDING TO CBJ TITLE 49, LAND USE CODE.

**Plat Note 2:** DUCK CREEK (*ADFG STREAM ID #111-50-10500-2002*) IS DETERMINED TO BE AN ANADROMOUS STREAM PER THE CITY AND BOROUGH OF JUNEAU 2013 COMPREHENSIVE PLAN. SPECIAL REGULATIONS INCLUDING DEVELOPMENT BUFFERS MAY APPLY.

**Plat Note 3:** THE ON- LOT STORMWATER RUNOFF DRAINAGE IS ACCEPTABLE AS EXISTS BETWEEN THE PLATTED LOTS OF THIS SUBDIVISION AND MAY NOT BE MODIFIED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CBJ 19.12.120.1 BEST MANAGEMENT PRACTICES.

**Plat Note 4:** NO LOT WILL DIRECTLY ACCESS GLACIER HIGHWAY.

<b>Attachment</b>	<b>Description</b>
Attachment A	MIP25-08_Application Packet
Attachment B	MIP25-08_Preliminary Plat
Attachment C	MIP25-08_As-built
Attachment D	MIP25-08_PAC25-22 Final Notes
Attachment E	Proposed Project
Attachment F	NOD_USE06-45
Attachment G	MIP25-08 - Review Comments
Attachment H	MIP25-08 - Public Notice_Abutters



# DEVELOPMENT PERMIT APPLICATION

NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.

To be completed by Applicant	<b>PROPERTY LOCATION</b>		
	Physical Address: 9329 Glacier Highway		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot): Mendenhall Acres BL41 LT3 FR 4FR		
	Parcel Number(s): 5B1061140050		
	<input type="checkbox"/> This property is located in the downtown historic district <input type="checkbox"/> This property is located in a mapped hazard area, if so, which _____		
	<b>LANDOWNER</b>		
	Property Owner	Worden Homes Inc	Contact Person: Rob Worden
	Mailing Address	PO Box 211574 Auke Bay 99821	Phone Number(s): 907-321-5015
	E-mail Address	roblisa@ak.net	
	<b>LANDOWNER CONSENT</b>		
Required for Planning Permits, not needed on Building/ Engineering Permits. Consent is required of all landowners. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner's printed name, signature, and the applicant's name.  I am (we are) the owner(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.			
Rob Worden owner Landowner (Printed Name) Title (e.g.: Landowner) X [Signature] Date: 08/18/2025 Landowner (Signature) Date  Landowner (Printed Name) Title (e.g.: Landowner) X [Signature] Date			
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.			
<b>APPLICANT</b>			
If same as LANDOWNER, write "SAME"			
Applicant (Printed Name)	same	Contact Person	
Mailing Address		Phone Number(s)	
E-mail Address			
X [Signature]		Date of Application: 08/18/25	
Applicant's Signature		Date of Application	

30  
30  
10

DEPARTMENT USE ONLY, BELOW THIS LINE

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

For assistance filling out this form, contact the Permit Center at 586-0770

Intake Initials	RP
Case Number	MIP25-08
Date Received	8/18/25

Attachment A – MIP25-08\_Application Packet

Attachment B – NOD\_NCC25-62 Final Bundle



# SUBDIVISION AND DEVELOPMENT PLAN APPLICATION

See subdivision hand-outs for more information regarding the permitting process and the materials required for a complete application.

**NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.**

**PROJECT SUMMARY**  
Lot line adjustments

Number of Existing Parcels 1      Total Land Area 28,136      Number of Resulting Parcels 1

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**HAS THE PARCEL BEEN CREATED BY A MINOR SUBDIVISION IN THE PRECEDING 24 MONTHS**

NO       YES Case Number \_\_\_\_\_

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**TYPE OF SUBDIVISION OR PLATTING APPROVAL REQUESTED**

<p style="text-align: center;"><b>MINOR DEVELOPMENT</b> (changing or creating 13 or fewer lots)</p> <p><input type="radio"/> Preliminary Plat (MIP)</p> <p><input type="radio"/> Final Plat (MIF)</p> <p><input type="radio"/> Panhandle Subdivision</p> <p><input type="radio"/> Accretion Survey</p> <p><input type="radio"/> Boundary Adjustment</p> <p><input type="radio"/> Lot Consolidation (SLC)</p> <p><input type="radio"/> Bungalow Lot Subdivision</p> <p><input type="radio"/> Common Wall/Zero Lot Subdivision</p> <p><input checked="" type="radio"/> Other <u>Lot line adjustment</u></p>	<p style="text-align: center;"><b>MAJOR DEVELOPMENT</b> (changing or creating 14 or more lots)</p> <p><input type="radio"/> Preliminary Plat (SMP)</p> <p><input type="radio"/> Final Plat (SMF)</p> <p><input type="radio"/> Preliminary Development Plan – PUD (PDP)</p> <p><input type="radio"/> Final Development Plan – PUD (PDF) Preliminary</p> <p><input type="radio"/> Development Plan – ARS (ARP) Final</p> <p><input type="radio"/> Development Plan – ARS (ARF)</p> <p><input type="radio"/> Bungalow Lot Subdivision</p> <p><input type="radio"/> Common Wall/Zero Lot Subdivision</p> <p><input type="radio"/> Other _____</p>
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**ALL REQUIRED DOCUMENTS ATTACHED**

Pre-application conference notes

Narrative including:

- Legal description(s) of property to be subdivided
- Existing structures on the land
- Zoning district
- Density
- Access
- Current and proposed use of any structures
- Utilities available
- Unique characteristics of the land or structure(s)

Preliminary Plat checklist

To be completed by Applicant

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

SUBDIVISION/PLATTING FEES	Fees	Check No.	Receipt	Date
Application Fees	\$ _____			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
<b>Total Fee</b>	<b>\$ <u>185.00</u></b>			

For assistance filling out this form, contact the Permit Center at 586-0770.

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

I:\FORMS\PLANFORM\Subdivision Application.docx

Case Number <u>MIP 25-08</u>	Date Received <u>10/1/25</u>
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Revised October 2019 - Page 1 of 1

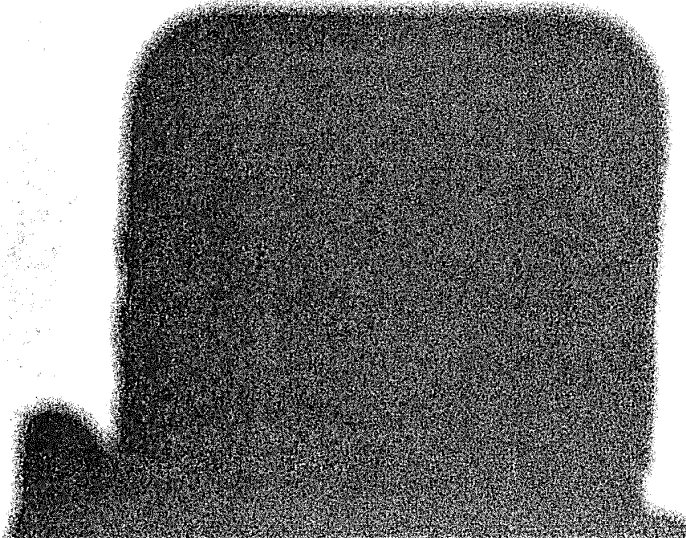
Attachment A – MIP25-08\_Application Packet

Attachment B – NOD\_NCC25-62 Final Bundle

9329 Glacier Highway Subdivision.

We are proposing to build a 5 unit shop bay with one single family apartment on 9329 Glacier Highway. Case number PAC2025 0022 is requiring a removal of a lotline that would go through the proposed building. Since we own both lots we are removing the lotline and are purchasing another 15 feet from the adjoining neighbor which does not affect the future building or any setbacks. Feel free to contact me with any questions regarding this project at 907-321-5015.

Rob Worden



Attachment A – MIP25-08\_Application Packet



(907) 586-0715  
 CDD\_Admin@juneau.gov  
 www.juneau.org/community-development  
 155 Heritage Way • Juneau, AK 99801

### Five Bay Shop with Apartment

Case Number: PAC2025 0022  
 Applicant: Robin and Melissa Worden  
 Property Owner: Worden Homes Inc.  
 Property Address: 9329 Glacier Hwy; 9331 Glacier Hwy; 9333 Glacier Hwy  
 Parcel Code Number: 5B1601140050  
 Site Size: 26,136 square feet/.60 acres  
 Zoning: (LC) Light Commercial  
 Existing Land Use: Residence/Marijuana Cultivation

Conference Date: April 30, 2025  
 Report Issued: May 15, 2025  
**DISCLAIMER: Pre-application conferences are conducted for the purpose of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application and are not a guarantee of final project approval.**

#### List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Rob Worden	Applicant	<a href="mailto:RobLisa@ak.net">RobLisa@ak.net</a>
David Peterson	Planning	<a href="mailto:David.Peterson@juneau.gov">David.Peterson@juneau.gov</a>
Jeff Hedges	Building	<a href="mailto:Jeffrey.Hedges@juneau.gov">Jeffrey.Hedges@juneau.gov</a>
Bridget LaPenter	General Engineering	<a href="mailto:Bridget.Lapenter@juneau.gov">Bridget.Lapenter@juneau.gov</a>

Revised 5/31/2024

i:\documents\cases\2025\pac\pac25-22 - 9333 glacier hwy\_rob worden-garage - not assigned\pac25-22 - 9333 glacier hwy\_rob worden\_final draft.doc

Attachment A – MIP25-08\_Application Packet

Attachment B – NOD\_NCC25-62 Final Bundle

**Conference Summary**

**Questions/issues/agreements identified at the conference that weren't identified in the attached reports.**  
The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

**Project Overview**

The applicant proposes to construct a five-bay garage with an apartment on the site currently occupied by an existing residence. The existing structure was built in 1951, prior to the adoption of CBJ zoning regulations, and may not conform to current standards. It is unclear when the property was subdivided into its present configuration.

Under current Title 49 requirements, structures may not be constructed across property lines. To proceed with the proposed development, the existing residence would need to be removed, and the underlying lots consolidated.

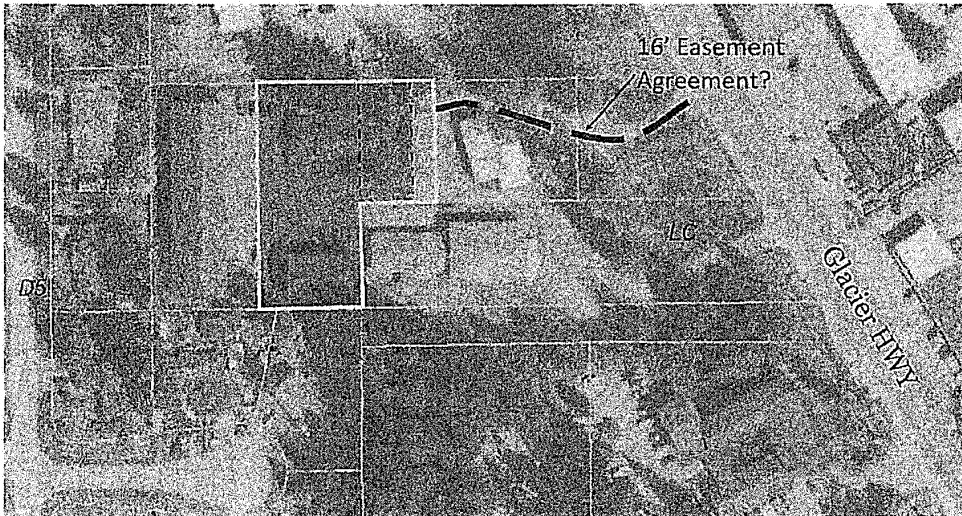
A 16-foot access easement serving the landlocked lots was approved under Conditional Use Permit USE2006-0045. This easement was accepted by the Planning Commission at the time and has been grandfathered and permissible for continued use.

The minor subdivision process may be used to consolidate lots and adjust the boundary between lots.

Once the subdivision has been completed, a conditional use permit will be required for the 5,500 square foot building on a .63 acre lot.

Per 49.25.300(c)(3)(D) A residential development consisting of 12 or fewer dwelling units, or up to 12 bedrooms rented on a daily or weekly basis, or a nonresidential building that is less than 10,000 square feet in size or occupies less than one-half acre of land.

Per 49.25.300(c)(4) - Major development means all development activity that is not a minor development. Therefore, the proposed development will require a conditional use permit.



**Planning Division**

1. **Zoning – Light Commercial Zoning (LC).**
  - a. Minimum Lot size: 2,000 square feet.
  - b. Minimum Lot width: 20 feet.
2. **Table of Permissible Uses – Refer to 49.25.300**
3. **Subdivision – Minor Subdivision**
  1. **Pre-Application Conference**
    - A pre-application conference is required before submitting an application.
    - A sketch plat may be requested at the director’s discretion.
  2. **Application Submission**
    - Submit the following to the Community Development Department:
      - Draft preliminary plat
      - Minor subdivision application
      - Development permit application
      - Any other required forms
      - Application fee
    - The draft plat must meet standards in CBJ 49.15.411.
  3. **Construction Plan Review (if applicable)**
    - Construction plans may be required to demonstrate feasibility of the proposed subdivision.
    - Submit full sets for review by the Director of Engineering and Public Works, per CBJ 49.35.140.
  4. **Surveying and Monumentation**
    - Upon approval of construction plans, complete surveying and monumentation per CBJ 49.15, Article IV, Division 6.
  5. **Public Notice**
    - Once the application is deemed complete:
      - 4 or fewer lots: Notice mailed to abutting property owners.
      - 5 to 13 lots: Notice mailed to all property owners within 500 feet and registered neighborhood associations, per CBJ 11.35.
    - Applicant pays actual mailing cost.
  6. **Review and Decision**

The Director reviews the application for compliance with:

    - CBJ 49.15.411;
    - Subdivision development standards;
    - Zoning district suitability;
    - Street naming conventions;
    - Engineering and Public Works review, including:
      - Drainage and water quality standards;
      - Street, pioneer path, and pedestrian access alignment;
      - Feasibility of improvements;
      - Wastewater treatment suitability if no public sewer is required.
  7. **Final Plat Submittal Requirements**

Submit the Final Plat and the following supporting materials:  
On the Plat:

- Ownership Certificate
- Surveyor's Certificate
- Optional: Certificate Sheet for clarity (with title, sheet number, acknowledgments)

**Other Supporting Documents:**

- Tax certification from CBJ Treasurer
- One original reproducible plat (22" x 34", black ink, ≤ 1" = 100' scale)
- Proof that improvements or financial guarantee for improvements (if applicable)

4. **Setbacks –**

- a. **Front:** 25 feet
- b. **Rear and Side:** 10 feet
- c. **Street Side:** 17 feet

5. **Height –**

- a. **Maximum Permissible:** 45 feet
- b. **Maximum Accessory:** 17 feet

6. **Access –** Lot has access to Glacier Highway via a 16 foot wide access easement established in 2006.

7. **Parking & Circulation –** TBD. Refer to 49.40.210 for parking requirements.

8. **Lot Coverage –** N/A

9. **Vegetative Coverage –** 15% minimum.

10. **Lighting –** Exterior lighting may not shed light or glare above the roofline of the building or beyond the property line of the site. Industrial and exterior lighting shall not be used in a manner that produces glare on public highways or neighboring property.

11. **Noise – Construction of buildings and projects.** It is unlawful to operate any pile driver, power shovel, pneumatic hammer, derrick, power hoist, or similar heavy construction equipment, before 7:00 a.m. or after 10:00 p.m., Monday through Friday, or before 9:00 a.m. or after 10:00 p.m., Saturday and Sunday, unless a permit shall first be obtained from the City and Borough building official.

12. **Flood –** Per panel 02110C1527E eff. 9/18/2020, no flood zones present on lots.

13. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement –** N/A

14. **Wetlands –** N/A

15. **Habitat –** Applicant is encouraged to contact the U.S. Fish and Wildlife for the presence of eagle nests in the area. No anadromous waterbodies exist on Lot A, or within 50 feet.

16. **Plat or Covenant Restrictions –** N/A

17. **Traffic –** N/A

18. **Nonconforming situations –** A Nonconforming certificate is required prior to the issuance of a building permit for Access and Frontage on the lot.

**Building Division**

19. **Building –** Fire separation of 2 hours between S-1 and R occupancy, unless sprinklered.

20. **Outstanding Permits –** No outstanding permits.

Pre-Application Conference Final Report

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**General Engineering/Public Works**

- 21. **Engineering** – No comments provided.
- 22. **Drainage** – No comments provided.
- 23. **Utilities** – No comments provided.

**Fire Marshal**

- 24. **Fire Items/Access** – No comments provided.

**List of required applications**

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

- 1. **Subdivision**
  - a. Development Permit Application (DPA)
  - b. Subdivision Application
- 2. **Conditional Use Permit**
  - a. Development Permit Application (DPA)
  - b. Allowable/Conditional Use Permit

**Additional Submittal Requirements**

Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

- 1. **Subdivision**
  - a. A copy of this pre-application conference report
  - b. Narrative
  - c. As-built Survey
  - d. Preliminary Plat
- 2. **Allowable/Conditional Use Permit**
  - a. A copy of this pre-application conference report
  - b. Narrative
  - c. Building Plans
  - d. As-built Survey

**Exceptions to Submittal Requirements**

Submittal requirements that staff has determined **not** to be applicable or not required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

- 1. N/A

**Fee Estimates**

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Pre-Application Conference Final Report

---

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. 49.85.100 (2)(B) - Minor Subdivision - Subdivision creating no additional lots, \$110.00 plus \$25.00 for each lot changed. Total - \$185
2. 49.85.100(3)(B)(i) – Class II uses for Commercial, mixed use or enclosed industrial uses with less than 10,000 square feet of building space and using less than one acre of land, Total - \$500.

For informational handouts with submittal requirements for development applications, please visit our website at [www.juneau.org/community-development](http://www.juneau.org/community-development).

**Submit your Completed Application**

You may submit your application(s) online via email to [permits@juneau.gov](mailto:permits@juneau.gov)

OR in person with payment made to:

City & Borough of Juneau, Permit Center  
230 South Franklin Street  
Fourth Floor Marine View Center  
Juneau, AK 99801

Phone: (907) 586-0715

Web: [www.juneau.org/community-development](http://www.juneau.org/community-development)

**Attachments:**

49.15.330 Conditional Use Permit  
Development Permit Application (DPA)  
Conditional Use Permit Application  
Subdivision Application  
Subdivision Preliminary Plat Checklist

Last Frontier Surveying and Engineering LLC

Alec Venechuk PLS, PE

08/15/2025

Rob Worden Subdivision

Lots 3, 4, 5, Block 41, Mendenhall Acre Subdivision - Juneau Recording District

Lot 3A

Northing Easting Bearing Distance

2384094.967 2512588.446

S 00°02'16" W 207.914

2383887.053 2512588.310

N 89°59'12" W 105.000

2383887.077 2512483.310

N 00°02'16" E 207.890

2384094.967 2512483.446

N 90°00'00" E 105.000

2384094.967 2512588.446

Closure Error Distance > 0.00000

Total Distance > 625.804

Polyline Area: 21829.730 sq ft, 0.501 acres

Attachment A – MIP25-08\_Application Packet

Attachment B – NOD\_NCC25-62 Final Bundle

Lot 3B

Northing Easting Bearing Distance

2384094.967 2512588.446  
N 90°00'00" E 165.000

2384094.967 2512753.446  
S 00°00'26" W 108.000

2383986.967 2512753.432  
N 90°00'00" W 65.000

2383986.967 2512688.432  
S 00°00'26" W 99.938

2383887.030 2512688.420  
N 89°59'12" W 100.110

2383887.053 2512588.310  
N 00°02'16" E 207.914

2384094.967 2512588.446

Closure Error Distance > 0.00000

Total Distance > 745.962

Polyline Area: 27824.041 sq ft, 0.639 acres

Attachment A – MIP25-08\_Application Packet

Attachment B – NOD\_NCC25-62 Final Bundle

Lot 4B

Northing	Easting	Bearing	Distance
----------	---------	---------	----------

2384094.967	2512990.958		
		S 29°01'42" E	123.516

2383986.967	2513050.893		
		N 90°00'00" W	297.461

2383986.967	2512753.432		
		N 00°00'26" E	108.000

2384094.967	2512753.446		
		N 90°00'00" E	237.512

2384094.967	2512990.958		
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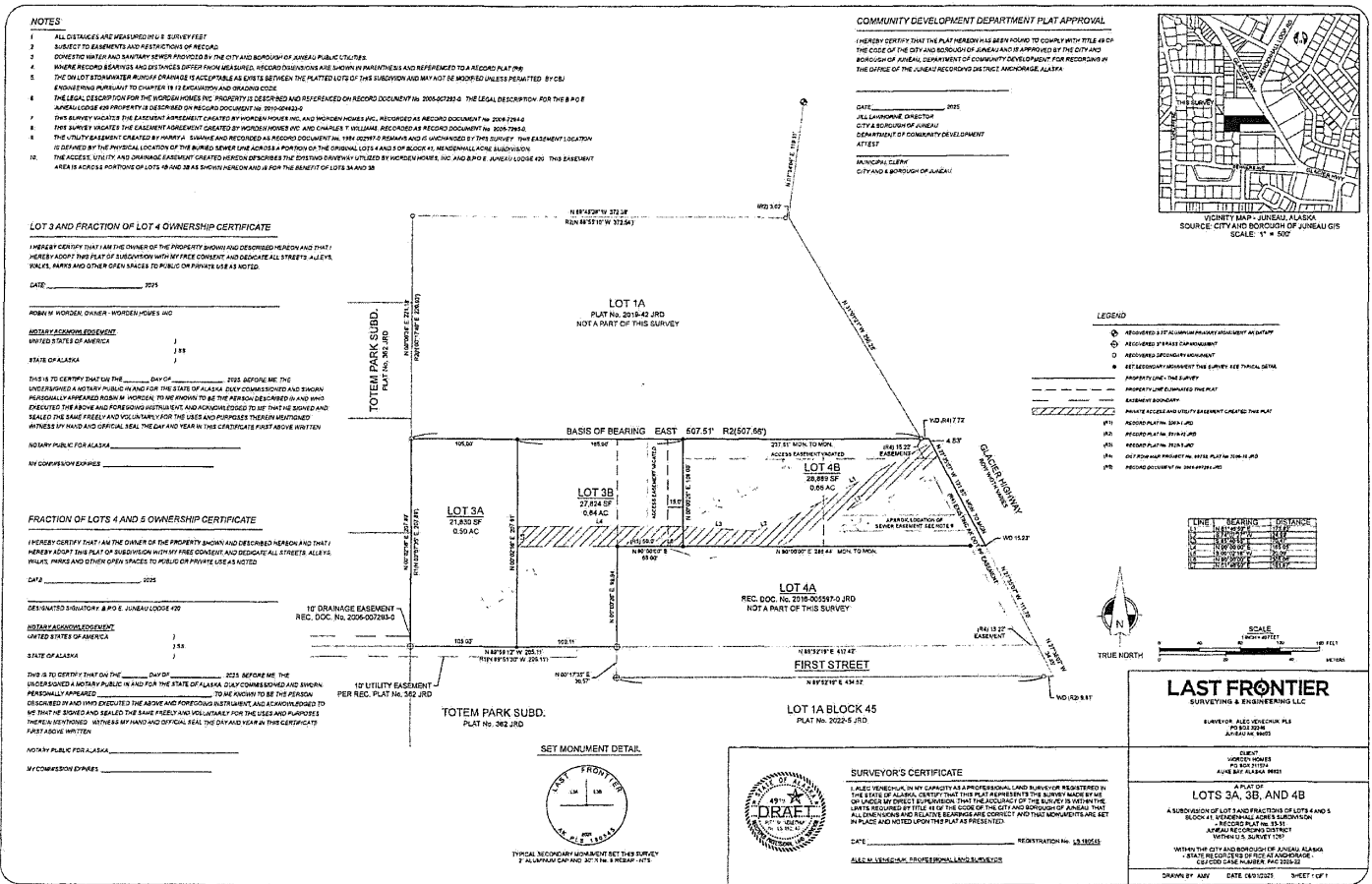
Closure Error Distance > 0.00000

Total Distance > 766.489

Polyline Area: 28888.506 sq ft, 0.663 acres

Attachment A – MIP25-08\_Application Packet

Attachment B – NOD\_NCC25-62 Final Bundle



Attachment A – MIP25-08\_Application Packet

Attachment B – NOD\_NCC25-62 Final Bundle



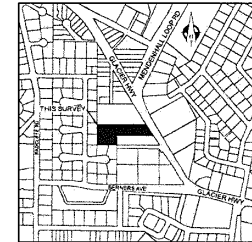
**NOTES**

- ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET
- SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD
- DOMESTIC WATER AND SANITARY SEWER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC UTILITIES
- WHERE RECORD BEARINGS AND DISTANCES DIFFER FROM MEASURED, RECORD DIMENSIONS ARE SHOWN IN PARENTHESES AND REFERENCED TO A RECORD PLAT (R#)
- THE ON LOT STORMWATER RUNOFF DRAINAGE IS ACCEPTABLE AS EXISTING BETWEEN THE PLATTED LOTS OF THIS SUBDIVISION AND MAY NOT BE MODIFIED UNLESS PERMITTED BY CU ENGINEERING PURSUANT TO CHAPTER 19-12 EDUCATION AND GRADING CODE
- THE LEGAL DESCRIPTION FOR THE WORDEN HOMES INC. PROPERTY IS DESCRIBED AND REFERENCED ON RECORD DOCUMENT No. 2006-007250-0. THE LEGAL DESCRIPTION FOR THE B P O E JUNEAU LODGE 420 PROPERTY IS DESCRIBED ON RECORD DOCUMENT No. 2010-104423-0
- THIS SURVEY VACATES THE EASEMENT AGREEMENT CREATED BY WORDEN HOMES INC. AND WORDEN HOMES INC., RECORDED AS RECORD DOCUMENT No. 2009-7294-0
- THIS SURVEY VACATES THE EASEMENT AGREEMENT CREATED BY WORDEN HOMES INC. AND CHARLES F. WILLIAMS, RECORDED AS RECORD DOCUMENT No. 2009-7294-0
- THE UTILITY EASEMENT CREATED BY HARRIS A. SWANKE AND RECORDED AS RECORD DOCUMENT No. 1804-002381-0 REMAINS AND IS UNCHANGED BY THIS SURVEY. THIS EASEMENT LOCATION IS DEFINED BY THE PHYSICAL LOCATION OF THE BURIED SEWER LINE ACROSS A PORTION OF THE ORIGINAL LOTS 4 AND 3 OF BLOCK 41, MINARDENHALL ACRES SUBDIVISION
- THE ACCESS, UTILITY AND DRAINAGE EASEMENT CREATED HEREON DESCRIBES THE EXISTING DRIVEWAY UTILIZED BY WORDEN HOMES, INC. AND B P O E JUNEAU LODGE 420. THIS EASEMENT AREA IS ADDRESS PORTIONS OF LOTS 4B AND 3B AS SHOWN HEREON AND IS FOR THE BENEFIT OF LOTS 3A AND 3B. THIS EASEMENT SATISFIES THE FIRE APPARATUS TURN-AROUND REQUIREMENTS FOR CAPITAL CITY FIRE AND RESCUE

**COMMUNITY DEVELOPMENT DEPARTMENT PLAT APPROVAL**

I HEREBY CERTIFY THAT THE PLAT HEREON HAS BEEN FOUND TO COMPLY WITH TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU AND IS APPROVED BY THE CITY AND BOROUGH OF JUNEAU DEPARTMENT OF COMMUNITY DEVELOPMENT FOR RECORDING IN THE OFFICE OF THE JUNEAU RECORDING DISTRICT, ANCHORAGE, ALASKA.

DATE: \_\_\_\_\_ 2025  
 JILL LANHORN, DIRECTOR  
 CITY & BOROUGH OF JUNEAU  
 DEPARTMENT OF COMMUNITY DEVELOPMENT  
 ATTEST:  
 \_\_\_\_\_  
 MUNICIPAL CLERK  
 CITY AND BOROUGH OF JUNEAU



VICINITY MAP - JUNEAU, ALASKA  
 SOURCE: CITY AND BOROUGH OF JUNEAU GIS  
 SCALE: 1" = 500'

**LOT 3 AND FRACTION OF LOT 4 OWNERSHIP CERTIFICATE**

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH MY FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED

DATE: \_\_\_\_\_ 2025

ROBIN W. WORDEN, OWNER - WORDEN HOMES, INC.  
 NOTARY ACKNOWLEDGMENT  
 UNITED STATES OF AMERICA }  
 STATE OF ALASKA } 55

THIS IS TO CERTIFY THAT ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2025, BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED ROBIN W. WORDEN, TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE SIGNED AND SEALED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED. WITNESS MY HAND AND OFFICIAL SEAL, THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA \_\_\_\_\_  
 MY COMMISSION EXPIRES \_\_\_\_\_

**FRACTION OF LOTS 4 AND 5 OWNERSHIP CERTIFICATE**

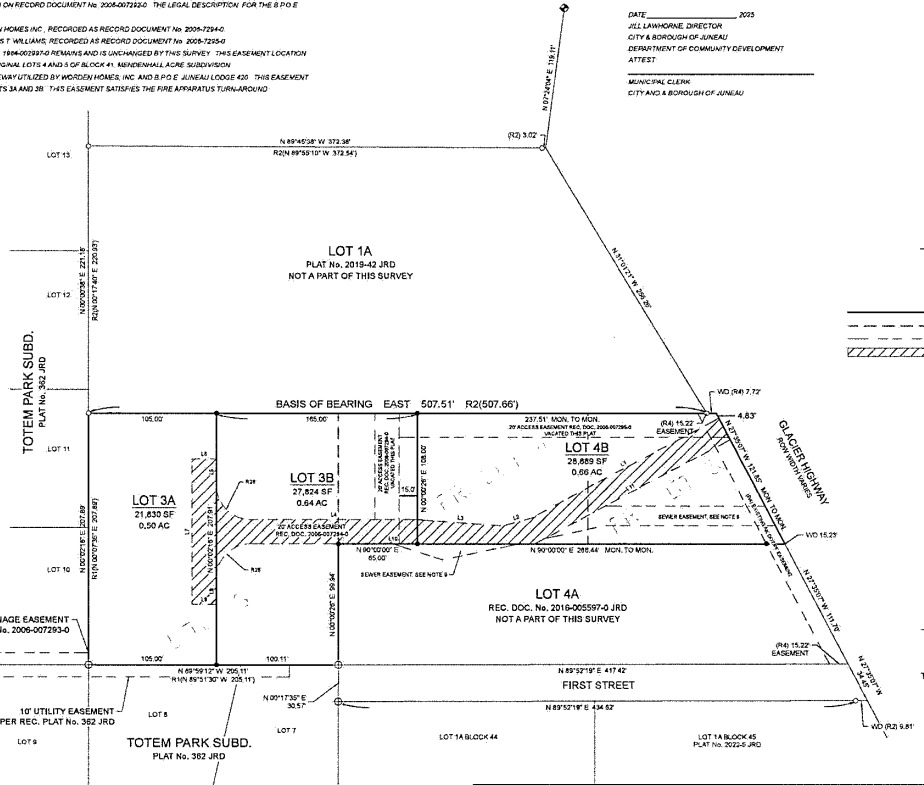
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH MY FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED

DATE: \_\_\_\_\_ 2025

DESIGNATED SIGNATORY, B P O E JUNEAU LODGE 420  
 NOTARY ACKNOWLEDGMENT  
 UNITED STATES OF AMERICA }  
 STATE OF ALASKA } 52

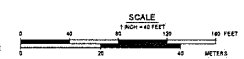
THIS IS TO CERTIFY THAT ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2025, BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED \_\_\_\_\_ TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE SIGNED AND SEALED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED. WITNESS MY HAND AND OFFICIAL SEAL, THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA \_\_\_\_\_  
 MY COMMISSION EXPIRES \_\_\_\_\_



- LEGEND**
- RECOVERED 3/8" ALUMINUM PRIMARY MONUMENT AS CATCH
  - RECOVERED 3" BRASS CAP MONUMENT
  - RECOVERED 3" BRASS MONUMENT
  - SET SECONDARY MONUMENT THIS SURVEY, SEE TYPICAL DETAIL
  - PROPERTY LINE - THIS SURVEY
  - PROPERTY LINE - THIS PLAT
  - EASEMENT LINE
  - PRIVATE ACCESS AND UTILITY EASEMENT CREATED THIS PLAT
- (R1) RECORD PLAT No. 2004-1 JRD  
 (R2) RECORD PLAT No. 2018-42 JRD  
 (R3) RECORD PLAT No. 2008-10 JRD  
 (R4) DOT ROW MAP PROJECT No. 8925 PLAT No. 2008-10 JRD  
 (R5) RECORD DOCUMENT No. 2006-007250-0

NO.	DESCRIPTION	DATE
1	RECOVERED 3/8" ALUMINUM PRIMARY MONUMENT AS CATCH	
2	RECOVERED 3" BRASS CAP MONUMENT	
3	RECOVERED 3" BRASS MONUMENT	
4	SET SECONDARY MONUMENT THIS SURVEY, SEE TYPICAL DETAIL	
5	PROPERTY LINE - THIS SURVEY	
6	PROPERTY LINE - THIS PLAT	
7	EASEMENT LINE	
8	PRIVATE ACCESS AND UTILITY EASEMENT CREATED THIS PLAT	



TYPICAL SECONDARY MONUMENT SET THIS SURVEY  
 2" ALUMINUM CAP AND 3/8" X 1/8" 9038-R - 1/15



**SURVEYOR'S CERTIFICATE**  
 I, ALEC VENECHUK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 48 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU. THAT ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.  
 DATE: \_\_\_\_\_ REGISTRATION No. 1518245  
 ALEC M. VENECHUK, PROFESSIONAL LAND SURVEYOR

**LAST FRONTIER SURVEYING & ENGINEERING LLC**  
 SURVEYOR ALEC VENECHUK PLS  
 PO BOX 3244  
 JUNEAU AK 99901

CLIENT  
 WORDEN HOMES  
 PO BOX 21594  
 ALASKA BAY ALASKA 99821

A PLAT OF  
**LOTS 3A, 3B, AND 4B**  
 A SUBDIVISION OF LOT 3 AND FRACTIONS OF LOTS 4 AND 5  
 BLOCK 41, MINARDENHALL ACRES SUBDIVISION  
 -RECORD PLAT No. 3331  
 JUNEAU RECORDING DISTRICT  
 WITHIN U.S. SURVEY 1287

WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA  
 -STATE RECORDS OFFICE OF ANCHORAGE-  
 CEN CDD CASE NUMBER MP2025-0008

DRAWN BY: AMY DATE: 10/21/2025 SHEET 1 OF 1

Attachment B - MIP25-08\_Preliminary Plat

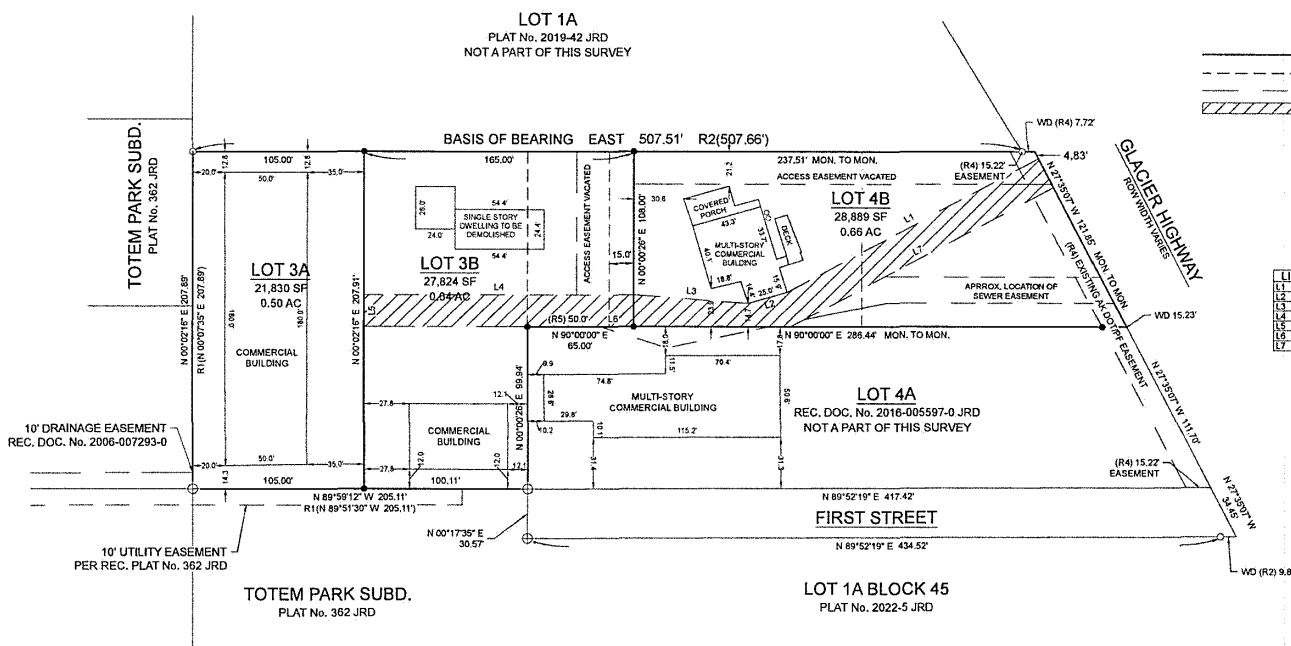
**NOTES**

- 1 ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET
- 2 SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD
- 3 WHERE RECORD BEARINGS AND DISTANCES DIFFER FROM MEASURED, RECORD DIMENSIONS ARE SHOWN IN PARENTHESES AND REFERENCED TO A RECORD PLAT (R#)
- 4 THIS ASBLUT SURVEY IS TO SATISFY THE REQUIREMENTS OF THE CITY AND BOROUGH OF JUNEAU AND SHOULD NOT BE UTILIZED FOR ANY OTHER PURPOSE

**LEGEND**

- RECOVERED 3/25" ALUMINUM PRIMARY MONUMENT AK DATA#P
  - ⊕ RECOVERED 3" BRASS CAP MONUMENT
  - RECOVERED SECONDARY MONUMENT
  - SET SECONDARY MONUMENT THIS SURVEY, SEE TYPICAL DETAIL
  - PROPERTY LINE - THIS SURVEY
  - - - PROPERTY LINE ELIMINATED THIS PLAT
  - - - EASEMENT BOUNDARY
  - ▨ PRIVATE ACCESS AND UTILITY EASEMENT CREATED WITH SUBD
- (R1) RECORD PLAT No. 2005-1 JRD  
 (R2) RECORD PLAT No. 2019-42 JRD  
 (R3) RECORD PLAT No. 2020-5 JRD  
 (R4) DOT ROW MAP, PROJECT No. 69755, PLAT No. 2006-10 JRD  
 (R5) RECORD DOCUMENT No. 2006-00794 JRD

LINE	BEARING	DISTANCE
L1	N 61°46'59" E	173.83'
L2	S 74°07'27" W	24.97'
L3	S 85°40'55" E	70.47'
L4	N 89°00'00" E	1165.96'
L5	S 00°02'16" W	20.05'
L6	N 90°00'00" E	305.06'
L7	N 61°46'59" E	181.67'



**SURVEYOR'S CERTIFICATE**

I, ALEC VENECHUK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATE: \_\_\_\_\_ REGISTRATION No. (S)182045

ALEC M. VENECHUK, PROFESSIONAL LAND SURVEYOR



**LAST FRONTIER**  
 SURVEYING & ENGINEERING LLC

SURVEYOR: ALEC VENECHUK, PLS  
 PO BOX 32344  
 JUNEAU AK 99803

CLIENT:  
 WORDS HOMES  
 PO BOX 21974  
 ALASKA BAY AREA 99821

AN ASBLUT SURVEY OF  
**LOTS 3A, 3B, AND 4B**

A SUBDIVISION OF LOT 3 AND FRACTIONS OF LOTS 4 AND 5  
 BLOCK 41, WENDELL HILLES SUBDIVISION  
 RECORD PLAT No. 83.3  
 JUNEAU RECORDING DISTRICT  
 WITHIN U.S. SURVEY 1257

WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA  
 - STATE REGISTRATION OFFICE N. AND - CHARGE -  
 - CSD CASE NUMBER PAC 2025-22

DRAWN BY: AMV DATE: 06/01/2025 SHEET 1 OF 1



(907) 586-0715  
 CDD\_Admin@juneau.gov  
 www.juneau.org/community-development  
 155 Heritage Way • Juneau, AK 99801

### Five Bay Shop with Apartment

Case Number: PAC2025 0022  
 Applicant: Robin and Melissa Worden  
 Property Owner: Worden Homes Inc.  
 Property Address: 9329 Glacier Hwy; 9331 Glacier Hwy; 9333 Glacier Hwy  
 Parcel Code Number: 5B1601140050  
 Site Size: 26,136 square feet/.60 acres  
 Zoning: (LC) Light Commercial  
 Existing Land Use: Residence/Marijuana Cultivation

Conference Date: April 30, 2025  
 Report Issued: May 15, 2025  
***DISCLAIMER: Pre-application conferences are conducted for the purpose of providing applicants with a preliminary review of a project and timeline. Pre-application conferences are not based on a complete application and are not a guarantee of final project approval.***

#### List of Attendees

Note: Copies of the Pre-Application Conference Report will be emailed, instead of mailed, to participants who have provided their email address below.

Name	Title	Email address
Rob Worden	Applicant	<a href="mailto:RobLisa@ak.net">RobLisa@ak.net</a>
David Peterson	Planning	<a href="mailto:David.Peterson@juneau.gov">David.Peterson@juneau.gov</a>
Jeff Hedges	Building	<a href="mailto:Jeffrey.Hedges@juneau.gov">Jeffrey.Hedges@juneau.gov</a>
Bridget LaPenter	General Engineering	<a href="mailto:Bridget.Lapenter@juneau.gov">Bridget.Lapenter@juneau.gov</a>

**Conference Summary**

**Questions/issues/agreements identified at the conference that weren't identified in the attached reports.**

The following is a list of issues, comments and proposed actions, and requested technical submittal items that were discussed at the pre-application conference.

**Project Overview**

The applicant proposes to construct a five-bay garage with an apartment on the site currently occupied by an existing residence. The existing structure was built in 1951, prior to the adoption of CBJ zoning regulations, and may not conform to current standards. It is unclear when the property was subdivided into its present configuration.

Under current Title 49 requirements, structures may not be constructed across property lines. To proceed with the proposed development, the existing residence would need to be removed, and the underlying lots consolidated.

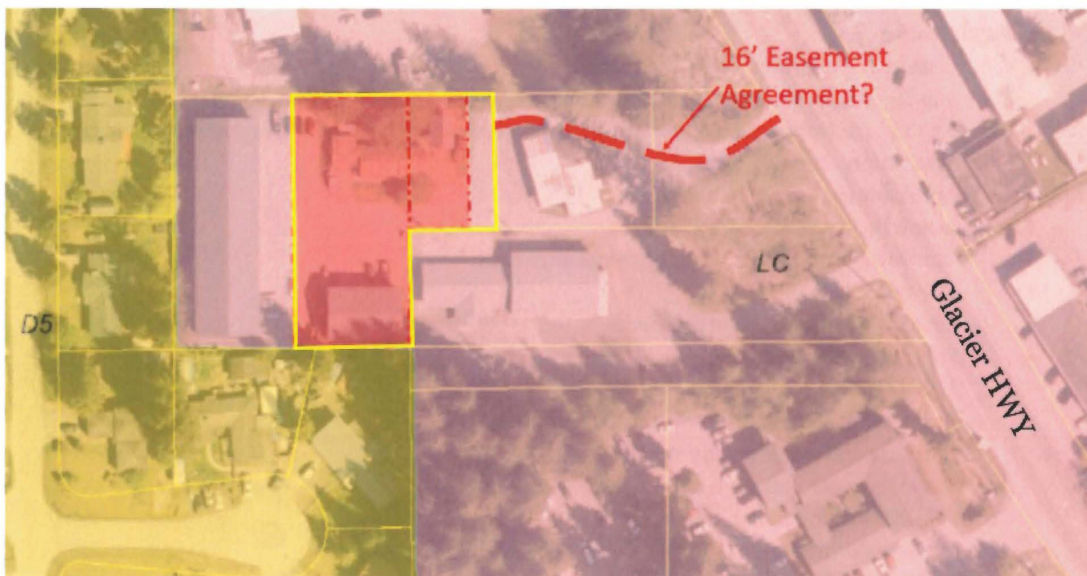
A 16-foot access easement serving the landlocked lots was approved under Conditional Use Permit USE2006-0045. This easement was accepted by the Planning Commission at the time and has been grandfathered and permissible for continued use.

The minor subdivision process may be used to consolidate lots and adjust the boundary between lots.

Once the subdivision has been completed, a conditional use permit will be required for the 5,500 square foot building on a .63 acre lot.

Per 49.25.300(c)(3)(D) A residential development consisting of 12 or fewer dwelling units, or up to 12 bedrooms rented on a daily or weekly basis, or a nonresidential building that is less than 10,000 square feet in size or occupies less than one-half acre of land.

Per 49.25.300(c)(4) - Major development means all development activity that is not a minor development. Therefore, the proposed development will require a conditional use permit.



**Planning Division**

1. **Zoning** – Light Commercial Zoning (LC).
  - a. Minimum Lot size: 2,000 square feet.
  - b. Minimum Lot width: 20 feet.
2. **Table of Permissible Uses** – Refer to 49.25.300
3. **Subdivision** – Minor Subdivision

**1. Pre-Application Conference**

- A pre-application conference is required before submitting an application.
- A sketch plat may be requested at the director’s discretion.

**2. Application Submission**

- Submit the following to the Community Development Department:
  - Draft preliminary plat
  - Minor subdivision application
  - Development permit application
  - Any other required forms
  - Application fee
- The draft plat must meet standards in CBJ 49.15.411.

**3. Construction Plan Review (if applicable)**

- Construction plans may be required to demonstrate feasibility of the proposed subdivision.
- Submit full sets for review by the Director of Engineering and Public Works, per CBJ 49.35.140.

**4. Surveying and Monumentation**

- Upon approval of construction plans, complete surveying and monumentation per CBJ 49.15, Article IV, Division 6.

**5. Public Notice**

- Once the application is deemed complete:
  - 4 or fewer lots: Notice mailed to abutting property owners.
  - 5 to 13 lots: Notice mailed to all property owners within 500 feet and registered neighborhood associations, per CBJ 11.35.
- **Applicant pays actual mailing cost.**

**6. Review and Decision**

The Director reviews the application for compliance with:

- CBJ 49.15.411;
- Subdivision development standards;
- Zoning district suitability;
- Street naming conventions;
- Engineering and Public Works review, including:
  - Drainage and water quality standards;
  - Street, pioneer path, and pedestrian access alignment;
  - Feasibility of improvements;
  - Wastewater treatment suitability if no public sewer is required.

**7. Final Plat Submittal Requirements**

Submit the Final Plat and the following supporting materials:

On the Plat:

- Ownership Certificate
- Surveyor's Certificate
- Optional: Certificate Sheet for clarity (with title, sheet number, acknowledgments)

**Other Supporting Documents:**

- Tax certification from CBJ Treasurer
- One original reproducible plat (22" x 34", black ink, ≤ 1" = 100' scale)
- Proof that improvements or financial guarantee for improvements (if applicable)

**4. Setbacks –**

- a. **Front:** 25 feet
- b. **Rear and Side:** 10 feet
- c. **Street Side:** 17 feet

**5. Height –**

- a. Maximum Permissible: 45 feet
- b. Maximum Accessory: 17 feet

6. **Access** – Lot has access to Glacier Highway via a 16 foot wide access easement established in 2006.

7. **Parking & Circulation** – TBD. Refer to 49.40.210 for parking requirements.

8. **Lot Coverage** – N/A

9. **Vegetative Coverage** – 15% minimum.

10. **Lighting** – Exterior lighting may not shed light or glare above the roofline of the building or beyond the property line of the site. Industrial and exterior lighting shall not be used in a manner that produces glare on public highways or neighboring property.

11. **Noise** – *Construction of buildings and projects.* It is unlawful to operate any pile driver, power shovel, pneumatic hammer, derrick, power hoist, or similar heavy construction equipment, before 7:00 a.m. or after 10:00 p.m., Monday through Friday, or before 9:00 a.m. or after 10:00 p.m., Saturday and Sunday, unless a permit shall first be obtained from the City and Borough building official.

12. **Flood** – Per panel 02110C1527E eff. 9/18/2020, no flood zones present on lots.

13. **Hazard/Mass Wasting/Avalanche/Hillside Endorsement** – N/A

14. **Wetlands** – N/A

15. **Habitat** – Applicant is encouraged to contact the U.S. Fish and Wildlife for the presence of eagle nests in the area. No anadromous waterbodies exist on Lot A, or within 50 feet.

16. **Plat or Covenant Restrictions** – N/A

17. **Traffic** – N/A

18. **Nonconforming situations** – A Nonconforming certificate is required prior to the issuance of a building permit for Access and Frontage on the lot.

**Building Division**

19. **Building** – Fire separation of 2 hours between S-1 and R occupancy, unless sprinklered.

20. **Outstanding Permits** – No outstanding permits.

**General Engineering/Public Works**

- 21. **Engineering** – No comments provided.
- 22. **Drainage** – No comments provided.
- 23. **Utilities** – No comments provided.

**Fire Marshal**

- 24. **Fire Items/Access** – No comments provided.

**List of required applications**

Based upon the information submitted for pre-application review, the following list of applications must be submitted in order for the project to receive a thorough and speedy review.

- 1. Subdivision
  - a. Development Permit Application (DPA)
  - b. Subdivision Application
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  - a. Development Permit Application (DPA)
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Submittal of additional information, given the specifics of the development proposal and site, are listed below. These items will be required in order for the application to be determined Counter Complete.

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  - a. A copy of this pre-application conference report
  - b. Narrative
  - c. As-built Survey
  - d. Preliminary Plat
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  - a. A copy of this pre-application conference report
  - b. Narrative
  - c. Building Plans
  - d. As-built Survey

**Exceptions to Submittal Requirements**

Submittal requirements that staff has determined **not** to be applicable or **not** required, given the specifics of the development proposal, are listed below. These items will **not** be required in order for the application to be reviewed.

- 1. N/A

**Fee Estimates**

The preliminary plan review fees listed below can be found in the CBJ code section 49.85.

Pre-Application Conference Final Report

---

Based upon the project plan submitted for pre-application review, staff has attempted to provide an accurate estimate for the permits and permit fees which will be triggered by your proposal.

1. 49.85.100 (2)(B) - Minor Subdivision - Subdivision creating no additional lots, \$110.00 plus \$25.00 for each lot changed. Total - \$185
2. 49.85.100(3)(B)(i) – Class II uses for Commercial, mixed use or enclosed industrial uses with less than 10,000 square feet of building space and using less than one acre of land, Total - \$500.

For informational handouts with submittal requirements for development applications, please visit our website at [www.juneau.org/community-development](http://www.juneau.org/community-development).

**Submit your Completed Application**

You may submit your application(s) online via email to [permits@juneau.gov](mailto:permits@juneau.gov)

OR in person with payment made to:

City & Borough of Juneau, Permit Center  
230 South Franklin Street  
Fourth Floor Marine View Center  
Juneau, AK 99801

Phone: (907) 586-0715

Web: [www.juneau.org/community-development](http://www.juneau.org/community-development)

Attachments:

49.15.330 Conditional Use Permit  
Development Permit Application (DPA)  
Conditional Use Permit Application  
Subdivision Application  
Subdivision Preliminary Plat Checklist

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**49.15.330 Conditional use permit.**

- (a) *Purpose.* A conditional use is a use that may or may not be appropriate in a particular zoning district according to the character, intensity, or size of that or surrounding uses. The conditional use permit procedure is intended to afford the commission the flexibility necessary to make determinations appropriate to individual sites. The commission may attach to the permit those conditions listed in subsection (g) of this section as well as any further conditions necessary to mitigate external adverse impacts. If the commission determines that these impacts cannot be satisfactorily overcome, the permit shall be denied.
- (b) *Preapplication conference.* Prior to submission of an application, the developer shall meet with the director for the purpose of discussing the site, the proposed development activity, and the conditional use permit procedure. The director shall discuss with the developer, regulation which may limit the proposed development as well as standards or bonus regulations which may create opportunities for the developer. It is the intent of this section to provide for an exchange of general and preliminary information only and no statement by either the developer or the director shall be regarded as binding or authoritative for purposes of this code. A copy of this subsection shall be provided to the developer at the conference.
- (c) *Submission.* The developer shall submit to the director one copy of the completed permit application together with all supporting materials and the permit fee.
- (d) *Director's review procedure.*
  - (1) The director shall endeavor to determine whether the application accurately reflects the developer intentions, shall advise the applicant whether or not the application is acceptable and, if it is not, what corrective action may be taken.
  - (2) After accepting the application, the director shall schedule it for a hearing before the commission and shall give notice to the developer and the public in accordance with section 49.15.230.
  - (3) The director shall forward the application to the planning commission together with a report setting forth the director's recommendation for approval or denial, with or without conditions together with the reasons therefor. The director shall make those determinations specified in subsections (1)(A)–(1)(C) of subsection (e) of this section.
  - (4) Copies of the application or the relevant portions thereof shall be transmitted to interested agencies as specified on a list maintained by the director for that purpose. Referral agencies shall be invited to respond within 15 days unless an extension is requested and granted in writing for good cause by the director.
  - (5) Even if the proposed development complies with all the requirements of this title and all recommended conditions of approval, the director may nonetheless recommend denial of the application if it is found that the development:
    - (A) Will materially endanger the public health or safety;
    - (B) Will substantially decrease the value of or be out of harmony with property in the neighboring area; or
    - (C) Will not be in general conformity with the land use plan, thoroughfare plan, or other officially adopted plans.
- (e) *Review of director's determinations.*
  - (1) At the hearing on the conditional use permit, the planning commission shall review the director's report to consider:
    - (A) Whether the proposed use is appropriate according to the table of permissible uses;

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(Supp. No. 149)

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- (B) Whether the application is complete; and
  - (C) Whether the development as proposed will comply with the other requirements of this title.
- (2) The commission shall adopt the director's determination on each item set forth in paragraph (1) of this subsection (e) unless it finds, by a preponderance of the evidence, that the director's determination was in error, and states its reasoning for each finding with particularity.
- (f) *Commission determinations; standards.* Even if the commission adopts the director's determinations pursuant to subsection (e) of this section, it may nonetheless deny or condition the permit if it concludes, based upon its own independent review of the information submitted at the hearing, that the development will more probably than not:
- (1) Materially endanger the public health or safety;
  - (2) Substantially decrease the value of or be out of harmony with property in the neighboring area; or
  - (3) Lack general conformity with the comprehensive plan, thoroughfare plan, or other officially adopted plans.
- (g) *Specific conditions.* The commission may alter the director's proposed permit conditions, impose its own, or both. Conditions may include one or more of the following:
- (1) *Development schedule.* A reasonable time limit may be imposed on construction activity associated with the development, or any portion thereof, to minimize construction-related disruption to traffic and neighborhood, to ensure that development is not used or occupied prior to substantial completion of required public or quasi-public improvements, or to implement other requirements.
  - (2) *Use.* Use of the development may be restricted to that indicated in the application.
  - (3) *Owners' association.* The formation of an association or other agreement among developers, homeowners or merchants, or the creation of a special district may be required for the purpose of holding or maintaining common property.
  - (4) *Dedications.* Conveyance of title, easements, licenses, or other property interests to government entities, private or public utilities, owners' associations, or other common entities may be required.
  - (5) *Performance bonds.* The commission may require the posting of a bond or other surety or collateral approved as to form by the city attorney to guarantee the satisfactory completion of all improvements required by the commission. The instrument posted may provide for partial releases.
  - (6) *Commitment letter.* The commission may require a letter from a public utility or public agency legally committing it to serve the development if such service is required by the commission.
  - (7) *Covenants.* The commission may require the execution and recording of covenants, servitudes, or other instruments satisfactory in form to the city attorney as necessary to ensure permit compliance by future owners or occupants.
  - (8) *Revocation of permits.* The permit may be automatically revoked upon the occurrence of specified events. In such case, it shall be the sole responsibility of the owner to apply for a new permit. In other cases, any order revoking a permit shall state with particularity the grounds therefor and the requirements for reissuance. Compliance with such requirements shall be the sole criterion for reissuance.
  - (9) *Landslide and avalanche areas.* Development in landslide and avalanche areas, designated on the landslide and avalanche area maps dated September 9, 1987, consisting of sheets 1—8, as the same may be amended from time to time by assembly ordinance, shall minimize the risk to life and property.
  - (10) *Habitat.* Development in the following areas may be required to minimize environmental impact:

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(A) Developments in wetlands and intertidal areas.

- (11) *Sound*. Conditions may be imposed to discourage production of more than 65 dBa at the property line during the day or 55 dBa at night.
- (12) *Traffic mitigation*. Conditions may be imposed on development to mitigate existing or potential traffic problems on arterial or collector streets.
- (13) *Water access*. Conditions may be imposed to require dedication of public access easements to streams, lake shores and tidewater.
- (14) *Screening*. The commission may require construction of fencing or plantings to screen the development or portions thereof from public view.
- (15) *Lot size or development size*. Conditions may be imposed to limit lot size, the acreage to be developed or the total size of the development.
- (16) *Drainage*. Conditions may be imposed to improve on and off-site drainage over and above the minimum requirements of this title.
- (17) *Lighting*. Conditions may be imposed to control the type and extent of illumination.
- (18) *Other conditions*. Such other conditions as may be reasonably necessary pursuant to the standards listed in subsection (f) of this section.

(Serial No. 87-49, § 2, 1987; Serial No. 2006-15, § 2, 6-5-2006; Serial No. 2015-03(c)(am), § 9, 8-31-2015 ; Serial No. 2017-29, § 3, 1-8-2018, eff. 2-8-2018 )

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Attachment D – MIP25-08\_PAC25-22 Final Notes

Attachment B – NOD\_NCC25-62 Final Bundle

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# DEVELOPMENT PERMIT APPLICATION

**NOTE: Development Permit Application forms must accompany all other Community Development Department land use applications. This form and all documents associated with it are public record once submitted.**

To be completed by Applicant	<b>PROPERTY LOCATION</b>		
	Physical Address		
	Legal Description(s) (Subdivision, Survey, Block, Tract, Lot)		
	Parcel Number(s)		
	<input type="checkbox"/> This property is located in the downtown historic district <input type="checkbox"/> This property is located in a mapped hazard area, if so, which _____		
	<b>LANDOWNER/ LESSEE</b>		
	Property Owner	Contact Person	
	Mailing Address	Phone Number(s)	
	E-mail Address		
	<b>LANDOWNER/ LESSEE CONSENT</b>		
Required for Planning Permits, not needed on Building/ Engineering Permits. Consent is required of all landowners/ lessees. If submitted with the application, alternative written approval may be sufficient. Written approval must include the property location, landowner/ lessee's printed name, signature, and the applicant's name.			
I am (we are) the owner(s) or lessee(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for the City and Borough of Juneau officials/employees to inspect my property as needed for purposes of this application.			
_____		_____	
Landowner/Lessee (Printed Name)		Title (e.g.: Landowner, Lessee)	
X _____	_____	_____	
Landowner/Lessee (Signature)		Date	
_____		_____	
Landowner/Lessee (Printed Name)		Title (e.g.: Landowner, Lessee)	
X _____	_____	_____	
Landowner/Lessee (Signature)		Date	
NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours. We will make every effort to contact you in advance, but may need to access the property in your absence and in accordance with the consent above. Also, members of the Planning Commission may visit the property before a scheduled public hearing date.			
<b>APPLICANT</b>			
If same as LANDOWNER, write "SAME"			
Applicant (Printed Name)	Contact Person		
Mailing Address	Phone Number(s)		
E-mail Address			
X _____	_____	_____	
Applicant's Signature		Date of Application	

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

For assistance filling out this form, contact the Permit Center at 586-0770.

Intake Initials	
Case Number	Date Received



# ALLOWABLE/CONDITIONAL USE PERMIT APPLICATION

See reverse side for more information regarding the permitting process and the materials required for a complete application.

**NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.**

To be completed by Applicant

**PROJECT SUMMARY**

**TYPE OF ALLOWABLE OR CONDITIONAL USE PERMIT REQUESTED**  
 Accessory Apartment – Accessory Apartment Application (AAP)  
 Use Listed in 49.25.300 – Table of Permissible Uses (USE)  
 Table of Permissible Uses Category: \_\_\_\_\_

**IS THIS A MODIFICATION or EXTENSION OF AN EXISTING APPROVAL?**     YES – Case # \_\_\_\_\_     NO

**UTILITIES PROPOSED**      **WATER:**  Public  On Site      **SEWER:**  Public  On Site

**SITE AND BUILDING SPECIFICS**  
 Total Area of Lot \_\_\_\_\_ square feet      Total Area of Existing Structure(s) \_\_\_\_\_ square feet  
 Total Area of Proposed Structure(s) \_\_\_\_\_ square feet

**EXTERNAL LIGHTING**  
 Existing to remain       No       Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures  
 Proposed                       No       Yes – Provide fixture information, cutoff sheets, and location of lighting fixtures

**ALL REQUIRED DOCUMENTS ATTACHED**

**Narrative including:**  
 Current use of land or building(s)  
 Description of project, project site, circulation, traffic etc.  
 Proposed use of land or building(s)  
 How the proposed use complies with the Comprehensive Plan  
  
 **Plans including:**  
 Site plan  
 Floor plan(s)  
 Elevation view of existing and proposed buildings  
 Proposed vegetative cover  
 Existing and proposed parking areas and proposed traffic circulation  
 Existing physical features of the site (e.g.: drainage, habitat, and hazard areas)

*If this is a modification or extension include:*  
 Notice of Decision and case number  
 Justification for the modification or extension  
 Application submitted at least 30 days before expiration date

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

ALLOWABLE/CONDITIONAL USE FEES	Fees	Check No.	Receipt	Date
Application Fees	\$ _____			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
Pub. Not. Sign Fee	\$ _____			
Pub. Not. Sign Deposit	\$ _____			
<b>Total Fee</b>	<b>\$ _____</b>			

This form and all documents associated with it are public record once submitted.

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

For assistance filling out this form, contact the Permit Center at 586-0770.

Case Number	Date Received
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Attachment D – MIP25-08\_PAC25-22 Final Notes

### **Allowable/Conditional Use Permit Application Instructions**

Allowable Use permits are outlined in CBJ 49.15.320, Conditional Use permits are outline in CBJ 49.15.330

**Pre-Application Conference:** A pre-application conference is required prior to submitting an application. There is no fee for a pre-application conference. The applicant will meet with City & Borough of Juneau and Agency staff to discuss the proposed development, the permit procedure, and to determine the application fees. To schedule a pre-application conference, please contact the Permit Center at 586-0770 or via e-mail at [permits@juneau.org](mailto:permits@juneau.org).

**Application:** An application for an Allowable/Conditional Use Permit will not be accepted by the Community Development Department until it is determined to be complete. The items needed for a complete application are:

1. **Forms:** Completed Allowable/Conditional Use Permit Application and Development Permit Application forms.
2. **Fees:** Fees generally range from \$350 to \$1,600. Any development, work, or use done without a permit issued will be subject to double fees. All fees are subject to change.
3. **Project Narrative:** A detailed narrative describing the project.
4. **Plans:** All plans are to be drawn to scale and clearly show the items listed below:
  - A. Site plan, floor plan and elevation views of existing and proposed structures
  - B. Existing and proposed parking areas, including dimensions of the spaces, aisle width and driveway entrances
  - C. Proposed traffic circulation within the site including access/egress points and traffic control devices
  - D. Existing and proposed lighting (including cut sheets for each type of lighting)
  - E. Existing and proposed vegetation with location, area, height and type of plantings
  - F. Existing physical features of the site (i.e. drainage, eagle trees, hazard areas, salmon streams, wetlands, etc.)

**Document Format:** All materials submitted as part of an application shall be submitted in either of the following formats:

1. Electronic copies in the following formats: .doc, .txt, .xls, .bmp, .pdf, .jpg, .gif, .xlm, .rtf (other formats may be preapproved by the Community Development Department).
2. Paper copies 11" X 17" or smaller (larger paper size may be preapproved by the Community Development Department).

**Application Review & Hearing Procedure:** Once the application is determined to be complete, the Community Development Department will initiate the review and scheduling of the application. This process includes:

**Review:** As part of the review process the Community Development Department will evaluate the application for consistency with all applicable City & Borough of Juneau codes and adopted plans. Depending on unique characteristics of the permit request the application may be required to be reviewed by other municipal boards and committees. During this review period, the Community Development Department also sends all applications out for a 15-day agency review period. Review comments may require the applicant to provide additional information, clarification, or submit modifications/alterations for the proposed project.

**Hearing:** All Allowable/Conditional Use Permit Applications must be reviewed by the Planning Commission for vote. Once an application has been deemed complete and has been reviewed by all applicable parties the Community Development Department will schedule the requested permit for the next appropriate meeting.

**Public Notice Responsibilities:** Allowable/Conditional Use requests must be given proper public notice as outlined in CBJ 49.15.230:

**The Community Development Department** will give notice of the pending Planning Commission meeting and its agenda in the local newspaper a minimum of 10-days prior to the meeting. Furthermore, CDD will mail notices to all property owners within 500-feet of the project site.

**The Applicant** will post a sign on the site at least 14 days prior to the meeting. The sign shall be visible from a public right-of-way or where determined appropriate by CDD. Signs may be produced by the Community Development Department for a preparation fee of \$50, and a \$100 deposit that will be refunded in full if the sign is returned within seven days of the scheduled hearing date. If the sign is returned between eight and 14 days of the scheduled hearing \$50 may be refunded. The Applicant may make and erect their own sign. Please contact the Community Development Department for more information.

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### **INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**



# SUBDIVISION AND DEVELOPMENT PLAN APPLICATION

See subdivision hand-outs for more information regarding the permitting process and the materials required for a complete application.

**NOTE: Must be accompanied by a DEVELOPMENT PERMIT APPLICATION form.**

To be completed by Applicant	<b>PROJECT SUMMARY</b>		
	Number of Existing Parcels _____	Total Land Area _____	
	Number of Resulting Parcels _____		
	<b>HAS THE PARCEL BEEN CREATED BY A MINOR SUBDIVISION IN THE PRECEDING 24 MONTHS</b>		
NO _____ YES Case Number _____			
<b>TYPE OF SUBDIVISION OR PLATTING APPROVAL REQUESTED</b>			
<table style="width: 100%; border: none;"> <tr> <td style="width: 50%; text-align: center;"><b>MINOR DEVELOPMENT</b> (changing or creating 13 or fewer lots)</td> <td style="width: 50%; text-align: center;"><b>MAJOR DEVELOPMENT</b> (changing or creating 14 or more lots)</td> </tr> </table>		<b>MINOR DEVELOPMENT</b> (changing or creating 13 or fewer lots)	<b>MAJOR DEVELOPMENT</b> (changing or creating 14 or more lots)
<b>MINOR DEVELOPMENT</b> (changing or creating 13 or fewer lots)	<b>MAJOR DEVELOPMENT</b> (changing or creating 14 or more lots)		
<table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <input type="radio"/> Preliminary Plat (MIP)  <input type="radio"/> Final Plat (MIF)  <input type="radio"/> Panhandle Subdivision  <input type="radio"/> Accretion Survey  <input type="radio"/> Boundary Adjustment  <input type="radio"/> Lot Consolidation (SLC)  <input type="radio"/> Bungalow Lot Subdivision  <input type="radio"/> Common Wall/Zero Lot Subdivision  <input type="radio"/> Other _____         </td> <td style="width: 50%; vertical-align: top;"> <input type="radio"/> Preliminary Plat (SMP)  <input type="radio"/> Final Plat (SMF)  <input type="radio"/> Preliminary Development Plan – PUD (PDP)  <input type="radio"/> Final Development Plan – PUD (PDF) Preliminary  <input type="radio"/> Development Plan – ARS (ARP) Final  <input type="radio"/> Development Plan – ARS (ARF)  <input type="radio"/> Bungalow Lot Subdivision  <input type="radio"/> Common Wall/Zero Lot Subdivision  <input type="radio"/> Other _____         </td> </tr> </table>		<input type="radio"/> Preliminary Plat (MIP) <input type="radio"/> Final Plat (MIF) <input type="radio"/> Panhandle Subdivision <input type="radio"/> Accretion Survey <input type="radio"/> Boundary Adjustment <input type="radio"/> Lot Consolidation (SLC) <input type="radio"/> Bungalow Lot Subdivision <input type="radio"/> Common Wall/Zero Lot Subdivision <input type="radio"/> Other _____	<input type="radio"/> Preliminary Plat (SMP) <input type="radio"/> Final Plat (SMF) <input type="radio"/> Preliminary Development Plan – PUD (PDP) <input type="radio"/> Final Development Plan – PUD (PDF) Preliminary <input type="radio"/> Development Plan – ARS (ARP) Final <input type="radio"/> Development Plan – ARS (ARF) <input type="radio"/> Bungalow Lot Subdivision <input type="radio"/> Common Wall/Zero Lot Subdivision <input type="radio"/> Other _____
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<b>ALL REQUIRED DOCUMENTS ATTACHED</b>			
<input type="checkbox"/> Pre-application conference notes <input type="checkbox"/> Narrative including: <ul style="list-style-type: none"> <li><input type="checkbox"/> Legal description(s) of property to be subdivided</li> <li><input type="checkbox"/> Existing structures on the land</li> <li><input type="checkbox"/> Zoning district</li> <li><input type="checkbox"/> Density</li> <li><input type="checkbox"/> Access</li> <li><input type="checkbox"/> Current and proposed use of any structures</li> <li><input type="checkbox"/> Utilities available</li> <li><input type="checkbox"/> Unique characteristics of the land or structure(s)</li> </ul> <input type="checkbox"/> Preliminary Plat checklist			

-----DEPARTMENT USE ONLY BELOW THIS LINE-----

SUBDIVISION/PLATTING FEES	Fees	Check No.	Receipt	Date
Application Fees	\$ _____			
Admin. of Guarantee	\$ _____			
Adjustment	\$ _____			
<b>Total Fee</b>	<b>\$ _____</b>			

For assistance filling out this form, contact the Permit Center at 586-0770.

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

Case Number	Date Received
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Attachment D – MIP25-08\_PAC25-22 Final Notes

Attachment B – NOD\_NCC25-62 Final Bundle



## PRELIMINARY PLAT CHECK LIST

Name of Proposed Subdivision: \_\_\_\_\_

The following items must be included with the initial submittal of a Preliminary Plat:

- Application, filled out completely
- Project Narrative
- Pre-application Conference Report
- Disclosure of all known environmental hazards and any proposed mitigation measures recommended in the applicable environmental document.
- Preliminary Plat Checklist: I have reviewed the checklist and all submittals for completeness and accuracy.
- Application fee (see fee schedule)
- ~~Five (5) – 24" by 36" Copies~~ (1) full size (24x36) PDF original of plat.
- Lot Closure Report

\_\_\_\_\_  
Applicant or Surveyor - Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Applicant or Surveyor - Print Name

### GENERAL REQUIREMENTS

- The preliminary plat shall be prepared by a professional land surveyor, registered in the State of Alaska
- The preliminary plat shall be submitted on 22 by 34 inch sheets. The director of engineering and public works may approve alternate sheet sizes
- The preliminary plat shall be drawn with black ink to a scale of one-inch to 100 feet or less, or other suitable scale approved by the director of engineering and public works
- The preliminary plat shall be oriented with north toward the top of the sheet.
- A vicinity map shall be located in the upper right-hand corner of the sheet
- The vicinity map shall be oriented in the same direction as the plat
- A suitable north arrow shall be shown for the plat and vicinity map
- All line work and lettering must be of professional quality, and all line widths and lettering sizes must be of such size that all information can be clearly shown without overlap or confusion

### GRAPHIC REQUIREMENTS - A preliminary plat shall contain the following information:

**Title block** - An enclosed title block in the lower right-hand corner containing the following information:

- The proposed name of the subdivision
- The legal description of the parcel to be subdivided including U.S. Survey, U.S. Mineral Survey, A.T.S. number or section, township, and range number, as applicable
- "City and Borough of Juneau, Alaska"
- "State Recorder's Office at Juneau"
- The date the preliminary plat was prepared and revised
- The horizontal scale
- The name and address of the owner of record
- The name, address, and telephone number of the surveyor preparing the preliminary plat

Attachment D – MIP25-08\_PAC25-22 Final Notes

**Lot, block, and street information:**

- The area of each lot
- The dimensions in feet and hundredths of a foot
- An identifying number and letter for lots and blocks
- Lots numbered consecutively, commencing with the number "1," with no omissions or duplications
- If the remainder of an original parcel being subdivided is relatively large, it shall be designated as a "tract" with an identifying number
- All parcels of land intended to be dedicated for public use or reserved for the use of all of the property owners in the proposed subdivision shall be shown as lots, and consecutively numbered. The purpose and any conditions or limitations on the use of the parcel shall be noted on the plat
- Abutting properties shall be shown with dashed lines, numbers, and/or letters
- For resubdivisions or public way vacations, the lines and legal description of the previous lots shall be shown with light dashed lines, numbers, and/or letters, or by a separate plat on the same sheet showing the previous lot lines
  - The minimum data shown for each curve shall be as follows:
    - Length
    - Central angle
    - Radius
    - Bearing and distance of long chord
  - Setbacks shall be shown on all corner lots and any lots with multiple frontage. Setbacks shall be shown on typical lots

**Boundary lines:**

- All boundary lines of the subdivision with bearings and distances described
- All retraced boundary lines shall show record and measured bearings and distances where they differ. Record dimension information shall be shown within parentheses and include a record source identification
- The exterior boundary lines of the subdivision shall be a solid black opaque line that is of a width that distinguishes it from all other property lines shown on the plat
- If phasing is proposed, then the boundaries and number of each phase, sequential lot numbering, and a subdivision name consistent with previous phases shall be shown

**Monumentation:**

- The monuments used to establish the basis of bearing
- Each monument found or set shall be identified on the plat by a symbol
- A complete description of the monument, including type and all information printed on the cap. A typical drawing shall be shown for each type of monument cap set
- A legend showing the symbols for all the types of monuments
- The identification, description location, elevation, and datum of the benchmark used to establish vertical control

**Site access, circulation, and utilities:**

- The widths and names of existing rights-of-way within the subdivision and within 100 feet of the subdivision boundary
- Proposed rights-of-way, including their widths and proposed names
- The grades of existing and proposed streets within these rights-of-way
- The width, ownership, use, and record reference of all proposed and existing easements within the subdivision and within 100 feet of the subdivision boundary
- The width, ownership, and use of all proposed easements

Preliminary Plat Checklist

Updated 1/2018

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- All proposed and existing easements shall have sufficient dimensions shown to determine their location on the ground
- Existing trails or pathways within the subdivision and within 100 feet of the subdivision boundary, including the width of any associated rights-of way or easements
- Proposed trails or pathways and widths of their rights-of-way
- If the plat submitted covers only a part of the tract under the control of the applicant, a sketch plat of the prospective street system of the unplatted part shall be submitted
- The location of any existing or proposed driveways/curb cuts that access or are proposed to access any existing or proposed street

**Topographic information:**

- For slopes of less than five percent, show one foot contour lines and include spot elevations at all breaks in grade, along all drainage channels or swales, and at selected points not more than 100 feet apart in all directions
- For slopes between five percent and ten percent, show two foot contour lines
- For slopes greater than ten percent, show five foot contour lines
- Every fifth elevation contour shall be distinctive and clearly labeled
- Dashed lines shall represent existing contours
- Mapping shall include any significant features which can materially affect the design of the subdivision, including, but not limited to, structures, fences, walls, and utility poles
- If irregular slopes or special features are present, additional contour information may be required by the director of engineering and public works for planning or construction purposes. Additional required information may include projecting the topography of the site after grading has taken place, showing such items as:
  - Pad elevations and drainage patterns for each lot
  - Tops and toes of all manufactured slopes, including daylight lines
  - Existing and proposed retaining wall locations and heights
- For subdivisions located in hillside areas with slopes greater than eighteen percent, additional requirements apply in accordance with CBJ 49.70, Article II

**Sewer and water:**

- Existing sewer and water mains within the tract with pipe sizes and grades
- A draft plan for proposed water and sewer lines showing the size, approximate slope, and connection points with elevations for the purpose of determining the feasibility of construction

**Multisheet plats:**

- When a plat requires more than one sheet, exclusive of a certificate sheet, an index sheet shall be included. When a plat requires more than three sheets, a cover sheet shall also be included, showing the subdivision title, a key map, and all certificates. Each additional sheet shall include the following data:
  - North arrow
  - Legend
  - Surveyor's seal and signature
  - Title block
  - Sheet \_\_\_\_\_ of \_\_\_\_\_
  - Scale
  - All plat notes
  - Vicinity map

I:\FORMS\PLANFORM\Subdivision Preliminary Plat Checklist to accompany application 2018.docx

Attachment D – MIP25-08\_PAC25-22 Final Notes

Attachment B – NOD\_NCC25-62 Final Bundle

**ADDITIONAL MAPPING OR REPORTS-** *At the pre-application meeting, it will be determined if any of the following additional mapping or reports are required to be submitted with the preliminary plat. If required, the following additional mapping or reports shall be submitted:*

**Hazard and Special Habitat Areas:**

- Any portion of a special flood hazard area, landslide or avalanche area, habitat area as defined by CBJ 49.70.310, or watersheds, either existing at the proposed subdivision site or shown on the overlay maps, adopted pursuant to this title, to exist at the proposed subdivision site, must be depicted on the preliminary plat
- The boundaries of any wetland areas must be depicted on the preliminary plat. Boundaries must be determined by a person qualified to perform wetland delineations

**Soils report:**

- A soils report prepared by an engineer licensed by the State of Alaska shall be required if the proposed subdivision is located farther from the existing public sewer system than specified in CBJ 49.35, and the applicant chooses to provide on-lot waste disposal rather than to connect to the public system. A soils report shall include the following:
  - Certification that the proposed lots are large enough and have soil of sufficient permeability to permit the construction of approved waste treatment systems for on-lot waste disposal
  - The location and size of drain fields for each lot
  - The locations and logs of test borings, percolation test results, and a hydrological evaluation of on-site sewage disposal
  - If the soils report indicates that the soils found on the site are not of sufficient permeability or the lots are not large enough to permit the construction of systems for on-lot waste disposal, the size of the proposed lots must be increased or alternate methods for waste disposal proposed
  - The soils report shall describe the nature of the subsurface soils and any soil conditions that would affect the design of the proposed development. The soils report shall state whether the proposed subdivision plan is feasible and provide general solutions for all known geotechnical conditions or problems

**Drainage report:**

- A preliminary report specifying the method by which the applicant proposes to manage surface and subsurface drainage for the subdivision and the effect of such method on adjacent areas. Unlike the drainage plan required by CBJ 49.35.510, the preliminary drainage report does not need to be prepared by a licensed engineer. The report must address the following:
  - A calculation of the increase in stormwater runoff resulting from the proposed development as well as the runoff from all drainage areas associated with the site. Runoff calculations shall be based on a fully-developed subdivision and a 25-year storm event
  - How drainage from the proposed subdivision will join an established drainage channel or channels, unless the director of engineering and public works approves use of an alternative drainage way
  - An evaluation of existing drainage ways and structures located between the subdivision and the receiving water body, and verification that the existing drainage ways can accommodate the increased runoff. If the increased runoff cannot be handled, the plan must propose solutions to the problem
  - All required improvements, on or off site, that are shown on the construction plans in accordance with CBJ 49.35, Article V, and that will be constructed as part of the subdivision

**Water:**

- For subdivisions of five or more lots, including major subdivisions, the following shall be included, where applicable, in accordance with CBJ 49.15.412:
  - If a proposed subdivision is located at greater distance from the existing public water system than specified in CBJ 49.35, Article III, and the applicant chooses not to connect to the public system, a statement that the applicant will provide a community water system or that individual wells will be used

Preliminary Plat Checklist

Updated 1/2018

Page 5 of 5

- A report by a registered engineer or geologist that clearly supports the legal and physical availability of adequate water. Methods for proof of water availability and the standards for quantity are listed in CBJ 49.35, Article III
- A copy of the State application for a permit to appropriate water in the quantity required to meet the subdivisions demands
- This does not apply to remote subdivisions unless: the subdivider of the remote subdivision chooses to provide potable water, a public water system is available and the subdivision falls within the criteria outlined in CBJ 49.35.310(a), or the subdivision has four or fewer lots.
- The director for minor subdivisions, and the planning commission for major subdivisions, may, for good cause, temporarily waive the requirement to provide a water report and proof of water, and condition the approval of the preliminary plat upon the provision of both documents as part of the final plat application and approval process.

**Erosion control:**

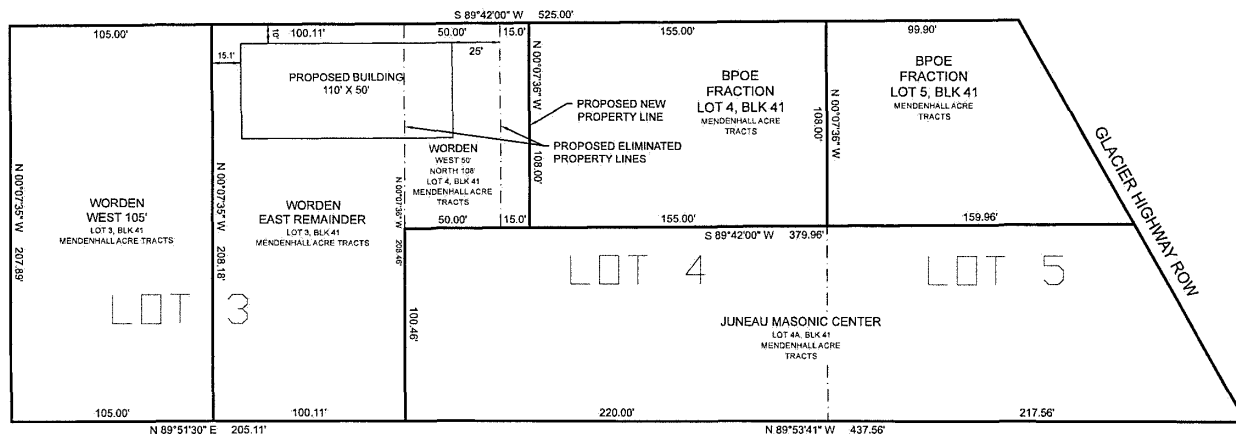
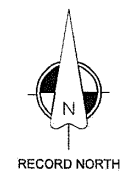
- A report explaining the method by which the applicant proposes to control erosion and manage runoff, and potential impacts to adjacent properties or water bodies. The report shall include a plan for preservation of ground cover in areas where runoff and resulting erosion need to be minimized.

**Traffic study:**

- A traffic impact analysis may be required with the preliminary plat in accordance with CBJ 49.40.300.

**Shadow plats:**

- For subdivisions of five or more lots in transition areas, a shadow plat shall be submitted according to CBJ 49.70.710. The shadow plat shall consist of a sketch superimposed on the proposed subdivision layout. This sketch shall reflect any future resubdivision of the parcels into smaller lots consistent with the higher density and the lot size allowed under the transition zoning.

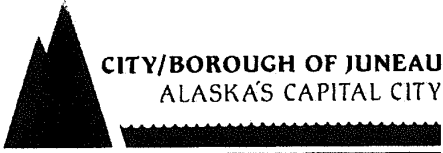


A SKETCH OF  
**LOTS 3, 4 AND 5**  
 BLOCK 41, MENDENALL ACRE TRACTS  
 JUNEAU RECORDING DISTRICT

**SHOWING A PROPOSED PROPERTY LINE REPLAT/SUBDIVISION**

NOTE: NO FIELD SURVEY WAS PERFORMED IN PREPARATION OF THIS SKETCH  
 ALL DIMENSIONS ARE APPROXIMATE AND HAVE NOT BEEN FIELD VERIFIED.  
 SCALE: 1" = 50' WHEN PRINTED TO SIZE ON 11X17 PAPER

Attachment E – Proposed Project



**CITY/BOROUGH OF JUNEAU**  
ALASKA'S CAPITAL CITY

**PLANNING COMMISSION  
NOTICE OF DECISION**

Date: September 13, 2006

File No.: USE2006-00045

Worden Homes, Inc.  
P.O. Box 32884  
Juneau, AK 99803

Application For: Conditional Use permit for a new 9,000 square foot, 9-unit storage condo building with one residential dwelling unit.

Legal Description: Mendenhall Acres BL 41 LT 3 FR

Parcel Code No.: 5-B16-0-114-006-0

Hearing Date: September 12, 2006

The Planning Commission, at its regular public meeting, adopted the analysis and findings listed in the attached memorandum dated September 5, 2006 and approved the storage condominium development to be conducted as described in the project description and project drawing submitted with the application and with the following conditions:

Advisory Conditions:

- 1) A Certificate of Elevation showing that the lowest floor of the proposed structure is elevated to or above the level of the base flood elevation, or otherwise meeting the requirements of CBJ §49.70.400(e), will be required as a condition of the building permit for the proposed structure.
- 2) A lighting plan meeting the requirements of CBJ §49.40.230(d) and 04 CBJAC 050.020(b) must be submitted prior to approval of the building permit for the subject structure.

Enforceable Conditions:

- 3) The following signs, shown in Attachment D, must be installed prior to issuance of a Certificate of Occupancy for the structure. The applicant may choose to reverse the direction of traffic circulation at their discretion. In this case, the signs listed below and shown in Attachment D should be installed in reverse order/direction, as approved by Community Development Department staff.
  - (A) "One-way" traffic signs at the following locations:
    - At entrance to drive aisle at north end of structure;
    - At south exit from drive aisle at west (rear) of structure;
    - At east exit from drive aisle at south of structure; and
    - In at least one location on east side of structure where visible to vehicles entering the site, indicated on Attachment D as being in one of three possible locations; and
  - (B) One "No Right-Turn" sign at northwest corner of site, on north property line; and
  - (C) One "Do Not Enter" sign on south end of east side of structure
- 4) The access easement must be widened from 15' to 20' prior to issuance of a building permit for the subject structure.

155 So. Seward Street, Juneau, Alaska 99801-1397

Attachment F – NOD\_USE06-45

Worden Homes, Inc.  
File No.: USE2006-00045  
September 13, 2006  
Page 2 of 2

- 5) A fire protection agreement must be obtained from the owner of Mendenhall Acres Block 41 Lot 4 & Fraction of Lot 5, APN 5-B16-0-114-003-0, so that CCFR can use First Street for access to the subject property, prior to issuance of a building permit for the subject structure.
- 6) A 15'-20' wide gate must be constructed at end of First Street along the common property line between the subject property and Mendenhall Acres Block 41 Lot 4 & Fraction of Lot 5, APN 5-B16-0-114-003-0, so that CCFR can use First Street for access to the subject property, prior to issuance of a Temporary Certificate of Occupancy for the subject structure. Plans for this gate must be reviewed and approved with the building permit for the subject structure.

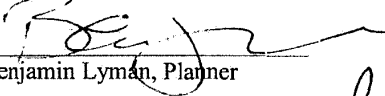
Attachments: September 5, 2006 memorandum from Benjamin Lyman, Planner, Community Development to the CBJ Planning Commission regarding USE2006-00045.

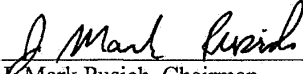
This Notice of Decision does not authorize construction activity. Prior to starting development, it is the applicant's responsibility to obtain a building permit for any improvements requiring such.

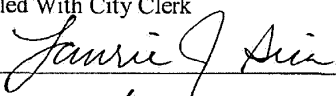

This Notice of Decision constitutes a final decision of the CBJ Planning Commission. Appeals must be brought to the CBJ Assembly in accordance with CBJ §01.50.030. Appeals must be filed by 4:30 P.M. on the day twenty days from the date the decision is filed with the City Clerk, pursuant to CBJ §01.50.030 (c). Any action by the applicant in reliance on the decision of the Commission shall be at the risk that the decision may be reversed on appeal (Sec. 49.20.120).

Effective Date: The permit is effective upon approval by the Commission, September 12, 2006.

Expiration Date: The permit will expire 18 months after the effective date, or March 12, 2007, if no Building Permit has been issued and substantial construction progress has not been made in accordance with the plans for which the development permit was authorized. Application for permit extension must be submitted thirty days prior to the expiration date.

Project Planner:   
Benjamin Lyman, Planner

  
J. Mark Pusich, Chairman  
Planning Commission

Filed With City Clerk  
  
9/13/2006 

cc: Plan Review

**NOTE:** The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this development project. ADA regulations have access requirements above and beyond CBJ - adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center 1 (800) 949-4232, or fax (360) 438-3208.

Attachment F – NOD\_USE06-45



(907) 586-0715  
CDD\_Admin@juneau.org  
www.juneau.org/community-development  
155 S. Seward Street • Juneau, AK 99801

**October 15, 2025**

**MEMORANDUM**

**To:** Rob Worden, Owner  
**From:** City & Borough of Juneau, David Matthew Peterson, Planner II  
**Case Number:** MIP2025-0008  
**Legal Description:** LOT 3 AND FRACTIONS OF LOTS 4 AND 5 BLOCK 41, MENDENHALL ACRES SUBDIVISION  
**Parcel No.:** 5B1601140050; 5B1601140020

**Round 1 Comments from City and Borough of Juneau Community Development.**

The following consolidated review comments should be addressed prior to the plat being approved for preliminary plat approval/as a condition of preliminary plat approval. A further review of the preliminary plat may result in additional comments if new issues arise from changes made to the draft plat reviewed for this memorandum.

**Fire**

1. Include emergency turnaround access on lot 3A.

**Zoning**

1. Replace PAC25-22 with case number MIP2025-0008.

**Cartography**

1. Label adjacent lots 9, 10, and 11.

Attachment G – MIP25-8 – Review Comments

Attachment B – NOD\_NCC25-62 Final Bundle

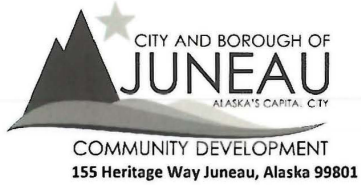
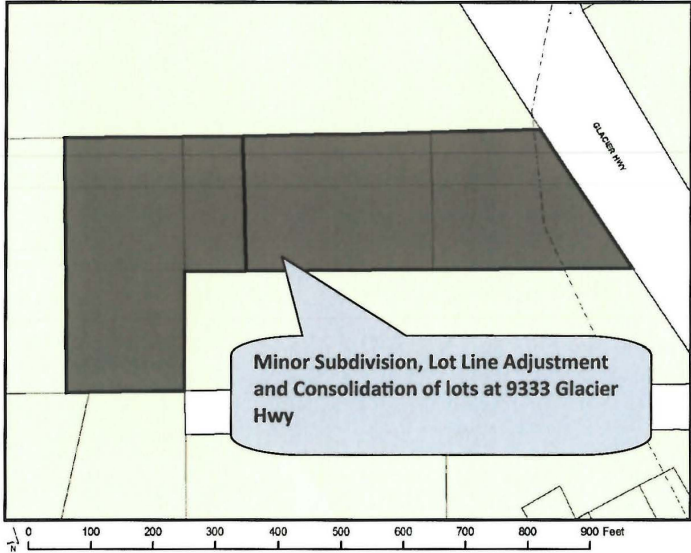
Rob Worden  
File No.: MIP2025-0008  
October 15, 2025 Page 2 of 2

2. Show property line between lots 7 and 8 and label lots.
3. Show property line between Lot 1, Block 44 and Lot 1A, Block 45, and label Lot 1, Block 44.
4. Remove the underlines from LOT 4A and FIRST STREET. Only underline the lots associated with the subdivision.
5. Move the "METERS" label closer to the 40 in the scale bar.
6. On Lot 4B, revise "APPROX" to "APPROX".

Attachment G – MIP25-8 – Review Comments

Attachment B – NOD\_NCC25-62 Final Bundle

# Public Notification



TO

An application is being reviewed by the Community Development Department. **Applicant requests approval of a minor subdivision lot line adjustment and consolidation of lots, thereby reducing five lots into three reconfigured lots at 9333 Glacier Hwy in a Light Commercial zone.**

**PLEASE NOTE:**

- ◆ This application is being reviewed for consistency with applicable CBJ codes and regulations before approval including lot minimum dimensions, access, drainage, utilities etc. You are welcome to provide comments, concerns or information that may help this review.
- ◆ This notice has been mailed to property owners abutting to the property.
- ◆ This project does not require a public hearing by the Planning Commission. If an application is submitted for further development of the parcel that requires Planning Commission approval, public notice will be provided, and there will be opportunity for public comment and input.

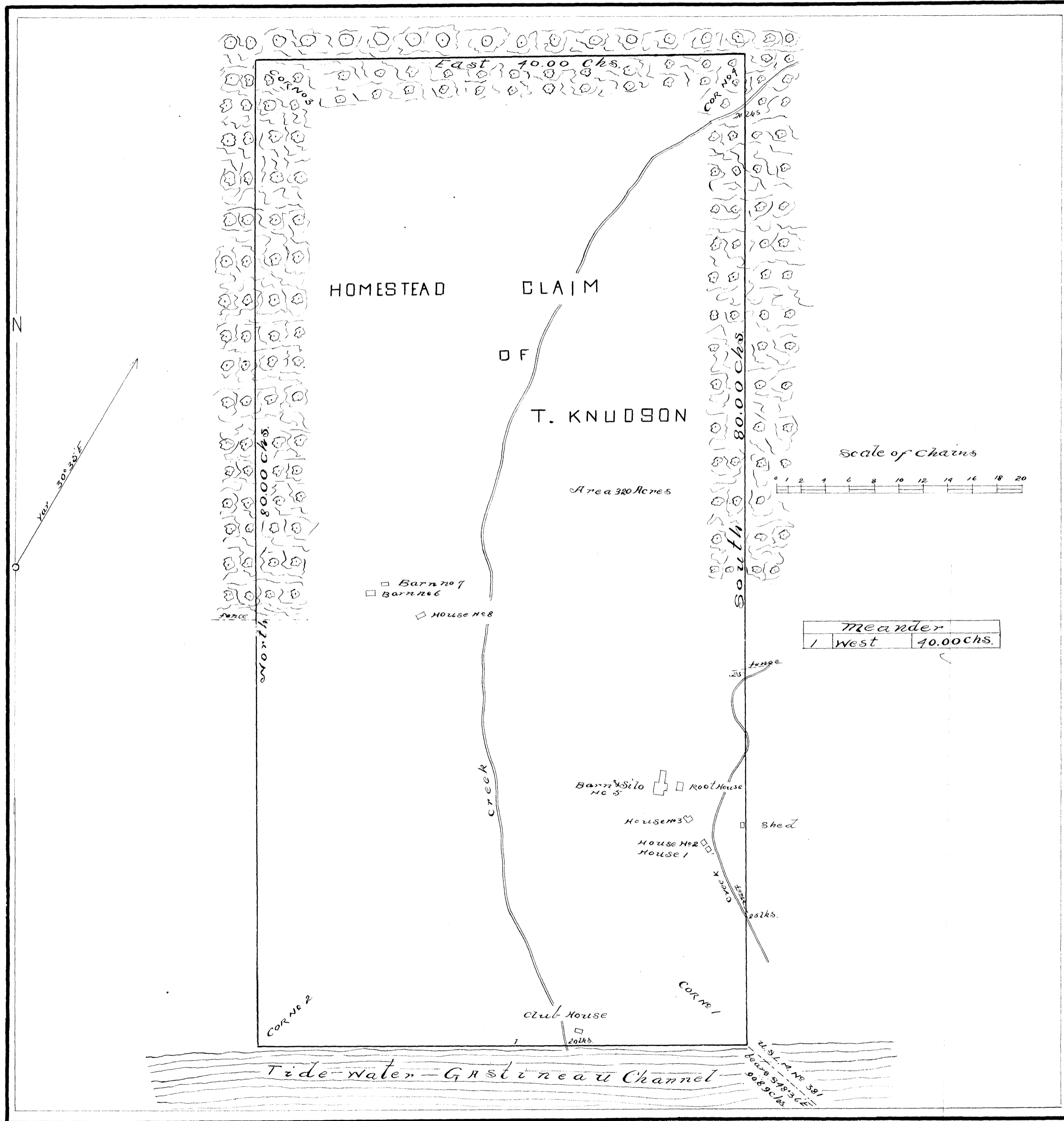
**Questions or comments? Contact David Peterson**

Email: [David.Peterson@juneau.gov](mailto:David.Peterson@juneau.gov)  
Phone: (907)586-0753 ext. 4132

Date printed: October 13, 2025 Sent to: Abutting owners

Case No.: MIP2025 0008  
Parcel Nos.: 5B1601140050 & 5B1601140020  
CBJ Parcel Viewer: <http://epv.juneau.org>

Attachment H – MIP25-08 – Public Notice\_Abutters



**FLAT**  
OF  
**U. S. SURVEY NO. 381**  
OF THE  
**HOMESTEAD CLAIM**  
UNDER ACT OF MAY 14, 1896  
As amended by Act of March 3, 1903.  
**T. KNUDSON**  
SITUATE  
*On Gastineau Channel*  
*opposite North end of Douglas Island*  
DISTRICT OF ALASKA

SCALE OF *SIX* CHS. TO INCH  
VARIATION *30° 35'* EAST  
AREA *320* ACRES

AS  
SURVEYED BY  
**C. E. DAVIDSON**  
U. S. DEPUTY SURVEYOR  
*August 16-20, 1903*

The original field notes of the survey of the homestead claim of T. Knudson from which this plat has been made have been examined and approved, and are on file in this office; and I hereby certify that they furnish such an accurate description of said claim as will, if incorporated into a patent, serve fully to identify the premises, and that such reference is made therein to natural objects and permanent monuments as will perpetuate and fix the locus thereof.

And I further certify that this is a correct plat of said claim, made in conformity with said original field notes of the survey thereof. And the same is hereby approved.

SURVEYOR GENERAL'S OFFICE  
Sitka, Alaska, *May 18,* 190*7.*

*M. L. Davidson*  
Surveyor General of the District of Alaska.

**CERTIFICATE OF DEPUTY SURVEYOR.**

I, \_\_\_\_\_ U. S. Deputy Surveyor for Alaska, do hereby certify that this is a true and correct plat of a tract of \_\_\_\_\_ acres of land claimed for entry

and in accordance with accompanying field notes of the survey of the same made by me,

\_\_\_\_\_  
U. S. Deputy Surveyor.

*Vol 48 p 68*

3 PM  
April 12  
Thurs.

6491

5B1601140050  
9329 GLACIER HWY  
9331 GLACIER HWY  
BL: 41 LT 3 FR 4 FR  
SUB: MENDENHALL ACRES

~~EXEMPTION~~  
1182

REMARKS: 8-11-80 - NC EA

8-21-82 NC GR Not MKR - Intake work -

9-13-82 Change off page 14

7-5-84 NC GR

7-25-84 NC GR

7-21-86 NC GR

8-7-87 NC GR

91- House in run down condition -

92- Do not Increase House value without checking with mt

9/17/91 Install Pellet stove BP# 7872

12-1-92 LDH Remeasured P Very poor condition est value \$8000

11/95 JL BP- Replace Garage/Carport - Add Bath

12/5/95 JL Exterior/Remeasured - Added P Carport (Dirt Floor) - Photo -  
Part/ Living Addition - Interior is open stud w/ Insulation - mount on 2x6  
new windows part + new windows inside ready to install, 12/96 for Fin

12-16-96 INC 35% P

11/5/99 JL Exterior/ open stud interior - vinyl siding - 12/91

1/4/2000 JL no significant change - For Sale ReMax

8-14-01 JL Exterior/Remeasured - total remodeled in process - sketched - no flooring on results, then

12-11-02 Remodel done

02/04/05 NALC, BP New Shop + Apt above, measure, Photo, Section 1, page 4, Photo JS

11/03/05 NAC, Photo, BK

11/28/06 JL New Boat Stg Bldg - 2 walls up - 12/06 - 5B160 1140060 - Folder

4/12/07 two pr appeal. concern is no road access except  
Thru Easement w/ valley point to property, ✓ SFH is  
Avg condition for age roof needs cleaning adjust site  
value to \$9.00 SF 11,108 JS

12/17/07 BP(2) Boat - appears complete JS

9/7/12 CARP. DET GAR (WAREHOUSE) w/ apt cost calculated in comm est. and added to MKR resolve  
AS OUTBLDG. UPDATED SKETCH, PHOTOS, COST. DES / 4-8-16 Appeal - mg

**GRADE EACH COMPONENT / NUMBER COMPONENTS**

MISC. STRUC.	Item No.	Area or Quantity	Unit Cost	Total	Unit Cost	81 Total	Unit Cost	82 Total	Unit Cost	83 Total	Unit Cost	84 Total
Size	10x20	200'	6.70	1340		1340						
Foundation											6.30	1,260
Floor	CC											
Exterior												
Roof	Metal											
Interior				1340				1340		1340		
Insulation				X1.20		1.30		X1.40		1.51		1.07
Heat, Type				16.08		17.42		18.76		20.23		13.48
Electrical			17/24		14/25.5		19/27		20/22.5	0-II	21/20	
Plumbing												
Porch												
Steps												
Other			76		71.5		73		71.5		.10	
Year Built	1963			1,222		1,298		1,369		1,447		1,341

MISC. STRUC.	Item No.	Area or Quantity	Unit Cost	Total	Unit Cost	81 Total	Unit Cost	82 Total	Unit Cost	83 Total	Unit Cost	84 Total
Size	8x8	64'	6.84	384		384	7.00	448			10.50	672
Foundation	wood											
Floor												
Exterior												
Roof	Fiberglass			384						448		
Interior				X1.20		1.30		X1.40		1.51		1.07
Insulation				46.1		49.9		62.7		66.4		71.9
Heat, Type			9/34		10/32.5		11/41		12/44		13/47	
Electrical												
Plumbing												
Porch												
Steps			66		62.5		59		56		.10	
Other				304		312		370		372		71
Year Built												

MISC. STRUC.	Item No.	Area or Quantity	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total
Size		Carport 200'		1260								
Foundation	Shed	64'		672								
Floor												
Exterior												
Roof				1,932								
Interior				902 x 10 - non								
Insulation												
Heat, Type				1.93								
Electrical			15/22									
Plumbing			x75									
Porch												
Steps												
Other				157								
Year Built												

MISC. STRUC.	Item No.	Area or Quantity	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total
Size												
Foundation												
Floor												
Exterior												
Roof												
Interior												
Insulation												
Heat, Type												
Electrical												
Plumbing												
Porch												
Steps												
Other												
Year Built												

13. YARD IMPRS.	Size	Unit Cost	Factor	Depr.	Total	Unit Cost	Factor	Depr.	Total	Unit Cost	Factor	Depr.	Total	Unit Cost	Factor	Depr.	Total
Water																	
Sewer																	
Cistern																	
Driveway																	
Sidewalk																	
Sidewalk																	
Patio																	
Fence																	
Fence																	
Ret. Wall																	
Ret. Wall																	
Risers																	

BUILDING PERMITS		
No.	Date	Genl. Descrp.
No.	Date	Genl. Descrp.
No.	Date	Genl. Descrp.
No.	Date	Genl. Descrp.
No.	Date	Genl. Descrp.
No.	Date	Genl. Descrp.

Parcel No. 5-1-452-041-F34-0381

Size: Area: .6 acre = 26136

Use Code: R001

Use Zone: R-7

General Land Description:

Land Use:

Appraisal Year	19__		19__		19__		19__		19__	
INFLUENCES:	PLUS	MINUS	PLUS	MINUS	PLUS	MINUS	PLUS	MINUS	PLUS	MINUS
Depth										
Topography										
Size										
Site Prep.										
Drainage										
Physical Barriers										
Access										
Corner										
Water										
Sewer										
Paving										
Other										
TOTAL										

### LAND VALUE COMPUTATIONS

APPRAISAL YEAR	19 <sup>96</sup>		19 <sup>06</sup>		19 <sup>07</sup>		19__		19__	
BASE LOT VALUE	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total
26136		40000	8	209100	10	261360				
Access					(1)	(26136)				
ITEM 13										
NET ADJUSTMENT										
ADJUSTED LAND VALUE						235274				

Year	Owner	ASSESSED VALUATION			Reason for Change
		Site	Buildings	Total	
02		50000	67700	117700	
03		55000	143300	198300	
04		55000	153300	208300	
05		68800	317900	386700	
06		209100	463600	672700	
2007		235200	463600	698800	

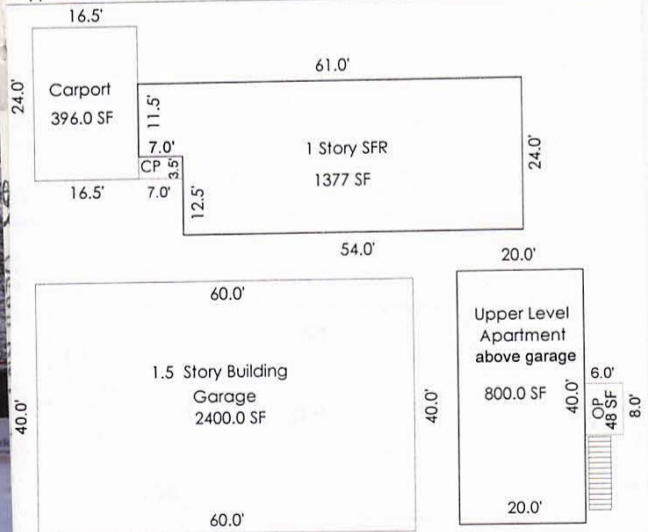
REMARKS: Sold 6/95 158500 w/ FL3  
Sold 11/13/02 \$210,000 ??

PLACE PICTURE HERE



#### BUILDING AREA CALCULATION

Parcel No 5B1601140050  
 Property Address 9333 Glacier Highway  
 City \_\_\_\_\_  
 Owner \_\_\_\_\_  
 Client \_\_\_\_\_  
 Appraiser Name \_\_\_\_\_



AREA 1 : 1376.5  
PERIMETER 1 : 170

5B1601140050

MENDENHALL ACRES BL 41 LT 3 FR 4 FR  
WORDEN HOMES INC  
PO BOX 211574  
AUKE BAY AK 99821-1574

Property Address 9333 Glacier Hwy

Date Built 1951

Parcel No. 5-1-452-041-F34-0381  
Block 41 Lot Fr 3,4  
Subdivision Mendenhall Acres  
U.S. Survey 381

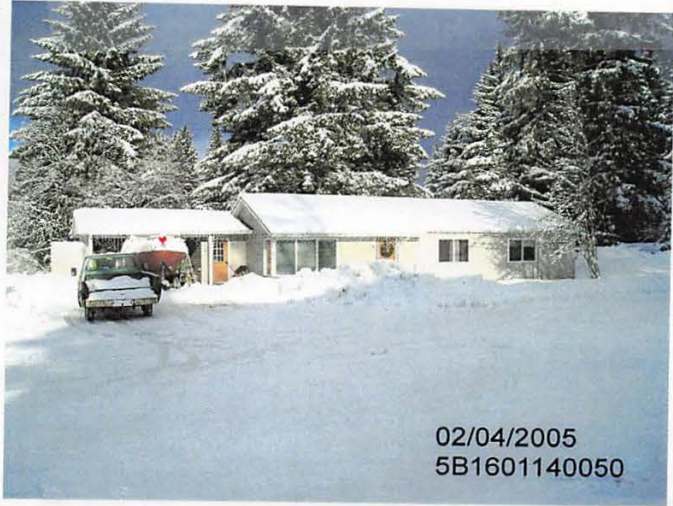
<p>Other # Stories <u>1</u> Basement <u>Frame</u> Concrete <u>Block</u> Log <u>Other</u> # Bedrooms <u>3/6</u></p>	<p>Other Insulation Shakes <u>Shingle</u> Built-Up <u>Comp. X</u> Aluminum <u>G.I.</u> Roll <u>Tar Paper</u></p>	<p>Living Room <u>W/W</u> Kitchen Bath Bedroom #1 Bedroom #2 Bedroom #3</p>	<p>Size Foundation Floor Exterior Roof Interior Insulation Heat, Type Electrical Plumbing Common Wall Door, Single <u>Double</u> Electrical Door Opener Car Port, Grade <u>Size</u></p>
<p>1. FOUNDATION <u>5/4</u> Concrete <u>X</u> in. thick Concrete Block <u>size</u> Wood Post <u>Skids</u></p>	<p>6. INTERIOR <u>4/5</u> Insulation Board Plasterboard <u>X</u> Plaster <u>Masonry</u> Wood Paneling <u>X</u> Plywood Open Stud <u>CE Lotel coil</u> Trim: P <u>A</u> <u>G</u> Flr. Plan P <u>A</u> <u>G</u> Ceiling Height Basement 1st Floor 2nd Floor Attic</p>	<p>8. HEAT <u>5</u> Stove <u>Space Htr.</u> Floor Furnace Hot Air Forced Radiant <u>Elec</u> Hot Water <u>X</u> Zoned Fireplace - Grade <input checked="" type="checkbox"/> 8H 1 SS <u>Good</u> <input type="checkbox"/> 8J 1 SD <input type="checkbox"/> 8K 2 SS <input type="checkbox"/> 8M 2 SD <input checked="" type="checkbox"/> 8P Susp. Metal Pellet <u>Mendenhall</u></p>	<p>12. PORCHES BIOP BIGP BICP Open Porch Closed Porch Glazed Porch Deck Risers</p>
<p>2. BASEMENT/DLB <u>0</u> Full Partial <u>X</u> = <u>SF</u> Partial <u>X</u> = <u>SF</u> Concrete <u>Block</u> Cribbed <u>Daylight</u> Rec. Room <u>Living</u> Size Fin. Walls Fin. Floor Fin. Ceiling Grade of Finish</p>	<p>9. PLUMBING <u>Est 4/5</u> B 1st 2nd 9a 3 Fix <u>2</u> 9b Kit. Sinks <u>1</u> 9c H.W. Tks. 9d Toilets 9e Basins 9d Basins 9d Tubs 9e Disposal 9f La. Trys. <u>1</u> 9h Sh. Stalls Sauna</p>	<p>10. ELECTRICAL <u>5/6</u> 110 <u>110/220 X</u> Romex <u>X</u> Conduit TOTAL GRADE <u>42/9</u></p>	<p>4.66 <u>1190</u> INTERPOLATIONS YEAR 1st/DLB <u>52.55 - 43.85 = 49.59</u> <u>84</u> 1/2 2nd YEAR 1st/DLB 1/2 2nd YEAR 1st/DLB 1/2 2nd YEAR 1st/DLB 1/2 2nd YEAR 1st/DLB 1/2 2nd</p>
<p>3. FRAME <u>4/5</u> Walls <u>X</u> o.c. Floor <u>X</u> o.c. Roof <u>X</u> o.c.</p>	<p>Kitchen P <u>A</u> <u>G</u> <input type="checkbox"/> 6a D. I. Stove &amp; Oven <input checked="" type="checkbox"/> 6b Oven Built-In <u>061</u> <input checked="" type="checkbox"/> 6c G.T. Range <u>061</u> <input type="checkbox"/> 6d Hood &amp; Fan <input type="checkbox"/> 6e Exhaust Fan Only <input type="checkbox"/> 6f Dishwasher <input type="checkbox"/> 6h Ext. Kit. <input type="checkbox"/> 6i B. I. Radar Range</p>	<p>11. GARAGE, Attached DORMERS <u>5/6</u></p>	
<p>4. EXTERIOR <u>4/5</u> Concrete <u>Brick</u> Concrete Block Sheathing <u>Kind</u> Insulation <u>Kind</u> Stucco <u>Log</u> Siding <u>Shake Vinyl</u></p>	<p>Attic Size Stairway Finished Area Dormers Size</p>		
REMARKS:			

COMPUTATION

Appraiser & Date		1996		97		98					
Item No.	Area or Prop.	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total
500	① 1376 <sup>4</sup>	50.22	69102				69102				
8P	Refr. Stove		1660				2000				
8	Monitor		2000				2000				
9A	3 Fix Bath		2010				2010				
							2446				
11.5	Carport 720	6.30	2646								
12c	CP. 24.5	15.10	370				300				
Total Replacement Cost			77798				78058				
Cost Conversion Factor											
Adjusted Replacement Cost											
Effective Age/Depreciation											
Total Depreciation <u>70 Inc</u>			50%								
Final Net Condition			31,119		1.51		1.51				
Principal Building Total			1.51		61057		61291				
Other Buildings											
Total Building Appraisal			46989								
			X 10% Remain Value								



5B1601140050  
12/17/2007



02/04/2005  
5B1601140050



5B1601140050  
12/17/2007



02/04/2005  
5B1601140050



5B1601140050-A  
11/03/2005



5B1601140050  
11/03/2005

### Cost Report - Commercial

<b>8344</b>		<b>Record</b>	<b>1</b>
<b>Parcel Code Number</b>	<b>5B1601140050</b>	<b>Number of Stories (Building)</b>	<b>01</b>
<b>Owner Name</b>	<b>WORDEN HOMES INC</b>	<b>Number of Sections</b>	<b>1</b>
<b>Parcel Address</b>	<b>9333 GLACIER HWY</b>	<b>Perimeter</b>	<b>170</b>
<b>Effective Year Built</b>	<b>2001</b>	<b>Class</b>	<b>D</b>
<b>Year Built</b>	<b>1951</b>	<b>Height</b>	<b>8</b>
<b>Building Model</b>	<b>C- 12 Residential Multiples, Motels</b>	<b>Rank</b>	<b>Average</b>
<b>Building Type</b>	<b>Single-Family Residence</b>	<b>Total Area</b>	<b>1,376.00</b>

<b>8344</b>		<b>Record</b>	<b>4</b>
<b>Parcel Code Number</b>	<b>5B1601140050</b>	<b>Number of Stories (Building)</b>	<b>01</b>
<b>Owner Name</b>	<b>WORDEN HOMES INC</b>	<b>Number of Sections</b>	<b>1</b>
<b>Parcel Address</b>	<b>9333 GLACIER HWY</b>	<b>Perimeter</b>	<b>200</b>
<b>Effective Year Built</b>	<b>2006</b>	<b>Class</b>	<b>D</b>
<b>Year Built</b>	<b>2005</b>	<b>Height</b>	<b>20</b>
<b>Building Model</b>	<b>C- 14 Garages, Industrials, Lofts, Warehouses</b>	<b>Rank</b>	<b>Average</b>
<b>Building Type</b>	<b>Storage Warehouse</b>	<b>Total Area</b>	<b>2,400.00</b>

<b>Section 1</b>	<b>Description</b>	<b>Units</b>	<b>Percent</b>	<b>Cost</b>	<b>+/-</b>	<b>Total</b>
	Base Cost	1376		78.96		108,649
	Exterior Wall Stud -Vinyl Siding	1376		16.26		22,376
	Heating & Cooling Heating & Cooling	1376		603.00		603
	Heating & Cooling Hot Water	1376		6.43		8,848
	Architect Fee	1376		1.30		1,789
	<b>Sub Total</b>					<b>\$142,264.17</b>
	Local Multiplier		1.43	[X]		\$203,438.00
	Current Multiplier		1.01	[X]		\$205,472.00
	Neighborhood Multiplier			[X]		\$205,472.00
	Depreciation - Physical		15.00	[-]		\$30,821.00
	Depreciation - Functional			[-]		\$0.00
	Depreciation - Economic			[-]		\$0.00
	Percent Complete		100.00	[-]		\$174,651.00
	Cost to Cure					
	Neighborhood Adjustment					

**Replacement Cost less Depreciation** **\$174,651**

9329, 9331, 9333 Glacier Hwy; BLOCK 41 LOT 3 & 4 FRACTION OF;  
 11/27/02 per stat warr deed dtd 11/12/02;  
 8/18/04 new shop addr 9331 per JSG/CDD;  
 10/10/11 5B1601140050 Chg Mail Addr Per Shelly Mangusso Email dtd 10/4/2011/tlu;

9/7/12 Canvass. MIMP. Det. garage with apartment valued in Comm Estimator and added to Microsolve as an outbldg. Updated sketch, photos, cost.

4/18/2013 Appeal of market value. Re-cost. BS  
 Before Appeal 183,000 450,500 633,500  
 After Appeal 183,000 409,000 592,000

2/22/16 Parcel comprises an older SFR (renovated 1995) and a newer 2400 SF metal garage with an apartment above. Site has poor access through the Elks parcel. Adjoining mini storage, under same ownership, shares the access driveway. Buildings are valued using Govern commercial models (cannot value the garage/apt bldg using a residential model). Parcel is currently classified as residential/MIMP. Base land value is 10 PSF. Adj to 75% good: 7.50 PSF. Revalued. John\_Sahnou - 2/23/2016 8:42:00 AM

4/8/2016 per appeal change neighborhood adjustment to area wide non conforming due to location, access and use;  
 Assessed value site 215,600 imp 434,300 total 649,900  
 adjusted value site 196,000 imp 396,000 total 592,000; MG  
 mary\_grant - 5/27/2016 3:25:22 PM



Cost Report - Commercial

Section 4	Description	Units	Percent	Cost	+/-	Total
	Base Cost	2400		32.71		78,504
	Exterior Wall	2400		9.66		23,183
	Heating & Cooling	2400		606.00		606
	Heating & Cooling	2400	25%	1.93		4,632
	Heating & Cooling	2400	75%	1.54		3,696
	Architect Fee	2400		6.50		15,600
	Mezzanine	800		40.50		32,400
	<b>Sub Total</b>					\$158,621.11
	Local Multiplier			1.43	[X]	\$226,828.00
	Current Multiplier			1.04	[X]	\$235,901.00
	Neighborhood Multiplier				[X]	\$235,901.00
	Depreciation - Physical			11.00	[-]	\$25,949.00
	Depreciation - Functional				[-]	\$0.00
	Depreciation - Economic				[-]	\$0.00
	Percent Complete			100.00	[-]	\$209,952.00
	Cost to Cure					
	Neighborhood Adjustment					
	<b>Replacement Cost less Depreciation</b>					\$209,952
<b>Miscellaneous Improvements</b>						
	HDV				[+]	2,000
	Solid Fuel Heater				[+]	2,000
	Miscellaneous Improvement	Mezzanine Apt: Blt-i			[+]	2,000
	Miscellaneous Improvement	Carport John_Sahnaw			[+]	5,300
	<b>Total Improvement Value</b>					\$221,300



5B1601140050\_1\_02232016



5b1601140050\_2\_02232016

### Cost Report - Commercial

<b>8344</b>		<b>Record</b>	<b>1</b>
Parcel Code Number	5B1601140050	Number of Stories (Building)	01
Owner Name	WORDEN HOMES INC	Number of Sections	1
Parcel Address	9333 GLACIER HWY	Perimeter	170
Effective Year Built	2001	Class	D
Year Built	1951	Height	8
Building Model	C- 12 Residential Multiples, Motels	Rank	Average
Building Type	Single-Family Residence	Total Area	1,376.00

<b>8344</b>		<b>Record</b>	<b>4</b>
Parcel Code Number	5B1601140050	Number of Stories (Building)	01
Owner Name	WORDEN HOMES INC	Number of Sections	1
Parcel Address	9333 GLACIER HWY	Perimeter	200
Effective Year Built	2006	Class	D
Year Built	2005	Height	20
Building Model	C- 14 Garages, Industrials, Lofts, Warehouses	Rank	Average
Building Type	Storage Warehouse	Total Area	2,400.00

Section 1	Description	Units	Percent	Cost	+/-	Total
	Base Cost	1376		78.96		108,649
	Exterior Wall	Stud -Vinyl Siding	1376	16.26		22,376
	Heating & Cooling	Heating & Cooling	1376	603.00		603
	Heating & Cooling	Hot Water	1376	6.43		8,848
	Architect Fee		1376	1.30		1,789
	<b>Sub Total</b>					<b>\$142,264.17</b>
	Local Multiplier			1.43	[X]	\$203,438.00
	Current Multiplier			1.01	[X]	\$205,472.00
	Neighborhood Multiplier				[X]	\$205,472.00
	Depreciation - Physical			15.00	[-]	\$30,821.00
	Depreciation - Functional				[-]	\$0.00
	Depreciation - Economic				[-]	\$0.00
	Percent Complete			100.00	[-]	\$174,651.00
	Cost to Cure					
	Neighborhood Adjustment					

**Replacement Cost less Depreciation** **\$174,651**

9329, 9331, 9333 Glacier Hwy; BLOCK 41 LOT 3 & 4 FRACTION OF;  
 11/27/02 per stat warr deed dtd 11/12/02;  
 8/18/04 new shop addr 9331 per JSG/CDD;  
 10/10/11 5B1601140050 Chg Mail Addr Per Shelly Mangusso Email dtd 10/4/2011/tlu;

9/7/12 Canvass. MIMP. Det. garage with apartment valued in Comm Estimator and added to Microsolve as an outbldg. Updated sketch, photos, cost.

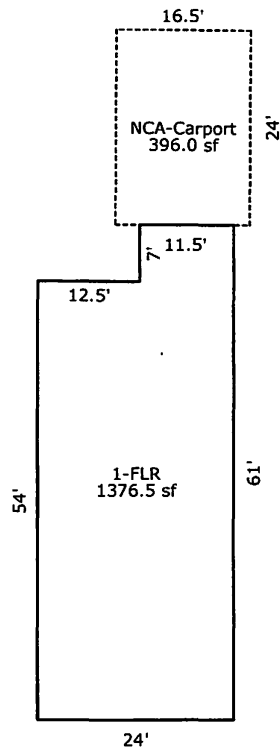
4/18/2013 Appeal of market value. Re-cost. BS  
 Before Appeal 183,000 450,500 633,500  
 After Appeal 183,000 409,000 592,000

2/22/16 Parcel comprises an older SFR (renovated 1995) and a newer 2400 SF metal garage with an apartment above. Site has poor access through the Elks parcel. Adjoining mini storage, under same ownership, shares the access driveway. Buildings are valued using Govern commercial models (cannot value the garage/apt bldg using a residential model). Parcel is currently classified as residential/MIMP. Base land value is 10 PSF. Adj to 75% good: 7.50 PSF. Revalued.  
 John\_Sahnow - 2/23/2016 8:42:00 AM

Cost Report - Commercial

Section 4	Description	Units	Percent	Cost	+/-	Total
Base Cost		2400		32.71		78,504
Exterior Wall	Stud -Metal Siding	2400		9.66		23,183
Heating & Cooling	Heating & Cooling	2400		606.00		606
Heating & Cooling	Hot Water	2400	25%	1.93		4,632
Heating & Cooling	Space Heater	2400	75%	1.54		3,696
Architect Fee		2400		6.50		15,600
Mezzanine	Office	800		40.50		32,400
<b>Sub Total</b>						<b>\$158,621.11</b>
Local Multiplier				1.43	[X]	\$226,828.00
Current Multiplier				1.04	[X]	\$235,901.00
Neighborhood Multiplier					[X]	\$235,901.00
Depreciation - Physical				11.00	[-]	\$25,949.00
Depreciation - Functional					[-]	\$0.00
Depreciation - Economic					[-]	\$0.00
Percent Complete				100.00	[-]	\$209,952.00
Cost to Cure						
Neighborhood Adjustment						
<b>Replacement Cost less Depreciation</b>						<b>\$209,952</b>
<b>Miscellaneous Improvements</b>						
HDV					[+]	2,000
Solid Fuel Heater					[+]	2,000
Miscellaneous Improvement	Mezzanine Apt: Blt-i				[+]	2,000
Miscellaneous Improvement	Carport John_Sahnow				[+]	5,300
<b>Total Improvement Value</b>						<b>\$395,900</b>

Building 1 of 2  
 Built 1951  
 Renovated/Remodeled 2001  
 SFR



Comments:

AREA CALCULATIONS SUMMARY					BUILDING AREA BREAKDOWN			
Code	Description	Factor	Net Size	Perimeter	Net	Breakdown		Subtotals
GBA1	1-FLR	1.00	1376.50	170.0	1376.50			
NCA	NCA-Carport	1.00	396.00	81.0	396.00	11.5 x 7.0		80.50
						54.0 x 24.0		1296.00
Net BUILDING Area (rounded w/ factors)					2172.50	1377 (rounded w/o factors)		1377



5B1601140050\_1\_09072012

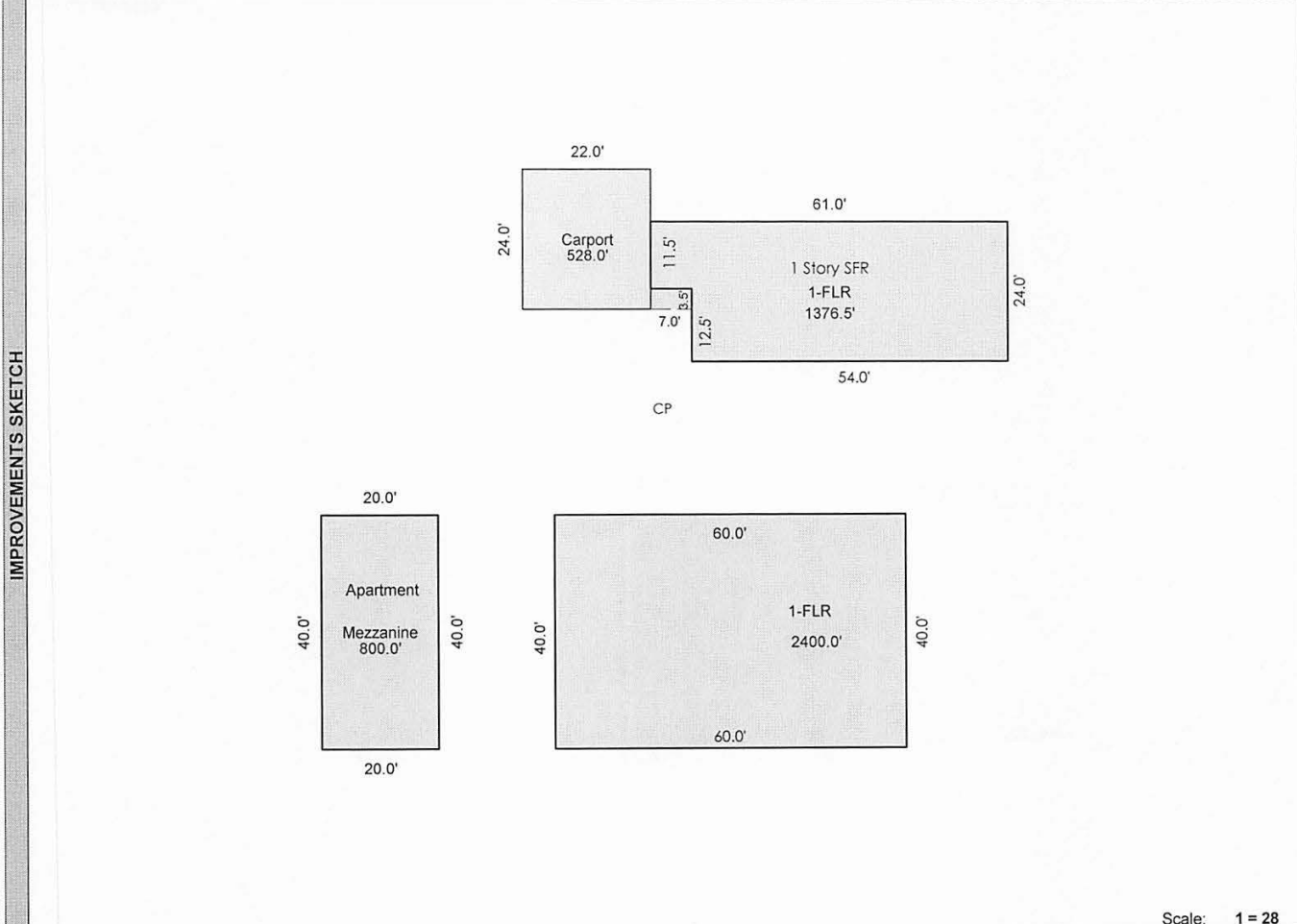


5B1601140050\_2\_09072012

# SKETCH/AREA TABLE ADDENDUM

Parcel No 5B1601140050

SUBJECT	Property Address 9333 Glacier Highway
	City _____ State _____ Zip _____
	Owner _____
	Client _____
	Appraiser Name _____



Scale: 1 = 28

AREA CALCULATIONS

AREA CALCULATIONS SUMMARY						LIVING/BUILDING AREA BREAKDOWN			
Code	Description	Factor	Net Size	Perimeter	Net Totals	Breakdown			Subtotals
GLA1	1-FLR	1.00	1376.5	170.0	1376.5	1-FLR			
GBA1	1-FLR	1.00	2400.0	200.0	2400.0		11.5 x	61.0	701.5
CC1	Mezzanine	1.00	800.0	120.0	800.0		12.5 x	54.0	675.0
GAR8	Carport	1.00	528.0	92.0	528.0		40.0 x	60.0	2400.0
P/P1	Deck	1.00	24.5	21.0	24.5	Mezzanine			
							20.0 x	40.0	800.0
Net LIVABLE Area					(rounded w/ factors)	1377			
Net BUILDING Area					(rounded w/ factors)	3200	4 Items	(rounded w/o factors)	4577

## Benjamin Singleton

---

**From:** Rob and Lisa Worden <roblisa@ak.net>  
**Sent:** Thursday, April 18, 2013 8:51 PM  
**To:** Benjamin Singleton  
**Subject:** RE: Assessor's Office

Hello Benjamin,  
as we discussed earlier, I have agreed with your change in value on 9333 Glacier Highway to be 592,000.00 and will withdraw my appeal. The information you requested for 9339 with 8 storage units and a 2 bed apartment are as follows:

rent -800.00 per storage unit  
apartment -1000.00  
total rent per month-----7400.00  
garbage bill-225.00 per month  
water and sewer-140.00 per month  
power-390.00 per month  
insurance flood-67.00 per month  
insurance-170.00 per month  
plowing /gravel- 1500.00 per year approx

Please call me if you have any questions or need any more information.

thanks,

Rob Worden  
907-321-5015

note-- we had one unit vacant for 3 month last year.

---

**From:** Benjamin Singleton [[mailto:Benjamin\\_Singleton@ci.juneau.ak.us](mailto:Benjamin_Singleton@ci.juneau.ak.us)]  
**Sent:** Wednesday, April 17, 2013 10:48 AM  
**To:** 'roblisa@ak.net'  
**Subject:** Assessor's Office

When you have a moment, please call me regarding the petition for review of 9339 and 9333 Glacier Highway.

Thanks,

Benjamin Singleton, Real Estate Appraiser  
Assessor's Office  
City and Borough of Juneau  
Juneau, AK  
(907) 586-0334  
[Benjamin\\_Singleton@ci.juneau.ak.us](mailto:Benjamin_Singleton@ci.juneau.ak.us)

Itemized Property Costs- based on Marshall & Swift					
From Table: MAIN Section 1			Record # 6961		
<b>Property ID:</b>	5B1601140050	<b>Building Type:</b>	Single		
<b>Owner Name:</b>	WORDEN ROBIN M & MELISSA G	<b>Quality:</b>	3.00	AVERAGE	
<b>Parcel Address:</b>	GLACIER HWY	<b>Construction:</b>	Studded		
<b>Year Built:</b>	1951	<b>Style:</b>	1 Story		
<b>Effective Age:</b>	15	<b>Total Area:</b>	1377		
<b>Bedrooms:</b>	3	<b>Total Rooms:</b>	7		
Item	Description	Percent	Quantity	Unit Cost	Total
<b>BASE COST</b>					
Exterior Wall #1:	VnlSide / Ht=8	100.00		48.01	
<b>ADJUSTMENTS</b>					
Roof #1:	Mtl-Pre	100.00		1.00	
Floor cover #1:	Allowance	100.00		2.31	
Heat/cooling #1:	Elec BB	100.00		-0.16	
Energy Adjustment	Average				
<b>ADJUSTED BASE COST</b>			1,377.00	51.16	70,447
<b>ADDITIONAL FEATURES</b>					
Fixtures (beyond allowance of 8)				750.00	
Roughins (beyond allowance of 1)			1.00	280.00	280
Features #1:	HDV		1.00	2,000.00	2,000
Features #2:	Pellet stove		1.00	1,500.00	1,500
Garage/Shed #1:	Carport/No Data/No Data		396.00	7.10	2,812
<b>Subtotal</b>					77,038
Local multiplier		1.43			
Current multiplier		1.85			
<b>REPLACEMENT COST NEW</b>					203,804
<b>Condition</b>	Average	Percent			
Physical depreciation		15.00			-30,571
Functional depreciation					
Economic depreciation					
<b>REPLACEMENT COST NEW LESS DEPRECIATION</b>					173,200
<b>LAND PRICES</b>	Calc Method	Size	Grade	Adj. Rate	
Standard		26136.00	183.00	183,000.00	183,000
<b>SITE IMPROVEMENTS</b>	Quantity	Quality			
City Water	No Data	No Data			
City Sewer	No Data	No Data			
<b>OUTBUILDINGS</b>		Gtype			
Det Garage w/apt		RG1			229,900
<b>TOTAL PROPERTY VALUE</b>					586,100
<b>NOTES</b>					
9329, 9331, 9333 Glacier Hwy; BLOCK 41 LOT 3 & 4 FRACTION OF;					
11/27/02 per stat warr deed dtd 11/12/02;					
8/18/04 new shop addr 9331 per JSG/CDD;					
10/10/11 5B1601140050 Chg Mail Addr Per Shelly Mangusso Email dtd 10/4/2011/tlu;					
9/7/12 Canvass. MIMP. Det. garage with apartment valued in Comm Estimator and added to Microsolve as an outbldg. Updated sketch, photos, cost.					
4/18/2013 Appeal of market value. Re-cost. BS					

**Itemized Property Costs - based on Marshall & Swift**

From Table: MAIN Section 1

Record # 6961

<b>Property ID:</b> 5B1601140050	<b>Building Type:</b> Single
<b>Owner Name:</b> WORDEN ROBIN M & MELISSA G	<b>Quality:</b> 3.00 AVERAGE
<b>Parcel Address:</b> GLACIER HWY	<b>Construction:</b> Studded
<b>Year Built:</b> 1951	<b>Style:</b> 1 Story
<b>Effective Age:</b> 15	<b>Total Area:</b> 1377
<b>Bedrooms:</b> 3	<b>Total Rooms:</b> 7

Item	Description	Percent	Quantity	Unit Cost	Total
	Before Appeal	183,000	450,500	633,500	
	After Appeal	183,000	409,000	592,000	



5B1601140050\_04182013

Itemized Property Costs - based on Marshall & Swift					
From Table: MAIN Section 1			Record # 6961		
<b>Property ID:</b>	5B1601140050	<b>Building Type:</b>	Single		
<b>Owner Name:</b>	WORDEN ROBIN M & MELISSA G	<b>Quality:</b>	3.00	AVERAGE	
<b>Parcel Address:</b>	GLACIER HWY	<b>Construction:</b>	Studded		
<b>Year Built:</b>	1951	<b>Style:</b>	1 Story		
<b>Effective Age:</b>	15	<b>Total Area:</b>	1377		
<b>Bedrooms:</b>	3	<b>Total Rooms:</b>	7		
Item	Description	Percent	Quantity	Unit Cost	Total
<b>BASE COST</b>					
Exterior Wall #1:	VnlSide / Ht=8	100.00		48.01	
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Floor cover #1:	Allowance	100.00		2.31	
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Energy Adjustment	Average				
<b>ADJUSTED BASE COST</b>			1,377.00	51.16	70,447
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<b>Subtotal</b>					77,038
Local multiplier		1.43			
Current multiplier		1.85			
<b>REPLACEMENT COST NEW</b>					203,804
<b>Condition</b>	Average	<b>Percent</b>			
Physical depreciation		15.00			-30,571
Functional depreciation					
Economic depreciation					
<b>REPLACEMENT COST NEW LESS DEPRECIATION</b>					173,200
<b>LAND PRICES</b>	Calc Method	<b>Size</b>	<b>Grade</b>	<b>Adj. Rate</b>	
Standard		26136.00	183.00	183,000.00	183,000
<b>SITE IMPROVEMENTS</b>	Quantity	<b>Quality</b>			
City Water	No Data	No Data			
City Sewer	No Data	No Data			
<b>OUTBUILDINGS</b>		<b>Gtype</b>			
Det Garage w/apt		RG1			229,900
<b>TOTAL PROPERTY VALUE</b>					586,100
<b>NOTES</b>					
9329, 9331, 9333 Glacier Hwy; BLOCK 41 LOT 3 & 4 FRACTION OF; 11/27/02 per stat warr deed dtd 11/12/02; 8/18/04 new shop addr 9331 per JSG/CDD; 10/10/11 5B1601140050 Chg Mail Addr Per Shelly Mangusso Email dtd 10/4/2011/tlu;					
9/7/12 Canvass. MIMP. Det. garage with apartment valued in Comm Estimator and added to Microsolve as an outbldg. Updated sketch, photos, cost.					

**Summary Report**

Estimate Number : 333  
 Parcel Number : 5B1601140050  
 Property Owner : Worden Robin & Melissa  
 Property Address : 9333 Glacier Hwy  
 JUNEAU : Juneau  
 ALASKA : Alaska  
 99801 : 99801

*GARAGE  
 W/ APPT  
 ONLY  
 ENTERED IN MICROSOFT  
 AS 025BLDG*

**Section 1**

**Occupancy**

	<u>Class</u>	<u>Height</u>	<u>Rank</u>
100% Storage Warehouse	Wood or steel framed exterior walls	24.00	2.0
Total Area	: 2,400		
Number of Stories (Building)	: 1.00		
Number of Stories (Section)	: 1.00		
Perimeter	: 200		
Effective Age (years)	: 7.00		

**Components**

	<u>Units/%</u>	<u>Other</u>
Exterior Walls:		
Stud -Metal Siding	100%	
HVAC (Heating):		
Space Heater	2,400	Climate : 2
Hot Water	800	Climate : 2
Mezzanines:		
Mezzanines-Storage	800	

Cost as of 10/2008

	<u>Units/%</u>	<u>Cost</u>	<u>Total</u>
Basic Structure			
Base Cost	2,400	52.07	124,968
Exterior Walls	2,400	16.76	40,224
Heating & Cooling	3,200	6.37	20,384
Mezzanine	800	25.88	20,704
Basic Structure Cost	2,400	85.95	206,280
Extras			
Interior Apartment build-out	800	48.00	38,400
Built-in Appliances	1	2,500.00	2,500
Replacement Cost New	2,400	102.99	247,180
Less Depreciation			
Physical & Functional	7.0%		17,303
Depreciated Cost	2,400	95.78	229,877
Rounded to Nearest	100		229,900

Estimate Number: 333  
 Parcel Number: 5B1601140050

**Section 1**

**Occupancy**

	<u>Class</u>	<u>Height</u>	<u>Rank</u>
100% Storage Warehouse	Wood or steel framed exterior walls	24.00	2.0
Total Area	: 2,400		
Number of Stories (Building)	: 1.00		
Number of Stories (Section)	: 1.00		
Perimeter	: 200		
Effective Age (years)	: 7.0		

**Components**

	<u>Units/%</u>	<u>Other</u>	
Exterior Walls:			
Stud -Metal Siding	100%		
HVAC (Heating):			
Space Heater	2,400	Climate	: 2
Hot Water	800	Climate	: 2
Mezzanines:			
Mezzanines-Storage	800		

Cost as of 10/2008

	<u>Units</u>	<u>Unit Cost</u>	<u>Total Cost New</u>	<u>Less Depreciation</u>	<u>Total Cost Depreciated</u>
<b>Basic Structure</b>					
Base Cost	2,400	52.07	124,968	8,748	116,220
Exterior Walls					
Stud -Metal Siding	2,400	16.76	40,224	2,816	37,408
Heating & Cooling					
Space Heater	2,400	3.79	9,096	637	8,459
Hot Water	800	14.11	11,288	790	10,498
Mezzanine					
Mezzanines-Storage	800	25.88	20,704	1,449	19,255
Basic Structure Cost	2,400	85.95	206,280	14,440	191,840
<b>Extras</b>					
Interior Apartment build-out	800	48.00	38,400	2,688	35,712
Built-in Appliances	1	2,500.00	2,500	175	2,325
Replacement Cost New	2,400	102.99	247,180		
<b>Less Depreciation</b>					
Physical & Functional	7.0%			17,303	229,877
Depreciated Cost	2,400	95.78			229,877

Cost Data by Marshall & Swift

### NEW ADDRESS ASSIGNMENT / UPDATE

**New Address(es) Assigned:**

<b>9331</b>	<b>GLACIER HWY</b>
<b>9329</b>	<b>GLACIER HWY</b>

**Description:** Address assignment for new shop (9331) with apartment above (9329). There is also a single family dwelling on this property (9333).

**MAIL TO:**

WORDEN HOMES INC  
PO BOX 32884  
JUNEAU, AK 99803

**Address Assignment Case Number:**

ADR2004-00048

**Date Address Assigned:**

6/10/2004

**Parcel Code Number:**

5-B16-0-114-005-0

**Legal Description:**

MENDENHALL ACRES BL 41 LTS 3 & 4 FR

**Address Given To:**

Permit Center

**Assigned By:**

JSG

**Current Property Owner:**

WORDEN HOMES INC

**Building Permit Number**

BLD2004-00258

**Date Printed:**

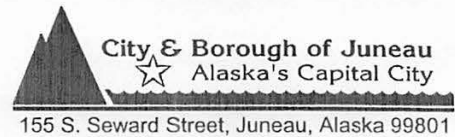
8/7/2007

**All Addresses assigned to Parcel Number:**

9331	GLACIER HWY
9329	GLACIER HWY
9333	GLACIER HWY

If you have questions, please contact Jeanette St. George at 907-586-0762 or [jeanette\\_stgeorge@ci.juneau.ak.us](mailto:jeanette_stgeorge@ci.juneau.ak.us).

cc: Property Owner  
CBJ Assessors, Police, Fire  
AEL&P  
U.S. Postal Service  
ACS



RECEIVED

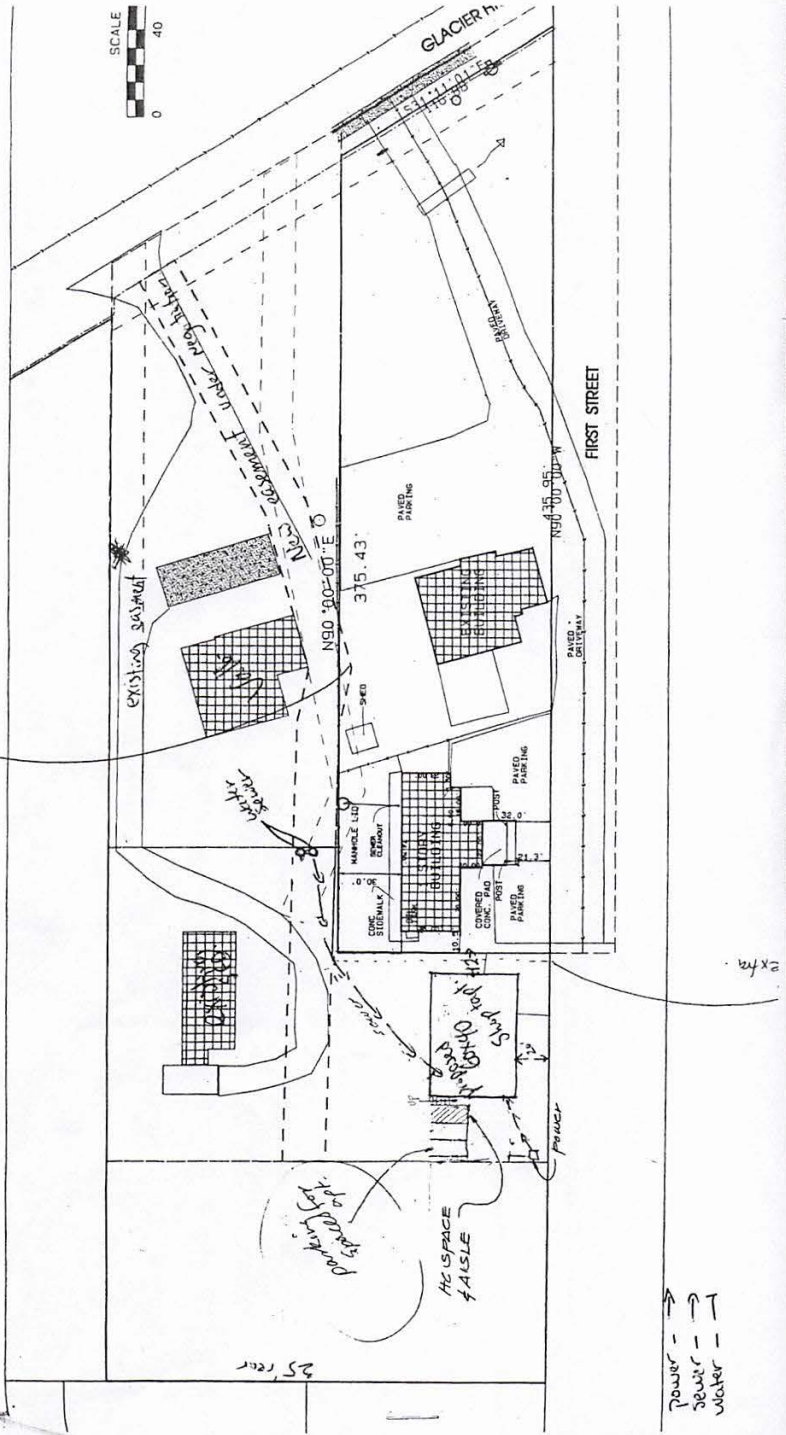
MAY 06 2004

PERMIT CENTER/CDC



173.6 sqft

04-258



SB1601140050

2002-011758-0

Recording Dist: 101 - Juneau  
11/14/2002 9:59 AM Pages: 1 of 2

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CC

Title Insurance Agency  
9097 Glacier Highway  
Juneau, Alaska 99801  
(907) 789-1671 FAX 789-2375

THIS SPACE RESERVED FOR RECORDERS USE

Filed for Record at Request of and Return to:

Name: Robin M. Worden and Melissa G. Worden  
Address: P.O. Box 32884  
City, State, Zip Juneau, AK, 99803

TIA # 31490

**STATUTORY WARRANTY DEED**

THE GRANTOR, **Irvin G. Porter and Judith A. Porter, husband and wife as tenants by the entirety of Box 32755, Juneau, AK 99803**

for and in consideration of **TEN DOLLARS and other valuable consideration**

in hand paid, conveys and warrants to GRANTEE **Robin M. Worden and Melissa G. Worden, husband and wife as tenants by the entirety**


the following described real estate, situated in the Juneau Recording District, First Judicial District, State of Alaska:

**Lot 3 and the West 50.00 feet of the North 108.00 feet of Lot 4, Block 41, Mendenhall Acre Tracts, Juneau Recording District, First Judicial District, State of Alaska.**

**SUBJECT HOWEVER TO:**

Patent reservations, conditions, restrictions and easements of record

November 12, 2002

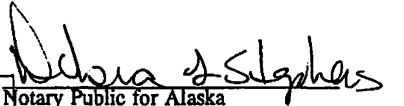
  
Irvin G. Porter

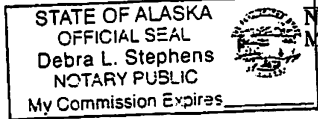
  
Judith A. Porter

State of Alaska )  
                          )ss.  
First Judicial District )

On this 13<sup>th</sup> day of Nov 2002 personally appeared before me, Irvin G. Porter and Judith A. Porter, to me known to be the individual(s) described in and who executed the within and foregoing instrument, and acknowledged that they signed the same as their free and voluntary act and deed, for the uses and purposes therein mentioned.

GIVEN under my hand and official seal hereto affixes the day and year first above written.

  
Notary Public for Alaska  
My Commission Expires: 12-27-02



<b>Itemized Property Costs- based on Marshall &amp; Swift</b>					
From Table: MAIN Section 1			Record # 6969		
<b>Property ID:</b>	5B1601140050	<b>Building Type:</b>	Single		
<b>Owner Name:</b>	WORDEN ROBIN M & MELISSA G	<b>Quality:</b>	3.00	AVERAGE	
<b>Parcel Address:</b>	GLACIER HWY	<b>Construction:</b>	Studded		
<b>Year Built:</b>	1951	<b>Style:</b>	1 Story		
<b>Effective Age:</b>	20	<b>Total Area:</b>	1377		
<b>Bedrooms:</b>	3	<b>Total Rooms:</b>	7		
Item	Description	Percent	Quantity	Unit Cost	Total
<b>BASE COST</b>					
Exterior Wall #1:	VnlSide / Ht=8	100.00		48.01	
<b>ADJUSTMENTS</b>					
Roof #1:	Mtl-Pre	100.00		1.00	
Floor cover #1:	Allowance	100.00		2.31	
Heat/cooling #1:	Elec BB	100.00		-0.16	
Energy Adjustment	Average				
<b>ADJUSTED BASE COST</b>			1,377.00	51.16	70,447
<b>ADDITIONAL FEATURES</b>					
<b>Fixtures (beyond allowance of 8)</b>				750.00	
<b>Roughins (beyond allowance of 1)</b>			1.00	280.00	280
<b>Features #1:</b>	Pellet Stove		1.00	2,000.00	2,000
<b>Features #2:</b>	Monitor		1.00	2,000.00	2,000
<b>Porch #1:</b>	WoodDck/WdRI		25.00	6.30	158
<b>Garage/Shed #1:</b>	Carport/No Data/No Data		396.00	7.10	2,812
<b>Subtotal</b>					77,696
<b>Local multiplier</b>		1.43			
<b>Current multiplier</b>		1.85			
<b>REPLACEMENT COST NEW</b>					205,545
<b>Condition</b>	Average	Percent			
<b>Physical depreciation</b>		20.00			-41,109
<b>Functional depreciation</b>					
<b>Economic depreciation</b>					
<b>REPLACEMENT COST NEW LESS DEPRECIATION</b>					164,400
<b>LAND PRICES</b>	Calc Method	Size	Grade	Adj. Rate	
<b>Standard</b>	Site	26136.00	183.00	183,000.00	183,000
<b>SITE IMPROVEMENTS</b>	Quantity	Quality			
<b>City Water</b>	No Data	No Data			
<b>City Sewer</b>	No Data	No Data			
<b>SUB-TOTAL THIS SECTION</b>					347,400
<b>NOTES</b>					
9329, 9331, 9333 Glacier Hwy; BLOCK 41 LOT 3 & 4 FRACTION OF;11/27/02 per stat warr deed dtd 11/12/02; 8/18/04 new shop addr 9331 per JSG/CDD;					

<b>Itemized Property Costs- based on Marshall &amp; Swift</b>					
From Table: MAIN Section 2			Record # 6969		
<b>Property ID:</b>	5B1601140050	<b>Building Type:</b>	Single		
<b>Owner Name:</b>	WORDEN ROBIN M & MELISSA G	<b>Quality:</b>	3.00	AVERAGE	
<b>Parcel Address:</b>	GLACIER HWY	<b>Construction:</b>	Studded		
<b>Year Built:</b>	2004	<b>Style:</b>	2 Story		
<b>Effective Age:</b>	1	<b>Total Area:</b>	800		
<b>Bedrooms:</b>	2	<b>Total Rooms:</b>	5		
Item	Description	Percent	Quantity	Unit Cost	Total
<b>BASE COST</b>					
Exterior Wall #1:	MtlSide / Ht=8	100.00		52.98	
<b>ADJUSTMENTS</b>					
Roof #1:	Mtl-Sms	100.00		0.49	
Subfloor	Wood				
Floor cover #1:	Allowance	100.00		2.31	
Floor Insulation	Moderat		800.00	0.76	
Heat/cooling #1:	HW BB	100.00		1.27	
Energy Adjustment	Excellent			2.88	
<b>ADJUSTED BASE COST</b>			800.00	60.69	48,552
<b>ADDITIONAL FEATURES</b>					
Fixtures (beyond allowance of 8)			-3.00	750.00	-2,250
Roughins (beyond allowance of 1)				280.00	
Porch #1:	WoodDck/WdRI (MF)		48.00	3.86	185
Garage/Shed #1:	Builtin/MtlSide/No Data		2,400.00	10.56	25,344
<b>Subtotal</b>					71,831
Local multiplier		1.43			
Current multiplier		1.85			
<b>REPLACEMENT COST NEW</b>					190,029
Condition	Average	Percent			
Physical depreciation		1.00			-1,900
Functional depreciation					
Economic depreciation					
<b>REPLACEMENT COST NEW LESS DEPRECIATION</b>					188,100
<b>TOTAL PROPERTY VALUE</b>					535,500
<b>NOTES</b>					

Itemized Property Costs- based on Marshall & Swift					
From Table: MAIN Section 1				Record # 6985	
<b>Property ID:</b>	5B1601140050	<b>Building Type:</b>	Single		
<b>Owner Name:</b>	WORDEN ROBIN M & MELISSA G	<b>Quality:</b>	3.00	AVERAGE	
<b>Parcel Address:</b>	GLACIER HWY	<b>Construction:</b>	Studded		
<b>Year Built:</b>	1951	<b>Style:</b>	1 Story		
<b>Effective Age:</b>	4	<b>Total Area:</b>	1376		
<b>Bedrooms:</b>	3	<b>Total Rooms:</b>	7		
Item	Description	Percent	Quantity	Unit Cost	Total
<b>BASE COST</b>					
Exterior Wall #1:	VnlSide / Ht=8	100.00		48.02	
<b>ADJUSTMENTS</b>					
Roof #1:	Mtl-Pre	100.00		1.00	
Floor cover #1:	Allowance	100.00		2.31	
Heat/cooling #1:	Elec BB	100.00		-0.16	
Energy Adjustment	Good			1.28	
<b>ADJUSTED BASE COST</b>			1,376.00	52.45	72,171
<b>ADDITIONAL FEATURES</b>					
Fixtures (beyond allowance of 8)				750.00	
Roughins (beyond allowance of 1)			1.00	280.00	280
Features #1:	Pellet Stove		1.00	2,000.00	2,000
Features #2:	Monitor		1.00	2,000.00	2,000
Porch #1:	WoodDck/WdRI (MF)		163.00	3.56	580
Garage/Shed #1:	Carport/No Data/No Data		396.00	7.10	2,812
<b>Subtotal</b>					79,842
Local multiplier		1.43			
Current multiplier		1.70			
<b>REPLACEMENT COST NEW</b>					194,096
Condition	Average	Percent			
Physical depreciation		4.00			-7,764
Functional depreciation					
Economic depreciation					
<b>REPLACEMENT COST NEW LESS DEPRECIATION</b>					186,300
<b>LAND PRICES</b>	Calc Method	Size	Grade	Adj. Rate	
Standard	Site	26136.00	209.10	209,100.00	209,100
<b>SITE IMPROVEMENTS</b>					
	Quantity	Quality			
City Water	No Data	No Data			
City Sewer	No Data	No Data			
<b>SUB-TOTAL THIS SECTION</b>					395,400
<b>NOTES</b>					
BLOCK 41 LOT 3 & 4 FRACTION OF;11/27/02 per stat warr deed dtd 11/12/02; 8/18/04 new shop addr 9331 per JSG/CDD;					

Estimate Number : 0  
 Parcel Number : 5b1601140050  
 Property Owner : Worden Robin & Melissa  
 Property Address : 9333 Glacier Hwy  
 Property City : Juneau  
 State/Province : Alaska  
 ZIP/Postal Code : 99801

**Section 1**

**Occupancy**

	<u>Class</u>	<u>Height</u>	<u>Rank</u>
75% Storage Garage	Wood or steel framed exterior walls	24.00	2.0
25% Luxury Apartment	Wood or steel framed exterior walls	8.00	2.0
Total Area	: 3,200		
Number of Stories (Building)	: 2.00		
Number of Stories (Section)	: 1.00		
Shape	: 2.00		

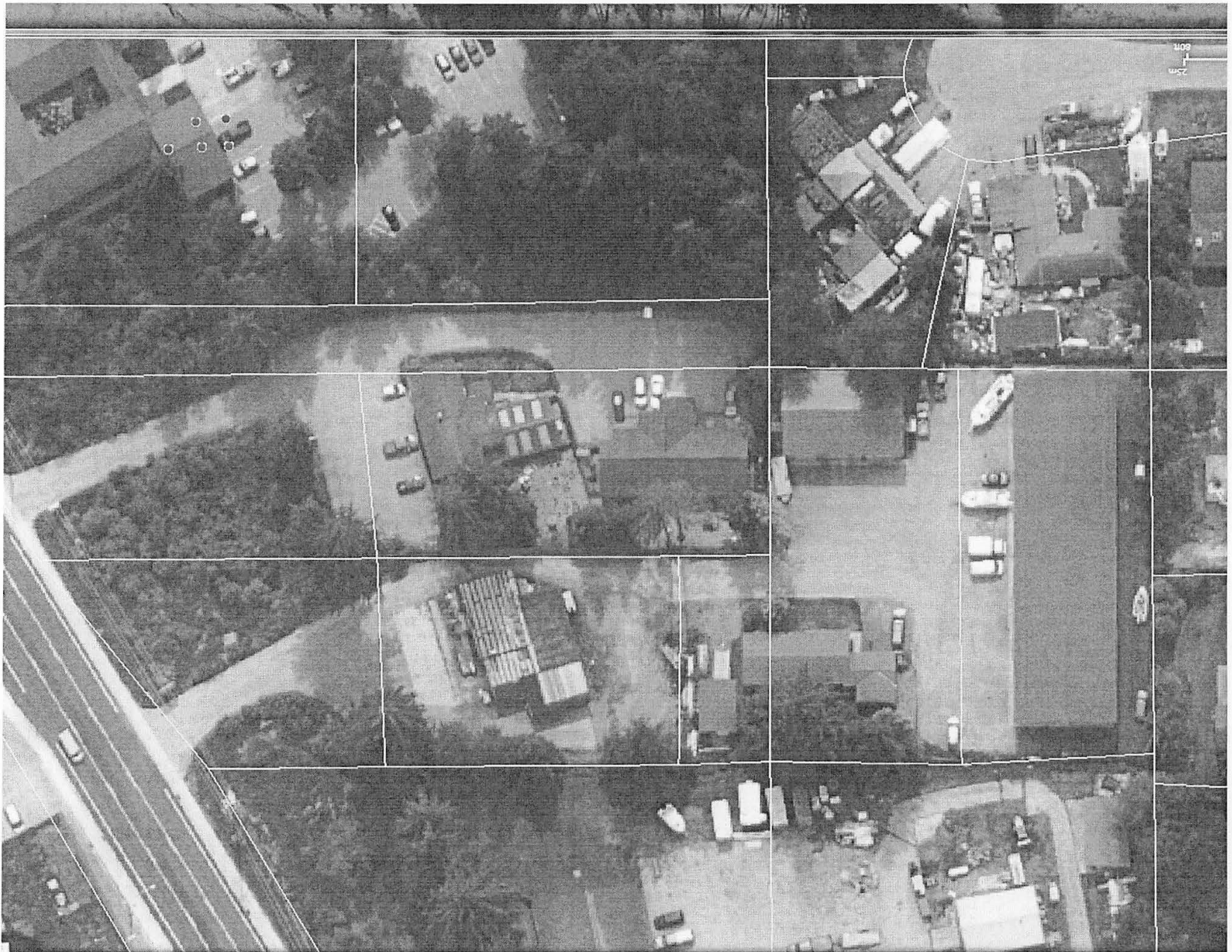
**Components**

	<u>Units/%</u>	<u>Other</u>
Exterior Walls:		
Stud -Metal Siding	100%	
HVAC (Heating):		
Space Heater	75%	
Hot Water	25%	
Land and Site:		
Site Value	209,100	

Cost as of 01/2006

	<u>Units/%</u>	<u>Cost</u>	<u>Total</u>
Basic Structure			
Base Cost	3,200	65.48	209,536
Exterior Walls	3,200	12.62	40,384
Heating & Cooling	3,200	6.81	21,800
Basic Structure Cost	3,200	84.91	271,720
Extras			
Kitchen	1	5,000.00	5,000
Deck	48	12.50	600
Residential House			
Replacement Cost New	3,200	86.66	277,320
Miscellaneous			
Site Value			209,100
Total Cost	3,200	152.01	486,420
Rounded to Nearest	100		486,400

Cost Data by Marshall & Swift



75% L  
52.8  
2  
183,191  
29,134

2  
151,520  
21,780



**PLANNING COMMISSION**  
**NOTICE OF DECISION**

Date: July 28, 2004

File No.: USE2004-00034

Rob Worden  
P.O. BOX 32884  
Juneau, AK 99803-2884

Application For: A Conditional Use permit to allow the construction of a storage shop with an apartment.

Legal Description: Mendenhall Acres, Block 41, Lot 3 Fr

Parcel Code No.: 5-B16-0-114-005-0

Hearing Date: July 27, 2004

The Planning Commission, at its regular public meeting, adopted the analysis and findings listed in the attached memorandum dated July 21, 2004, and approved the storage shop and apartment to be conducted as described in the project description and project drawing submitted with the application and with the following conditions:

1. Wheel stops are to be provided for the applicant's proposed parking prior to issuance of a Certificate of Occupancy, as shown on the site plan. The accessible space and aisle must have blue wheel stops.
2. Finished floor elevation must be certified above an elevation of 26' mllw, due to project's proposed location within an A2 Flood Zone, and pursuant to §49.70.400 of CBJ Title 49.
3. To ensure access for emergency vehicles, recording of the proposed easement to the south of Valley Paint shall be required prior to Certificate of Occupancy.
4. Due to an eagle's nest within 270' of the proposed construction site, the applicant shall either seek a variance for CBJ §49.70.310, requiring a 330' buffer around an eagle's nest, or wait to begin construction until after August 31, 2004.
5. Strict adherence to the submitted lighting plan shall be required. Any changes to such plan must be approved by CDD.
6. To help buffer between the Light Commercial and D-5 Residential Zone, sight-obscuring fencing approved for appearance and function by CDD, shall be provided along the west lot line, or the west lot line of the adjacent parcel.

155 So. Seward Street, Juneau, Alaska 99801-1397

Rob Worden  
File No.: USE2004-00034  
July 28, 2004  
Page 2 of 2

Attachments: July 21, 2004, memorandum from Matthew Halitsky, Community Development to the CBJ Planning Commission regarding USE2004-00034.

This Notice of Decision constitutes a final decision of the CBJ Planning Commission. Appeals must be brought to the CBJ Assembly in accordance with CBJ §01.50.030. Appeals must be filed by 4:30 P.M. on the day twenty days from the date the decision is filed with the City Clerk, pursuant to CBJ §01.50.030 (c). Any action by the applicant in reliance on the decision of the Planning Commission shall be at the risk that the decision may be reversed on appeal (CBJ Sec. 49.20.120).

Effective Date: The permit is effective upon approval by the Commission  
July 27, 2004.

Expiration Date: The permit will expire 18 months after the effective date, or January 27, 2006, if no Building Permit has been issued and substantial construction progress has not been made in accordance with the plans for which the development permit was authorized. Application for permit extension must be submitted thirty days prior to the expiration date.

Project Planner: Matthew Halitsky  
Matthew Halitsky, Planner

for M. Dybdahl  
Johan Dybdahl, Chairman  
Planning Commission

Filed With City Clerk  
Jaurie J. Aice  
7/30/2004

cc: Plan Review

**NOTE:** The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this development project. ADA regulations have access requirements above and beyond CBJ - adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center 1 (800) 949-4232, or fax (360) 438-3208.



**BOARD OF ADJUSTMENT**  
**NOTICE OF DECISION**

Date: August 11, 2004

File No.: VAR2004-00037

Rob Worden  
PO Box 32884  
Juneau, AK 99803

Application For: A variance to allow construction near an eagle's nest prior to August 31.

Legal Description: Mendenhall Acres Block 41 Lots 3 & 4

Parcel Code No.: 5-B16-0-114-005-0

Hearing Date: August 10, 2004

The Board of Adjustment, at its regular public meeting, adopted the analysis and findings listed in the attached memorandum dated August 3, 2004 and approved the Variance to be conducted as described in the project description and project drawing submitted with the application.

Attachment: August 3, 2004, memorandum from Matthew Halitsky, Community Development to the CBJ Planning Commission regarding VAR2004-00037.

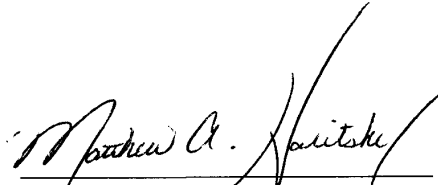
This Notice of Decision constitutes a final decision of the CBJ Planning Commission. Appeals must be brought to the CBJ Assembly in accordance with CBJ §01.50.030. Appeals must be filed by 4:30 P.M. on the day twenty days from the date the decision is filed with the City Clerk, pursuant to CBJ §01.50.030 (c). Any action by the applicant in reliance on the decision of the Planning Commission shall be at the risk that the decision may be reversed on appeal (CBJ Sec. 49.20.120).

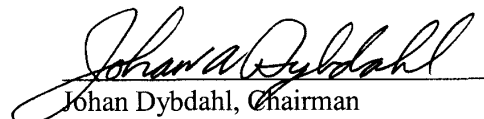
Effective Date: The permit is effective upon approval by the Commission.  
August 10, 2004

Expiration Date: The permit will expire 18 months after the effective date or February 10, 2006, if no Building Permit has been issued and substantial construction progress has not been made in accordance with the plans for which the development permit was authorized. Application for permit extension must be submitted thirty days before the permit expires.

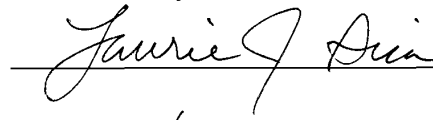
Rob Worden  
File No.: VAR2004-00037  
August 11, 2004  
Page 2 of 2

Project Planner:

  
Matthew Halitsky, Planner

  
Johan Dybdahl, Chairman  
Planning Commission

Filed With City Clerk

  
8/17/04

cc: Plan Review

**NOTE:** The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this development project. ADA regulations have access requirements above and beyond CBJ-adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA-trained architect or other ADA trained personnel with questions about the ADA: Department of Justice - 202-272-5434, or fax 202-272-5447, NW Disability Business Technical Center - 1-800-949-4232, or fax 360-438-3208.

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**2006-007294-0**

Recording Dist: 101 - Juneau  
10/5/2006 10:22 AM Pages: 1 of 7

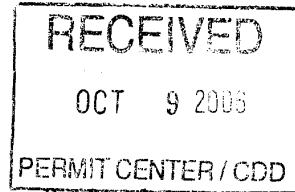
This instrument has been recorded by  
TITLE INSURANCE COMPANY as an  
error in title only. It has not  
been amended as to its effect, if  
any, on the title of the estate herein.



CC

**EASEMENT AGREEMENT**

THIS AGREEMENT IS MADE between **WORDEN HOMES, INC.,** an Alaska corporation, of P.O. Box 32884, Juneau, Alaska 99803 (hereinafter "Parcel 1 Owner") and **WORDEN HOMES, INC.,** an Alaska corporation, of P.O. Box 32884, Juneau, Alaska 99803 (hereinafter "Parcel 2 Owner").



**RECITALS**

A. Worden Homes, Inc., is the owner of the following described real property:

The East 100.00 feet of Three (3), and the West 50.00 feet of the North 108.00 feet of Lot Four (4), Block Forty-One (41), Mendenhall Acre Tracts Juneau Recording District, First Judicial District, State of Alaska.

(hereinafter "Parcel No. 1").

B. Worden Homes, Inc., is the owner of the following described real property:

The West 105.00 feet of Three (3), Block Forty-One (41), Mendenhall Acre Tracts Juneau Recording District, First Judicial District, State of Alaska.

(hereinafter "Parcel No. 2").

C. Parcel 2 Owner is constructing a nine (9) unit building which upon completion they intend to submit to the provisions of AS 34.08 for the purpose of creating business condominium units ("Condominium Project").

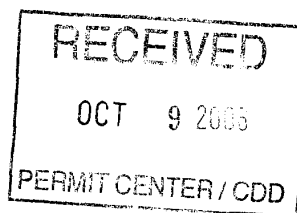
D. An easement to provide ingress and egress to the Condominium Project is needed across Parcel 1 from an extension of the ingress and egress easement located

along the Northerly twenty feet (20.0') of that part of Lots 4 and 5, Block 41, Mendenhall Acres Tracts according to plat recorded in Deed Book 30 at Page 343, Juneau Recording District, First Judicial District, State of Alaska, described in the Easement Agreement between Charles T. Williams and Worden Homes, Inc., recorded simultaneously herewith.

E. An easement to provide for utilities to the Condominium Project is also needed across a portion of Parcel 1.

NOW THEREFORE, the parties agree as follows:

**AGREEMENT**



1. The above referenced recitals set forth in Paragraphs A, B, C, D and E above are hereby restated and incorporated by reference.

2. Parcel 1 Owner hereby grants to Parcel 2 Owner a perpetual easement twenty feet (20.0') in width for ingress and egress across the following described portion of Parcel No. 1:

The East 20.0 feet of the West 50.0 feet of the North 108.0 feet of Lot Four (4), the South 20.0 feet of the West 50.00 feet of the North 108.0 feet of Lot Four (4), and the South 20.0 feet of the North 108.0 feet of the East 100.0 feet of Lot Three (3), Block Forty-one (41), Mendenhall Acre Tracts, Juneau Recording District, First Judicial District, Sate of Alaska, as the same is delineated on Exhibit A attached hereto.

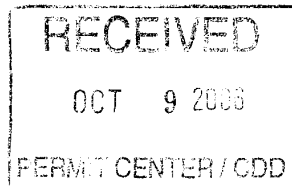
3. The purpose of the easement granted from Parcel 1 Owner to Parcel 2 Owner is to allow ingress and egress to Parcel 2 from an extension of the ingress and egress easement located on the Northerly 20.0' of Lots 4 and 5, Block 41, Mendenhall Acres Tracts according to plat recorded in Deed Book 30 at Page 343, Juneau Recording



District, First Judicial District, State of Alaska, described in the Easement Agreement between Charles T. Williams and Worden Homes, Inc., recorded simultaneously herewith. Parcel 1 Owner and Parcel 2 Owner agree that at no time will cars, boats, trailers or vehicles of any kind be parked in such a manner as to block any part of the driveway.

4. Parcel 1 Owner and Parcel 2 Owner agree to be jointly responsible for all costs associated with maintenance of the driveway located on the above described easement, including but not limited to development, grading, additional gravel and/or asphalt, snow removal, and all maintenance necessary to maintain the roadway in a safe, driveable condition.

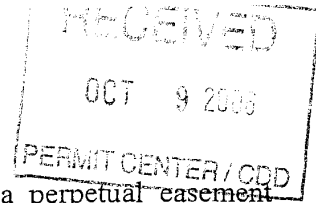
5. Pursuant to the provisions of the Easement Agreement between Charles T. Williams and Worden Homes, Inc., recorded simultaneously herewith, Parcel 1 Owner and Parcel 2 Owner agree that if Charles T. Williams relocates the existing commercial structure located on that portion Lots 4 and 5, Block 41, Mendenhall Acres Tracts according to plat recorded in Deed Book 30 at Page 343, Juneau Recording District, First Judicial District, State of Alaska, described in said agreement, that the ingress and egress easement created herein as it relates to the East 20.0 feet of the West 50.0 feet of the North 108.0 feet of Lot Four (4), Block Forty-one (41), Mendenhall Acre Tracts, will be automatically vacated upon recording of a notice defining the location of such alternate access.



Robin M. Worden, Easement Agreement, \_\_\_\_\_, 10/4/2006, Page 3 of 6



3 of 7  
2006-007294-0



6. Parcel 1 Owner hereby grants to Parcel 2 Owner a perpetual easement twenty feet (20.0') in width for utilities, including, but not limited to, sewer, water and electricity, in, over, under and across the following described portion of Parcel No. 1:

The South 20.0 feet of the West 50.00 feet of the North 108.0 feet of Lot Four (4), and the South 20.0 feet of the North 108.0 feet of the East 100.0 feet of Lot Three (3), Block Forty-one (41), Mendenhall Acre Tracts, Juneau Recording District, First Judicial District, State of Alaska, as the same is delineated on Exhibit B attached hereto.

7. The purpose of the easement granted from Parcel 1 Owner to Parcel 2 Owner is to allow installation of utilities, whether above ground or under ground, for the benefit of the Condominium Project to be constructed on Parcel 2.

8. The Parcel 2 Owner shall be responsible for all costs associated with installation of said utilities to the Condominium Project.

9. The easements created herein shall be perpetual in nature and shall run with the land.

10. The considerations for the granting of this easement are the mutual promises made by each party to the other and \$1.00, receipt of which is hereby acknowledged.

11. A copy of this agreement shall be recorded with the District Recorder's Office, First Judicial District at Juneau.

12. This Agreement embodies the entire agreement and understanding between the parties and supersedes all prior agreements and understandings relating to the subject matter hereof.

13. If any provision of this Agreement or any application thereof shall be invalid or unenforceable, the remainder of this Agreement and any other application of such provision shall not be affected thereby.

14. If an action or proceeding is brought in connection with this agreement, the successful or prevailing party shall be entitled to recover reasonable attorney's fees, court



costs, and other reasonable fees and costs incurred in that action or proceeding (whether at trial, on appeal, and/or in a bankruptcy or similar proceeding) and in enforcing any judgment rendered thereon, in addition to any other relief to which it may otherwise be entitled.

15. This Agreement shall be construed and interpreted in accordance with, and governed and enforced in all respects by, the laws of the State of Alaska.

EXECUTED on the date written below.

Parcel 1 Owner

**WORDEN HOMES, INC., an Alaska corporation**

Date: 10/04/06

By: [Signature]  
Rob M. Worden, President

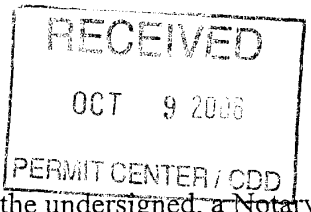
Parcel 2 Owner

**WORDEN HOMES, INC., an Alaska corporation**

Date: 10/04/06

By: [Signature]  
Rob M. Worden, President

STATE OF ALASKA )  
: ss  
FIRST JUDICIAL DISTRICT )



On this 4 day of October, 2006, before me, the undersigned, a Notary Public in and for the State of Alaska, duly commissioned and sworn, personally appeared Rob M. Worden, to me known to be the President, of **Worden Homes, Inc.**, the corporation that executed the foregoing instrument, and he acknowledged the said instrument to be the free and voluntary act and deed of said corporation, for the uses and purposes therein mentioned, and on oath stated that he is authorized to execute the said instrument and that the seal affixed (if any) is the corporate seal of said corporation, as to Parcel 1 Owner.

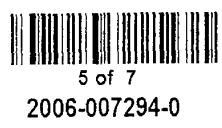
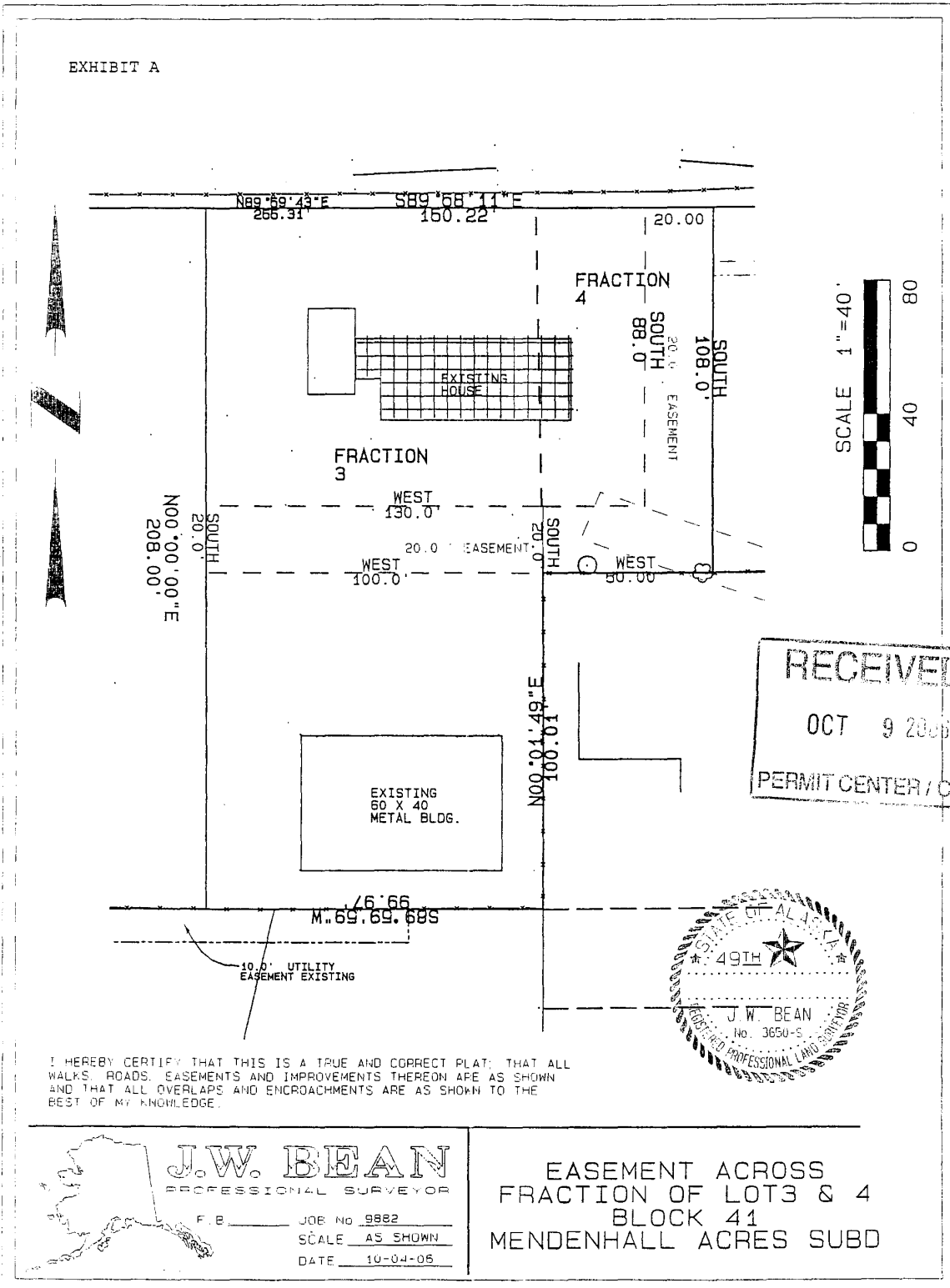






EXHIBIT A



I HEREBY CERTIFY THAT THIS IS A TRUE AND CORRECT PLAT; THAT ALL WALKS, ROADS, EASEMENTS AND IMPROVEMENTS THEREON ARE AS SHOWN AND THAT ALL OVERLAPS AND ENCROACHMENTS ARE AS SHOWN TO THE BEST OF MY KNOWLEDGE.


**J.W. BEAN**  
 PROFESSIONAL SURVEYOR  
 F. B. \_\_\_\_\_ JOB No. 9882  
 SCALE AS SHOWN  
 DATE 10-04-06

EASEMENT ACROSS  
 FRACTION OF LOT 3 & 4  
 BLOCK 41  
 MENDENHALL ACRES SUBD

  
 7 of 7  
 2006-007294-0

Presented by: The Manager  
Introduced: 06/08/2015  
Drafted by: A. G. Mead

**ORDINANCE OF THE CITY AND BOROUGH OF JUNEAU, ALASKA**

**Serial No. 2015-03(c)(am)**

**An Ordinance Amending the Land Use Code.**

BE IT ENACTED BY THE ASSEMBLY OF THE CITY AND BOROUGH OF JUNEAU, ALASKA:

**Section 1. Classification.** This ordinance is of a general and permanent nature and shall become a part of the City and Borough of Juneau Municipal Code.

**Section 2. Amendment of Section.** CBJ 49.10.130, Meetings, is amended to read:

**49.10.130 Meetings.**

- (a) Regular meetings shall be held on the second and fourth Tuesday of each month.
- (b) Special meetings may be called by the chair or any three members of the commission. Public notice of special meetings shall be made 24 hours in advance and shall be supplied to the local news media and posted on the municipal bulletin board. Commission members will be notified by the department.
- (c) Public notice for all permits and other land use ordinance actions shall be according to the requirements established for such actions.
- (d) Meetings shall be conducted under Robert's Rules of Order, as modified by the commission.
- (e) The commission may, by motion, establish its own rules of procedure and committees, meeting times, dates and places, media for public notice, development application forms, referral and review agencies and procedures, and any other matter reasonably necessary or desirable for the full and complete conduct of its duties pursuant to this title and any other provision of law.

//

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read:

**49.10.770 Meetings.**

(a) *Regular meetings.* The wetlands review board shall hold one regular meeting each month as necessary to conduct board business.

(b) *Special meetings.* The wetlands review board may hold special meetings upon the call of the chair or any two members. At least 24 hours before the meeting, personal notice shall be given to each board member designating the time, place, and purpose of the special meeting, or written notice shall be left at each member's usual place of residence. At least 24 hours before the meeting, copies of the notice shall also be delivered to the newspapers of general circulation in the municipality and to the commercial radio and television stations operating in the municipality.

(c) *Public notice.* No business may be transacted at any special meeting except as stated in the notice of the meeting. All meetings of the wetlands review board shall be publicly noticed in the same manner as other City and Borough boards and commissions, and shall be conducted in accordance with the Alaska Open Meetings Act.

**Section 4. Amendment of Section.** CBJ 49.10.790, Rules of Procedure, is amended to read:

**49.10.790 Rules of Procedure.**

Meetings shall be conducted under Robert's Rules of Order and such additions or amendments to the rules as may be adopted by the wetlands review board.

**Section 5. Amendment of Article.** Chapter 49.15, Article I In General, is amended by adding a new section to read:

**49.15.150 Application cancellation and withdrawal.**

(a) A permit application may be cancelled for inactivity if an applicant fails to respond to the department's written request for revisions, corrections, or additional information within 180 days of the date of the request. The director may extend the response period up to an additional 180 days. If an application is cancelled due to inactivity, the application fee shall be forfeited.

(b) For an application filed prior to the effective date of this ordinance, the director shall assess the status of the application. If the director determines the application is incomplete, the applicant shall be informed in writing of the additional information needed and that the application will be cancelled for inactivity if the applicant fails to provide the requested

information within 180 days from the date of notice. The director shall not extend the response period beyond the initial 180 days from the date of notice.

(c) A development permit shall become void, and the application fee forfeited, 18 months after its effective date if no associated building permit, right-of-way permit or similar permit for construction has been issued and substantial construction progress pursuant thereto made, or if no plat has been issued in accordance with the plans for which the development permit was authorized. A development permit shall become void if all building permits issued for the development expire or become void.

(d) An applicant or property owner may withdraw a permit application at any time. If an application is withdrawn less than seven days before the public hearing on the application, the application fee shall be forfeited.

**Section 6. Amendment of Section.** CBJ 49.15.230, Public notice, is amended to read:

**49.15.230 Public notice.**

The purpose of the following public notice requirements is to reasonably inform interested parties that an application or matter is scheduled to be considered by the planning commission at a specific date, time, and place. The public notice must generally describe the application or matter. Unless otherwise provided, public notice of planning commission consideration of development permits and rezonings shall be provided as follows:

- (1) Permit consideration shall be included as an item in the posted agenda.
- (2) Notice of the commission meeting and the agenda item shall be published in a newspaper of general circulation in the City and Borough for a minimum of ten days prior to the date of the meeting.
- (3) The developer shall post a sign at the site or other location approved by the director at least 14 days prior to the meeting. The sign shall be visible from a public right-of-way. Signs shall be between four square feet and 32 square feet in area, shall have a red background, and shall indicate in white lettering, 216-point font or larger, that a development permit or rezoning, as applicable, has been sought for the site, the date of the hearing, and that further information is available from the director. The developer shall maintain the sign and shall remove it within 14 days after final action on the application.
- (4) The director shall mail notice of the application and the public hearing to the owners of record of all property and all neighborhood associations listed with the municipal clerk in accordance with CBJ 11.35 located within 500 feet of the property subject to the permit or rezoning. The actual cost of mailing shall be paid by the applicant.

receipt requested of the application and the initial meeting thereon to each tenant of any multifamily residential development for which the application seeks a change in use.

(6) The director may require more than one sign and may mail notice to additional owners of record of properties beyond 500 feet of the property under section (4) upon a determination that such expanded notice is required in order to provide reasonable public notice.

(7) The director may conduct one or more neighborhood meetings prior to the commission meeting. The purpose of a neighborhood meeting is to make application materials available to interested parties, to solicit input regarding an application, and for the department to describe the application review process.

**Section 7. Amendment of Section.** CBJ 49.15.239, Effective date, is repealed and reenacted to read:

**49.15.239 Effective date.**

(a) Major development permits and other planning commission decisions are effective on the date the notice of decision is filed with the municipal clerk.

(b) Minor development permits and other director approvals are effective on the date the director signs the permit.

**Section 8. Repeal of Section.** CBJ 49.15.240 Development permit expiration, is repealed and reserved.

**Section 9. Amendment of Section.** CBJ 49.15.330, Conditional use permit, is amended to read:

**49.15.330 Conditional use permit.**

(a) *Purpose.* A conditional use is a use that may or may not be appropriate in a particular zoning district according to the character, intensity, or size of that or surrounding uses. The conditional use permit procedure is intended to afford the commission the flexibility necessary to make determinations appropriate to individual sites. The commission may attach to the permit those conditions listed in subsection (g) of this section as well as any further conditions necessary to mitigate external adverse impacts. If the commission determines that these impacts cannot be satisfactorily overcome, the permit shall be denied.

...

(g) *Specific conditions.* The commission may alter the director's proposed permit conditions, impose its own, or both. Conditions may include one or more of the following:

...

(4) *Dedications.* Conveyance of title, easements, licenses, or other property interests to government entities, private or public utilities, owners' associations, or other common entities may be required.

...

**Section 10. Repeal and Reenactment of Article.** CBJ 49.15, Article IV Minor and Major Subdivisions, is repealed in its entirety and reenacted to read:

## **Article IV. Subdivisions**

### **Division 1. Permits**

49.15.400 Purpose and applicability.  
49.15.401 Minor subdivisions.  
49.15.402 Major subdivisions.  
49.15.403 Lot consolidations.  
49.15.404 Public way vacations.

### **Division 2. Plat Requirements**

49.15.410 Sketch plat.  
49.15.411 Preliminary plat requirements.  
49.15.412 Final plat requirements.  
49.15.413 Plat expiration.  
49.15.414 Plat effective date.  
49.15.415 Recorded plats legalized.

### **Division 3. Design**

49.15.420 Lots.  
49.15.421 Cul-de-sac lots.  
49.15.422 Public use lots.  
49.15.423 Panhandle lots.  
49.15.424 Access.

### **Division 4. Privately Maintained Access in Rights-of-Way**

49.15.430 Purpose.  
49.15.431 Application.  
49.15.432 Department action.  
49.15.433 Design criteria.  
49.15.434 Access agreement.

## **Division 5. Remote Subdivisions**

- 49.15.440 Remote subdivisions.
- 49.15.441 Applicability.
- 49.15.442 Improvement standards.

## **Division 6. Survey and Monumentation Standards**

- 41.15.450 Licensed surveyor required.
- 49.15.451 Boundary lines – basis of bearing.
- 49.15.451 Accuracy of survey.
- 49.15.453 Monumentation.

## **Division 1. Permits**

### **49.15.400 Purpose and applicability.**

(a) The purpose of this article is to facilitate the subdivision of land to promote the public health, safety, and general welfare of the citizens of the CBJ in accordance with The Comprehensive Plan of the City and Borough of Juneau, Alaska. To meet this objective, this article is intended to:

- (1) Establish a process that facilitates the fair and predictable division of land;
- (2) Encourage the efficient and cost-effective provision of public services;
- (3) Address traffic and circulation to reduce congestion;
- (4) Provide for flexibility in the division and establishment of residential and commercial lots;
- (5) Establish procedures for subdividing land to accommodate a variety of housing types; and
- (6) Accomplish uniform monumentation for land subdivision and facilitate accurate legal descriptions for land conveyance.

(b) This article shall apply to any division or redivision of real property within the City and Borough. This article shall not apply to cemetery plots or land leases.

- (a) A minor subdivision permit is required for the following:
- (1) *Thirteen or fewer lots.* A minor subdivision permit is required for all subdivisions resulting in thirteen or fewer lots. No minor subdivision application may be filed or approved:
    - (A) If it is a part of or is made in connection with a present or projected major subdivision development as determined by the director;
    - (B) If the property is within a parcel any part of which has been subdivided by a minor subdivision within the preceding 24 months, unless the proposed subdivision creates no new lots; or
    - (C) For the subdivision of a parcel any part of which is within a landslide or avalanche area identified as such in the comprehensive plan, attachments thereto, other adopted maps, or in accordance with CBJ 49.70.300.
  - (2) *Accretion surveys.* The minor subdivision process shall be used for the review and recording of accretion surveys, regardless of the number of lots affected.
  - (3) *Conservation lot subdivisions.* The minor subdivision process shall be used for the review and recording of conservation lot subdivisions, regardless of the number of lots affected.
  - (4) *Lot line adjustments.* The minor subdivision process shall be used to review adjustments to any number of lot boundary lines if the subdivision does not result in an increase in the number of lots.
  - (5) *Right-of-way acquisition plats.* The minor subdivision process shall be used for the review and recording of right-of-way acquisition plats filed by an agency of government regardless of the number of lots affected, in accordance with CBJ 49.15.590 unless such acquisition creates any nonconforming lot, use, or structure.
- (b) *Pre-application conference.* A pre-application conference is required prior to submitting an application for a minor subdivision. A sketch plat may be required at the director's discretion.
- (c) *Preliminary plat.* The director shall be responsible for review and approval of the application for a preliminary plat.
- (1) An applicant for a preliminary plat shall submit an application on a form provided by the department, accompanied by a draft preliminary plat and the appropriate fee. The draft plat shall meet the standards set forth in CBJ 49.15.411.

of the application to the owners of abutting property following the director's determination that the application is complete. For subdivisions of five to thirteen lots, the department shall mail notice of the application to the owners of record of all property, and all neighborhood associations listed with the municipal clerk in accordance with CBJ 11.35, located within 500 feet of the property being subdivided, following the director's determination that the application is complete. The actual cost of mailing shall be paid by the applicant.

(3) The director or applicant may request review by the subdivision review committee.

(4) *Review and approval.* The director shall approve the application if the following criteria are met:

(A) The preliminary plat complies with CBJ 49.15.411;

(B) The applicable subdivision development standards of this title are met, or can reasonably be met with conditions;

(C) The proposed subdivision will provide building sites suitable for the zoning district;

(D) The proposed street names are unique in the City and Borough or are continuations of existing streets and are otherwise acceptable; and

(E) The director of engineering and public works has reviewed the application and determined that:

(i) The subdivision can be constructed to conform to applicable drainage and water quality requirements;

(ii) The streets, pioneer paths, and pedestrian ways as proposed accommodate anticipated traffic, align, and, where appropriate, connect with streets and pedestrian ways serving adjacent properties;

(iii) Any proposed improvements conform to the requirements of this title and can feasibly be constructed in accordance with this title; and

(iv) Where public sewer is not required, the applicant has shown that soils are suitable for individual on-lot wastewater treatment and disposal or has shown the feasibility of alternative methods for wastewater treatment and disposal.

(5) The director will issue and sign a notice of decision listing any conditions or plat notes required for final plat approval. If the preliminary plat is denied, the

applicant may submit a revised plat application, without paying additional application fees, within 180 days from the date of the notice of decision.

(d) *Construction plans.* Upon approval of the preliminary plat, the applicant shall submit complete sets of construction plans for all required improvements to the department for review by the director of engineering and public works for compliance with CBJ 49.35.140.

(e) *Survey and monumentation.* Once the construction plans are approved, the applicant shall complete required surveying and monumentation in accordance with CBJ 49.15, Article IV, Division 6.

(f) *Final plat.* An application for a final plat shall be on a form provided by the department, accompanied by a final plat and the appropriate fee. The director may place conditions upon the granting of final plat approval as are necessary to preserve the public welfare. The application shall be approved if the following criteria are met:

(1) The applicant has complied with any conditions or plat notes required by the director in the notice of decision approving the preliminary plat;

(2) The applicant has constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010; and

(3) The final plat meets the criteria set forth in CBJ 49.15.412.

(g) *Plat recording.*

(1) The director shall sign the plat upon a determination that the final plat meets all of the requirements of this title, that all plat certificates have been signed and notarized, and that all required documents have been submitted for recording with the final plat in accordance with CBJ 49.15.412.

(2) The department shall file the original plat, at the applicant's expense, with the State Recorder's Office at Juneau.

#### **49.15.402 Major subdivisions.**

(a) A major subdivision permit is required for subdivisions resulting in fourteen or more lots.

(b) *Pre-application conference and sketch plat.* A pre-application conference and sketch plat (CBJ 49.15.410) is required prior to submitting an application for a major subdivision.

(c) *Preliminary plat.* The commission shall be responsible for approval of the preliminary plat.

(1) Application for a preliminary plat shall be on a form provided by the department, accompanied by a draft preliminary plat and the appropriate fee. The draft plat shall meet the standards set forth in CBJ 49.15.411.

(2) Public notice of the application shall be provided pursuant to CBJ 49.15.230.

(3) The director or applicant may request review by the subdivision review committee.

(4) The director shall prepare and submit a report to the commission noting any conditions of approval or plat notes recommended and addressing the following criteria:

(A) Whether the preliminary plat complies with CBJ 49.15.411;

(B) Whether the applicable subdivision development standards of this title are met, or can reasonably be met with conditions;

(C) Whether the proposed subdivision will provide building sites suitable for the zoning district;

(D) Whether the proposed street names are unique in the City and Borough or are continuations of existing streets and are otherwise acceptable;

(E) Whether the director of engineering and public works has reviewed the application and determined that:

(i) The subdivision can be constructed to conform to applicable drainage and water quality requirements;

(ii) The streets, pioneer paths, and pedestrian ways as proposed accommodate anticipated traffic, align, and, where appropriate, connect with streets and pedestrian ways serving adjacent properties;

(iii) Any proposed improvements conform to the requirements of this title and can feasibly be constructed in accordance with this title; and

(iv) Where public sewer is not required, the applicant has shown that soils are suitable for individual on-lot wastewater treatment and disposal or has shown the feasibility of alternative methods for wastewater treatment and disposal.

(5) In issuing its notice of decision on a preliminary plat, the commission may accept, amend, or reject the director's proposed recommendations. The decision of the commission approving or denying a preliminary plat application will be set forth in a notice of decision, and will specify any conditions or plat notes required for final

plat approval. If the preliminary plat is denied, the applicant may submit a revised plat application, without paying additional application fees, within 180 days from the date of the notice of decision.

(d) *Construction plans.* Upon approval of the preliminary plat, the applicant shall submit complete sets of construction plans for all required improvements to the department for review by the director of engineering and public works for compliance with CBJ 49.35.140.

(e) *Survey and monumentation.* Once the construction plans are approved, the applicant shall complete required surveying and monumentation in accordance with CBJ 49.15, Article IV, Division 6.

(f) *Final plat.* An application for a final plat shall be on a form provided by the department, accompanied by a final plat and the appropriate fee. The final plat shall meet the standards set forth in CBJ 49.15.412.

(1) Once the application is deemed complete, the director shall schedule the final plat for commission action. If commission action on the final plat will occur more than 12 months after approval of the preliminary plat, public notice of impending commission action on the final plat may be required.

(2) The director shall prepare and submit a report to the commission that addresses compliance of the final plat with this title and the criteria for final plat approval, and that specifies any conditions of approval or plat notes recommended by the director.

(3) The commission may place conditions upon the granting of final plat commission as are necessary to preserve the public welfare. The commission shall approve the application for a final plat if the following criteria are met:

(A) The applicant has complied with any conditions or plat notes required in the notice of decision approving the preliminary plat;

(B) The applicant has constructed all required improvements or provided a financial guarantee in accordance with CBJ 49.55.010; and

(C) The final plat meets the standards set forth in CBJ 49.15.412.

(g) *Plat recording.*

(1) The chair of the commission shall sign the plat upon a determination that the final plat meets all of the requirements of this title, that all plat certificates have been signed and notarized, and that all required documents have been submitted for recording with the final plat in accordance with CBJ 49.15.412.

(2) The department shall file the original plat, at the applicant's expense, with the State Recorder's Office at Juneau.

**49.15.403 Lot consolidations.**

(a) An application for the consolidation of two or more abutting lots shall be submitted on a form provided by the department along with the application fee. Unless waived by the director, an applicant must also submit a plat prepared by a professional land surveyor licensed to practice in Alaska. If the director determines that a plat is not required, the applicant shall submit a drawing, satisfactory to the director, indicating all existing and proposed lot lines. If a plat is required, the minor subdivision process shall apply.

(b) An application shall be approved if the following criteria are met:

(1) All lots proposed for consolidation are under common ownership;

(2) CDD receives certification from the CBJ Treasurer that all real property taxes and special assessments levied against the property have been paid in full, or, if the certificate is sought between January 1 and the date of levy, that there is on deposit with the Treasurer an amount sufficient to pay estimated real property tax for the current year. Special assessments levied against a parcel to be subdivided must be paid in full prior to issuance of the certificate;

(3) The lots are located in the same zoning district;

(4) Consolidation of the lots will not create a zoning or building code violation; and

(5) The director of engineering and public works has reviewed and approved the lot consolidation proposal for conformity with the requirements of this title.

(c) The director will issue and sign a notice of decision. Upon director approval, the department shall prepare and provide to the applicant a letter of lot consolidation. The letter shall provide for acceptance of the consolidation by notarized signature thereon by the owner or owners of the new lot, and upon such execution, the department shall record the document at the applicant's expense.

**49.15.404 Public way vacations.**

(a) This section applies to petitions to vacate any portion of an existing public way, public easement, or any other area dedicated to the public. This section does not apply to property owned by the City and Borough in its proprietary capacity.

(b) *Pre-application conference.* A pre-application conference is required prior to submitting an application for a public way vacation.

(c) *Application.* Applications for public way vacations shall be submitted on a form provided by the department, and must be accompanied by the following:

- (1) A petition by the City and Borough or a request signed by the owners of a majority of the land fronting the area sought to be vacated;
- (2) A deed, or other sufficiently reliable legal instrument, describing the owners of the land fronting the area sought to be vacated;
- (3) A sketch plat and all relevant submittals required by CBJ 49.15.410 showing the area proposed to be vacated and the proposed configuration of all adjoining parcels that would be modified if the vacation application were approved;
- (4) A deed, or other sufficiently reliable legal instrument, describing how title to the vacated area will be allocated consistent with this section;
- (5) The application fee;
- (6) If required, an appraisal by a qualified appraiser; and
- (7) If required by the director, a traffic impact analysis in accordance with CBJ 49.40, Article III.

(d) *Commission review process.*

- (1) After determining the application is complete, the department shall provide public notice consistent with CBJ 49.15.230.
- (2) The director may transmit copies to other public or private entities that may have an interest in the proposal for their comments.
- (3) The director of engineering and public works shall review the application and present written comments, including any recommended conditions of approval, to the director of community development.
- (4) The director or applicant may request review and comment by the subdivision review committee.
- (5) The director shall submit a recommendation to the commission addressing the following:
  - (A) Whether the area proposed to be vacated is a right-of-way acquired under the former 43 U.S.C. 932 (RS 2477 right-of-way);

(B) Whether there is any current or anticipated future public purpose to retain the area proposed to be vacated;

(C) Whether the proposed vacation will have a detrimental effect on the adjacent property or on the neighborhood; and

(D) Whether the proposed vacation is in the best interest of the public.

(6) The commission shall consider requests to vacate public ways after public hearing. The commission shall presume that all public ways and similar public areas are of value and of benefit to the public. The petitioner has the burden to prove otherwise.

(7) After public hearing, the commission shall make a recommendation to the assembly to approve, approve with modifications, or deny the proposed vacation request. The commission shall prepare written findings in support of its recommendation, which shall be forwarded to the assembly for its consideration. If the commission recommends approval of the request or approval with modifications, the commission must also make the necessary findings to determine how title to the vacated area should be ordered as detailed below.

(A) The title to the public area vacated on a plat attaches to the lot or land bordering the area in equal proportions. If the public area was originally dedicated by different persons, original boundary lines shall be adhered to so that the portion of the public area that lies on each side of the boundary line shall attach to the abutting property on each respective side. The portion of a vacated public area that lies inside the limits of a platted addition attaches to the lots of the platted addition bordering on the area. If a public square is vacated, the title to it vests in the City and Borough. If the property vacated is a lot, title vests in the rightful owner.

(B) If the City and Borough acquired the vacated area for legal consideration, or by express dedication to and acceptance by the City and Borough other than as a subdivision platting requirement, then before final vacation the fair market value of the vacated area shall be deposited with the platting authority to be transferred to the City and Borough upon final vacation as required by CBJ 53.09.600.

(8) If the commission recommends approval of the request or approval with modifications, the director shall forward an ordinance along with the commission's written recommendation to the assembly for its consideration.

(e) *Assembly review.* A vacation is not valid without approval by the assembly in its legislative capacity and the recording of a plat. If the assembly approves the vacation, the assembly shall approve the vacation by ordinance. If the assembly does not approve the

vacation, a subsequent vacation application cannot be filed until one year has elapsed from the date of the commission's recommendation.

(f) If the vacation of public way is approved, the property added to a parcel shall be platted per the subdivision requirements below.

(1) If the request involves a vacation that includes the resubdivision of thirteen or fewer lots, the submittal and platting requirements for a minor subdivision shall apply.

(2) If the request involves a vacation that includes the resubdivision of more than thirteen lots, the submittal and platting requirements for a major subdivision shall apply.

## **Division 2. Plat Requirements**

### **49.15.410 Sketch plat.**

(a) The sketch plat serves the following purposes:

(1) To inform the applicant of the City and Borough's subdivision requirements, public improvement requirements, and platting procedures before substantial costs are incurred by the developer in preparation of a subdivision application;

(2) To inform the department of the applicant's development plans; and

(3) To identify issues with the proposed subdivision, such as issues with the subdivision layout, the extent and nature of required improvements, the location and protection of sensitive areas, impacts to adjoining properties, and traffic, platting, drainage, and utilities requirements.

(b) A sketch plat is required for major subdivisions. A sketch plat may be required, at the director's discretion, for minor subdivisions.

(c) A sketch plat shall include the following:

(1) A scaled drawing of the property, at a scale no smaller than 200 feet to an inch;

(2) The size of the original tract or tracts being subdivided;

(3) A north arrow. The plat shall be oriented with north toward the top of the sheet;

(4) The name of the owner;

- (6) Any existing rights-of-way, easements, or other encumbrances;
- (7) The approximate location of existing structures;
- (8) The approximate location and sizes of existing sewer lines, water lines, culverts, and other underground structures;
- (9) Proposed phasing, if applicable;
- (10) The number, dimensions, and approximate areas of all proposed lots;
- (11) The locations and names of all planned streets or other public ways within the subdivision;
- (12) If the sketch plat submitted covers only a part of the tract under the control of the applicant, the prospective street system of the unplatted part must also be shown;
- (13) The approximate location of any parcels proposed to be set aside for public use or for the use of all the property owners within the proposed subdivision, if applicable;
- (14) Proposed connections to sewer and water or a plan for any on-lot wastewater disposal; and
- (15) Proposed plans for collecting and discharging drainage water.

**49.15.411 Preliminary plat requirements.**

- (a) The preliminary plat shall be prepared by a professional land surveyor, registered in the State of Alaska.
- (b) The preliminary plat shall be submitted on 22 by 34 inch sheets. The director of engineering and public works may approve alternate sheet sizes.
- (c) The preliminary plat shall be drawn with black ink to a scale of one-inch to 100 feet or less, or other suitable scale approved by the director of engineering and public works.
- (d) The preliminary plat shall be oriented with north toward the top of the sheet. A vicinity map shall be located in the upper right-hand corner of the sheet. The vicinity map shall be oriented in the same direction as the plat. A suitable north arrow shall be shown for the plat and vicinity map.

(e) All line work and lettering must be of professional quality, and all line widths and lettering sizes must be of such size that all information can be clearly shown without overlap or confusion.

(f) A preliminary plat shall contain the following information:

(1) An enclosed title block in the lower right-hand corner containing the following information:

- (A) The proposed name of the subdivision;
- (B) The legal description of the parcel to be subdivided including U.S. Survey, U.S. Mineral Survey, A.T.S. number or section, township, and range number, as applicable;
- (C) "City and Borough of Juneau, Alaska";
- (D) "State Recorder's Office at Juneau";
- (E) The date the preliminary plat was prepared and revised;
- (F) The horizontal scale;
- (G) The name and address of the owner of record;
- (H) The case number for the preliminary plat;
- (I) The parcel numbers of the property; and
- (J) The name, address, and telephone number of the surveyor preparing the preliminary plat.

(2) Lot, block, and street information:

- (A) The area of each lot;
- (B) The dimensions in feet and hundredths of a foot;
- (C) An identifying number and letter for lots and blocks;
- (D) Lots numbered consecutively, commencing with the number "1," with no omissions or duplications;
- (E) If the remainder of an original parcel being subdivided is relatively large, it shall be designated as a "tract" with an identifying number;

(F) All parcels of land intended to be dedicated for public use or reserved for the use of all of the property owners in the proposed subdivision shall be shown as lots, and consecutively numbered. The purpose and any conditions or limitations on the use of the parcel shall be noted on the plat;

(G) Abutting properties shall be shown with dashed lines, numbers, and/or letters;

(H) For resubdivisions or public way vacations, the lines and legal description of the previous lots shall be shown with light dashed lines, numbers, and/or letters, or by a separate plat on the same sheet showing the previous lot lines;

(I) The minimum data shown for each curve shall be as follows:

- (i) Length;
- (ii) Central angle;
- (iii) Radius; and
- (iv) Bearing and distance of long chord.

(J) Setbacks shall be shown on all corner lots and any lots with multiple frontage. Setbacks shall be shown on typical lots.

(3) Boundary lines:

(A) All boundary lines of the subdivision with bearings and distances described;

(B) All retraced boundary lines shall show record and measured bearings and distances where they differ. Record dimension information shall be shown within parentheses and include a record source identification;

(C) The exterior boundary lines of the subdivision shall be a solid black opaque line that is of a width that distinguishes it from all other property lines shown on the plat; and

(D) If phasing is proposed, then the boundaries and number of each phase, sequential lot numbering, and a subdivision name consistent with previous phases shall be shown.

(4) Monumentation:

(A) The monuments used to establish the basis of bearing;

- (B) Each monument found or set shall be identified on the plat by a symbol;
  - (C) A complete description of the monument, including type and all information printed on the cap. A typical drawing shall be shown for each type of monument cap set;
  - (D) A legend showing the symbols for all the types of monuments; and
  - (E) The identification, description location, elevation, and datum of the benchmark used to establish vertical control.
- (5) Site access, circulation, and utilities:
- (A) The widths and names of existing rights-of-way within the subdivision and within 100 feet of the subdivision boundary;
  - (B) Proposed rights-of-way, including their widths and proposed names;
  - (C) The grades of existing and proposed streets within these rights-of-way;
  - (D) The width, ownership, use, and record reference of all proposed and existing easements within the subdivision and within 100 feet of the subdivision boundary;
  - (E) The width, ownership, and use of all proposed easements;
  - (F) All proposed and existing easements shall have sufficient dimensions shown to determine their location on the ground;
  - (G) Existing trails or pathways within the subdivision and within 100 feet of the subdivision boundary, including the width of any associated rights-of-way or easements;
  - (H) Proposed trails or pathways and widths of their rights-of-way; and
  - (I) If the plat submitted covers only a part of the tract under the control of the applicant, a sketch plat of the prospective street system of the unplatted part shall be submitted.
- (6) Topographic information:
- (A) For slopes of less than five percent, show one foot contour lines and include spot elevations at all breaks in grade, along all drainage channels or swales, and at selected points not more than 100 feet apart in all directions;

(B) For slopes between five percent and ten percent, show two foot contour lines;

(C) For slopes greater than ten percent, show five foot contour lines;

(D) Every fifth elevation contour shall be distinctive and clearly labeled;

(E) Dashed lines shall represent existing contours;

(F) Mapping shall include any significant features which can materially affect the design of the subdivision, including, but not limited to, structures, fences, walls, and utility poles;

(G) If irregular slopes or special features are present, additional contour information may be required by the director of engineering and public works for planning or construction purposes. Additional required information may include projecting the topography of the site after grading has taken place, showing such items as:

(i) Pad elevations and drainage patterns for each lot;

(ii) Tops and toes of all manufactured slopes, including daylight lines; and

(iii) Existing and proposed retaining wall locations and heights.

(H) For subdivisions located in hillside areas with slopes greater than eighteen percent, additional requirements apply in accordance with CBJ 49.70, Article II.

(7) Sewer and water:

(A) Existing sewer and water mains within the tract with pipe sizes and grades; and

(B) A draft plan for proposed water and sewer lines showing the size, approximate slope, and connection points with elevations for the purpose of determining the feasibility of construction.

(g) *Multisheet plats.* When a plat requires more than one sheet, exclusive of a certificate sheet, an index sheet shall be included. When a plat requires more than three sheets, a cover sheet shall also be included, showing the subdivision title, a key map, and all certificates. Each additional sheet shall include the following data:

- (2) Legend;
  - (3) Surveyor's seal and signature;
  - (4) Title block;
  - (5) Sheet \_\_\_\_\_ of \_\_\_\_\_;
  - (6) Scale;
  - (7) All plat notes; and
  - (8) Vicinity map.
- (h) The preliminary plat shall be submitted with the following required documents:
- (1) A lot closure report; and
  - (2) Disclosure of all known environmental hazards and any proposed mitigation measures recommended in the applicable environmental document.
- (i) *Additional mapping or reports.* If required by this title or by the director, the following additional mapping or reports shall be submitted with the preliminary plat:
- (1) Any portion of a special flood hazard area, landslide or avalanche area, habitat area as defined by CBJ 49.70.310, or watersheds, either existing at the proposed subdivision site or shown on the overlay maps, adopted pursuant to this title, to exist at the proposed subdivision site, must be depicted on the preliminary plat;
  - (2) The boundaries of any wetland areas must be depicted on the preliminary plat. Boundaries must be determined by a person qualified to perform wetland delineations;
  - (3) *Soils report.* A soils report prepared by an engineer licensed by the State of Alaska shall be required if the proposed subdivision is located farther from the existing public sewer system than specified in CBJ 49.35, and the applicant chooses to provide on-lot waste disposal rather than to connect to the public system. A soils report shall include the following:
    - (A) Certification that the proposed lots are large enough and have soil of sufficient permeability to permit the construction of approved waste treatment systems for on-lot waste disposal;

- (B) The location and size of drain fields for each lot;
- (C) The locations and logs of test borings, percolation test results, and a hydrological evaluation of on-site sewage disposal;
- (D) If the soils report indicates that the soils found on the site are not of sufficient permeability or the lots are not large enough to permit the construction of systems for on-lot waste disposal, the size of the proposed lots must be increased or alternate methods for waste disposal proposed; and
- (E) The soils report shall describe the nature of the subsurface soils and any soil conditions that would affect the design of the proposed development. The soils report shall state whether the proposed subdivision plan is feasible and provide general solutions for all known geotechnical conditions or problems.

(4) *Drainage report.* A preliminary report specifying the method by which the applicant proposes to manage surface and subsurface drainage for the subdivision and the effect of such method on adjacent areas. Unlike the drainage plan required by CBJ 49.35.510, the preliminary drainage report does not need to be prepared by a licensed engineer. The report must address the following:

- (A) A calculation of the increase in stormwater runoff resulting from the proposed development as well as the runoff from all drainage areas associated with the site. Runoff calculations shall be based on a fully-developed subdivision and a 25-year storm event;
- (B) How drainage from the proposed subdivision will join an established drainage channel or channels, unless the director of engineering and public works approves use of an alternative drainage way;
- (C) An evaluation of existing drainage ways and structures located between the subdivision and the receiving water body, and verification that the existing drainage ways can accommodate the increased runoff. If the increased runoff cannot be handled, the plan must propose solutions to the problem; and
- (D) All required improvements, on or off site, that are shown on the construction plans in accordance with CBJ 49.35, Article V, and that will be constructed as part of the subdivision.

(5) *Water.*

- (A) For subdivisions of five or more lots, including major subdivisions, the following shall be included, where applicable, in accordance with CBJ 49.15.412:

(i) If a proposed subdivision is located at greater distance from the existing public water system than specified in CBJ 49.35, Article III, and the applicant chooses not to connect to the public system, a statement that the applicant will provide a community water system or that individual wells will be used;

(ii) A report by a registered engineer or geologist that clearly supports the legal and physical availability of adequate water. Methods for proof of water availability and the standards for quantity are listed in CBJ 49.35, Article III; and

(iii) A copy of the State application for a permit to appropriate water in the quantity required to meet the subdivisions demands.

(B) This section does not apply to remote subdivisions unless: the subdivider of the remote subdivision chooses to provide potable water, a public water system is available and the subdivision falls within the criteria outlined in CBJ 49.35.310(a), or the subdivision has four or fewer lots.

(C) The director for minor subdivisions, and the planning commission for major subdivisions, may, for good cause, temporarily waive the requirement to provide a water report and proof of water, and condition the approval of the preliminary plat upon the provision of both documents as part of the final plat application and approval process.

(6) *Erosion control.* A report explaining the method by which the applicant proposes to control erosion and manage runoff, and potential impacts to adjacent properties or water bodies. The report shall include a plan for preservation of ground cover in areas where runoff and resulting erosion need to be minimized.

(7) *Traffic study.* A traffic impact analysis may be required with the preliminary plat in accordance with CBJ 49.40.300.

(8) *Shadow plats.* For subdivisions of five or more lots in transition areas, a shadow plat shall be submitted according to CBJ 49.70.710. The shadow plat shall consist of a sketch superimposed on the proposed subdivision layout. This sketch shall reflect any future resubdivision of the parcels into smaller lots consistent with the higher density and the lot size allowed under the transition zoning.

**49.15.412 Final plat requirements.**

(a) All final plats must meet the requirements set forth in CBJ 49.15.411.

(b) The director for minor subdivisions, and the commission for major subdivisions, may place such conditions upon the granting of final plat approval as are necessary to preserve the public welfare. When such a condition of approval entails a restriction upon the use of all or part of the property being subdivided, a note specifying such restrictions shall be placed on the face of the plat. The note shall constitute a restriction in favor of the municipality and the public, and shall run with the land, enforceable against all subsequent owners. Any such restriction may be enforced against the applicant or any subsequent owner by the municipality, by injunction or other appropriate action, in the same manner as a permit or permit condition, or by any specifically affected member of the public.

(c) Certifications.

(1) The following notarized certificates shall appear on all plats. The certificates shall be certified, dated, and signed before a notary public in accordance with A.S. 09.63, and must contain the relevant form of acknowledgment specified by A.S. 09.63.100.

(A) Ownership Certificate:

I (we)(corporate name) hereby certify that I am (we are)(the corporation is) the owner(s) of the property shown and described hereon and that I (we)(it) hereby adopt this plat of subdivision with my (our)(its) free consent, and dedicate all streets, alleys, walks, parks and other open spaces to public or private use as noted.

(B) Surveyor's certificate:

I, (name), in my capacity as a professional Land Surveyor registered in the State of Alaska, certify that this plat represents the survey made by me or under my direct supervision, that the accuracy of the survey is within the limits required by Title 04 of the Community Development Regulations and Title 49 of the Code of the City and Borough of Juneau, that all dimensional and relative bearings are correct, and that monuments are set in place and noted upon this plat as presented.

(2) The following director's certificate shall appear on minor subdivision plats, signed by the director and attested to by the municipal clerk:

I hereby certify that the plat hereon has been found to comply with Title 49 of the Code of the City and Borough of Juneau and is approved by the City and Borough of Juneau, Department of Community Development, for recording in the office of the Juneau Recording District, Juneau, Alaska.

(3) The following certificate shall appear on all major subdivision plats, signed by the chair of the planning commission and attested to by the municipal clerk.

I hereby certify that the subdivision plat shown hereon has been found to comply with the subdivision regulations of the City and Borough of Juneau, Alaska and that said plat has been approved by the Planning Commission by Plat Resolution

No. \_\_\_\_\_, dated \_\_\_\_\_, 20\_\_\_\_, and that the plat shown hereon has been approved for recording in the office of the District Recording Office, Juneau, Alaska.

(d) *Certificate sheet.* The director may require a certificate sheet to be included with the final plat for clarity. The certificate sheet will include a title block, sheet number, and all certificates, statements, and acknowledgements required by this chapter.

(e) *Other documents.* While not required to be placed on the plat, the following documents are required, except as noted below:

(1) Certification from the CBJ Treasurer that all real property taxes and special assessments levied against the property have been paid in full, or, if the certificate is sought between January 1 and the date of levy, that there is on deposit with the Treasurer an amount sufficient to pay estimated real property tax for the current year. Special assessments levied against a parcel to be subdivided must be paid in full prior to issuance of the certificate;

(2) Any certificates of approval required under CBJ 49.35.310 or 49.35.410;

(3) A statement from each private utility company that will be serving the subdivision, stating that the easements shown on the final plat are satisfactory for use by that utility company for service to the proposed subdivision and that arrangements have been made to convey such easements to the appropriate utility company that will use them;

(4) Proof that all conditions of preliminary plat approval have been satisfactorily completed;

(5) Proof of construction plan approval;

(6) A draft improvement guarantee in accordance with CBJ 49.55 if the applicant is proposing to record the plat prior to the completion of all required improvements.

(f) *Submittals for final plat recording.* After the director or commission has approved the final plat for recording, the following additional materials must be submitted for recording:

(1) One original reproducible plat on 22 by 34 inch sheets. The director may approve other suitable sheet sizes and will determine whether additional copies of the plat are required. The plat shall be drawn with black ink at a scale of one-inch equals 100 feet or less. The director may approve other suitable scales;

(2) Any improvement guarantee in accordance with CBJ 49.55;

(3) Deeds, easements, or rights-of-ways for land that the applicant is transferring

to public agencies that are not dedicated or granted by the landowner's certificate on the final plat; and

(4) Written evidence of rights-of-entry or permanent easements on or across private property not within the proposed subdivision where it may be necessary to grant slope rights or allow access for maintenance and construction of subdivision improvements, or any other similar needs.

**49.15.413 Plat expiration.**

A preliminary plat shall expire five years from the effective date of the notice of decision unless substantial progress has been made in construction of required improvements or an application for the final plat has been accepted.

**49.15.414 Plat effective date.**

Once the plat has been approved in accordance with this article, the plat shall become effective upon recordation with the State Recorder's Office at Juneau.

**49.15.415 Recorded plats legalized.**

(a) *Generally.* All plats recorded before March 30, 1953, whether executed and acknowledged in accordance with AS 40.15.050 or not, are validated and all streets, alleys or public thoroughfares on these plats are considered to have been dedicated to public use. This section does not prohibit the abandonment of a plat recorded before March 30, 1953, if a subsequent plat is filed indicating abandonment. The streets, alleys, or thoroughfares shown on the last plat of the area are deemed to be dedicated to public use. The streets, alleys, or thoroughfares shown on an earlier plat of the same area, or any part of it which is in conflict with those shown on the official plat, are deemed to have been abandoned and vacated.

(b) *Missing plats.* Where a recorded plat is missing and no present record is available except by reference to the missing plat, a counterpart copy, approved by the planning commission, may be recorded. After recordation the counterpart copy will be considered effective as of the original date of the missing plat and will have the same legal effect and notice as the original missing plat.

**Division 3. Design**

**49.15.420 Lots.**

(a) *Generally.*

(1) Subdivision lots shall meet the minimum dimensional standards established by section 49.25.400, except as provided in CBJ 49.15.421 and CBJ 49.15.422.

(2) The shape, orientation, and setback lines of lots shall be appropriate for the development proposed. The director may require yard setbacks to be listed or labeled on the preliminary plat.

(3) Each lot must have at least one practical building site.

(4) Side lot lines should be at 90 degree angles to straight streets and radial to curved streets unless topographic conditions require otherwise.

(b) *Double frontage lots.* Except for corner lots, lots served by an alley, or where a frontage road or interior access road is required, double frontage lots should be avoided. When such lots are permitted by the commission or the director, the plat shall indicate which abutting street is not approved for access when access restrictions are deemed appropriate in order to:

(1) Prevent direct access to a collector or arterial street;

(2) Restrict access to prevent unsafe sight distances;

(3) Prevent the construction or maintenance of driveways near intersections; or

(4) Protect public health, safety and general welfare.

(c) *Shadow plats.* When the applicant is required to submit a shadow plat in accordance with CBJ 49.70.710, the director in the case of a minor subdivision, or the commission in the case of a major subdivision, shall review and approve the application based on how well the proposed lot layout will lend itself to future resubdivision as well as other requirements of this title.

#### **49.15.421 Cul-de-sac lots.**

If a proposed lot fronts on a cul-de-sac or a similar sharply curved right-of-way and the director for minor subdivisions, or the commission for major subdivisions makes a determination that meeting minimum lot width at the front building line in accordance with the Table of Dimensional Standards in CBJ 49.25.400 is impractical, the minimum width may be reduced as necessary to achieve a reasonable lot configuration.

#### **49.15.422 Public use lots.**

The director for minor subdivisions, or the commission for major subdivisions, may waive

the dimensional standards of the public use lot for minimum lot size, lot width, and lot depth as set forth in CBJ 49.25.400, for lot frontage and access requirements as set forth in CBJ 49.15.420, and the provision of public improvements as set forth in CBJ 49.35, if the proposed use of the lot is for open space, natural area park, public or private utilities, conservation lot, or similar use, and if the following requirements are met:

- (1) The director or the commission finds that there is no public purpose or need that would be served by requiring the parcel to meet these code provisions and that the provisions are not applicable for the proposed public or quasi-public use of the lot;
- (2) Restriction of building development, further subdivision, and other limitations or restrictions shall be noted on the plat in accordance with CBJ 49.15.412;
- (3) For uses restricted from any building development, the land must be put into some form of permanent protected status through the use of conservation easements, deed restriction, or other instruments to assure building development will not occur where prohibited; and
- (4) Unless otherwise provided, the minimum yard setback requirements may not be waived with respect to lots abutting the public use lot.

**49.15.423 Panhandle lots.**

(a) The subdivision of a parcel creating a panhandle lot may be allowed in order to facilitate the subdivision of large parcels that are insufficiently wide but otherwise meet all other requirements for subdivision. Panhandle lots may be created by subdivision under this section if the new lots meet the requirements detailed below.

- (1) *Dimensional requirements.*
  - (A) The front and panhandle lots must meet all the dimensional and area requirements of this title.
  - (B) No part of the panhandle portion of the lot shall be less than 30 feet wide.
  - (C) The panhandle portion of the lot shall not be longer than 300 feet in D-1 zones and 1-1/2 times the minimum lot depth in other residential zoning districts.
  - (D) No buildings are allowed to be built or placed in the panhandle portion of the lot.
  - (E) In a D-1 zoning district, 30 feet of the width of the panhandle of the rear lot may be used in determining the width of the front lot.

(F) The common property line between the two lots in any zoning district shall be limited to two changes in direction.

(G) The lot width for the panhandle lot shall be the distance between its side boundaries measured behind the back lot line of the front lot. Such lot line shall also be considered the front lot line of the panhandle lot for the purpose of determining the front yard setback.

(2) *Minimum lot size.* Each lot served by a public sewer system shall be 20,000 square feet. The minimum lot size for lots not served by a public sewer system shall be 36,000 square feet. Any marine outfall serving the lots shall extend to a point four feet below mean low water, and each lot using such disposal must abut the salt water to a minimum of 30 feet.

(3) *Access and parking.*

(A) Only one access to the public right-of-way shall be permitted for the two lots. Such access shall be designated on the plat, in the form of an easement or plat note.

(B) Off street parking shall be provided in an amount sufficient to meet the requirements of CBJ 49.40, Article II.

(C) A driveway and parking plan shall be submitted and approved by the director prior to recording the plat.

(D) Back out parking is prohibited.

(E) The applicant must submit a plan that shows the feasibility of off-street parking for the lots and a turnaround that will allow drivers to drive forward onto the road in front of their lot.

(F) The applicant must provide assurance in the form of an easement, plat note, and a maintenance agreement that is recorded with the subdivision, on forms acceptable to the director, ensuring the required access and parking areas will be constructed and maintained by all future property owners.

(G) Any portion of a driveway not located in a public right-of-way shall have a maximum grade not exceeding 15 percent. A profile of the proposed driveway centerline shall be submitted as part of the plat application, and must meet Alaska Department of Transportation and Public Facilities or CBJ driveway standards, as appropriate based on ownership of the right-of-way.

(H) Existing driveways and access points not meeting the requirements of this section must be abandoned, and improvements thereto removed and relocated prior to plat recordation.

(b) Neither lot resulting from a panhandle subdivision may be further divided into another panhandle subdivision.

**49.15.424 Access.**

(a) *Principal access to the subdivision.* Except as provided below, the department shall designate one right-of-way as principal access to the entire subdivision. Such access, if not already accepted for public maintenance, shall be improved to the applicable standards for public acceptance and maintenance. It shall be the responsibility of the subdivider to pay the cost of the right-of-way improvements.

(1) *Principal access to remote subdivisions.* The department shall designate the principal access to the remote subdivision. Such access may be by right-of-way.

(b) *Publicly maintained access within a subdivision.* Unless otherwise provided, all lots must either have direct and practical access to, and a minimum of 30 feet of frontage on, the right-of-way, or the minimum lot width for the zoning district or use as provided in CBJ 49.25.400. These requirements for frontage and access can be accomplished by:

(1) Dedication of a new right-of-way with construction of the street to public standards. This street must connect to an existing publicly maintained street;

(2) Use of an existing publicly maintained street;

(3) Upgrading the roadway within an existing right-of-way to public street standards. This existing right-of-way must be connected to another publically maintained street; or

(4) A combination of the above.

(c) *Privately maintained access within a subdivision.* A subdivision may create new lots served by a privately maintained access road not maintained by an agency of government as provided by CBJ 49.15, Article IV, Division 4. All lots must have either a minimum of 30 feet of frontage to the right-of-way, or the minimum lot width for the zoning district or use as provided in CBJ 49.25.400.

(d) *Remote subdivisions accessible by navigable waterbodies.* All lots in a remote subdivision solely accessible by navigable waterbodies must have a minimum of 30 feet of frontage on, and direct and practical access to, either the navigable water or a right-of-way. The right of way must have direct and practical access to the navigable water.

(e) *Access within remote subdivisions accessible by pioneer paths.* All lots must either have direct and practical access with a minimum of 30 feet of frontage on the right-of-way, or the minimum lot width for the zoning district or use as provided in CBJ 49.25.400.

#### **Division 4. Privately Maintained Access in Rights-of-Way**

##### **49.15.430 Purpose.**

With a permit, a privately maintained access road serving thirteen or fewer lots located outside the urban service area may be constructed within a public right-of-way and constructed to less than full public street construction standards. Such permits may also allow subdivisions creating new lots accessed by a roadway not accepted for maintenance by an agency of government.

##### **49.15.431 Application.**

The applicant for a privately maintained access road permit must submit the following:

- (1) An application, on a form provided by the department;
- (2) A preliminary plan and profile of the proposed privately maintained access road and any proposed public or private utilities; and
- (3) An access agreement as required by CBJ 49.15.434.

##### **49.15.432 Department action.**

The director shall forward the complete application to the fire department and to the engineering and public works department for review.

##### **49.15.433 Design criteria.**

(a) If a proposed access road would abut and provide access to thirteen or fewer lots each limited to a single-family residence by the CBJ 49.25.400 Table of Dimensional Standards, or could serve thirteen or fewer dwelling units, not including any properly permitted accessory apartments based on the existing maximum allowable residential density of the lots accessed by the privately maintained road, the director may approve, with or without conditions, a permit in the right-of-way if the following criteria are met:

- (1) The proposed privately maintained access will be located in a public right-of-way that has not been accepted for public maintenance;

- (2) The proposed privately maintained access does not endanger public safety or welfare;
- (3) The proposed privately maintained access will be improved to provide for emergency service access;
- (4) A privately maintained access shall only serve property in which the proposed uses do not exceed 211 average daily trips as determined by the director;
- (5) Property served by the privately maintained access shall include accessory apartment traffic, when allowed, without a conditional use permit, even if accessory apartments are not currently proposed; and
- (6) Privately maintained access is prohibited unless:
  - (A) The abutting parcels have alternative and practical frontage on a publicly maintained right-of-way;
  - (B) The property owners of all abutting parcels are signatories of the access agreement required by CBJ 49.15.434; or
- (7) Privately maintained access is prohibited if abutted by property held by a governmental body unless the abutting parcel has alternative and practical frontage on a publicly maintained right-of-way.

**49.15.434 Access agreement.**

- (a) An access agreement must be executed between the City and Borough and all property owners proposed to be served by a privately maintained access road. The agreement must identify the parties and the property, all signatures must be notarized, and the agreement must include the following provisions:
  - (1) In exchange for the Grantee not being required to construct a road that can be accepted for maintenance by the City and Borough, and for the City and Borough of Juneau not being responsible for maintaining the privately maintained access road, the parties execute this agreement with the intent for it to run with the land and bind all heirs, successors, and assigns consistent herein;
  - (2) The Grantee acknowledges that the City and Borough is not obligated to provide any maintenance or snow removal for the privately maintained access. The Grantee is required to arrange for year-round reasonable maintenance for the privately maintained access, including snow removal, sufficient to meet weather conditions and to allow for safe vehicular traffic;

- (3) The Grantee and the Grantee's heirs, successors, and assigns will defend, indemnify, and hold harmless the City and Borough from any claim or action for any injury, loss, or damage suffered by any person arising from the design, maintenance, or use of the privately maintained access;
- (4) The Grantee will ensure that use of the privately maintained access road will not block vehicular or pedestrian access by the public in the right-of-way;
- (5) The City and Borough will have unimpeded access in the right-of-way. The Grantees are required to arrange for maintenance of the right-of-way;
- (6) The Grantee and the Grantee's heirs, successors, and assigns will maintain the privately maintained access road and public right-of-way according to the conditions established in this agreement;
- (7) The City and Borough will record a copy of the agreement, at the Grantee's expense, with the State Recorder's Office for each lot or parcel of land either, in the case of existing lots, those adjoining the segment of right-of-way in which the privately maintained access is to be located; or, in the case of lots created by subdivision and served by the privately maintained access, those lots so created;
- (8) The owners of the lots subject to this agreement are required to pay for right-of-way upgrades when existing or proposed development served by the privately maintained access exceeds 211 average daily trips as determined by the director;
- (9) The owners of the lots subject to this agreement are prohibited from subdividing unless the privately maintained access is upgraded or all the property owners served by the privately maintained access execute a new access agreement;
- (10) Any development that increases the estimated traffic above 211 average daily trips, as determined by the director, shall pay a proportionate share of the costs of the right-of-way upgrades, which will offset the costs imposed on the existing owners served by the privately maintained access. The proportionate share shall be the percentage increase in average daily trips;
- (11) The owners of the lots subject to this agreement authorize the City and Borough to amend this access agreement by adding a new owner only upon presentation of a written and fully executed maintenance agreement between all the existing property owners subject to the original access agreement and the new property owner proposing to be served by the existing privately maintained access. Any amended access agreement supersedes an existing access agreement. After recording, the new access agreement shall be sent to all the owners subject to it; and

required by the City and Borough until and unless the roadway is accepted for maintenance by the City and Borough.

(b) Prior to the City and Borough executing the access agreement:

(1) The owners of the lots subject to the agreement shall create an owner's association for the purpose of continuing the duties contained in the agreement; and

(2) The association shall obtain liability insurance of a type and in the amount deemed necessary by the City and Borough to provide coverage for claims arising out of or related to the use, occupancy, and maintenance of the privately maintained access road. The City and Borough shall be named as an additional insured on any required policy.

**49.15.435 Other requirements.**

(a) If a permit for privately maintained access in the public right-of-way is approved, the applicant must apply to the engineering and public works department for a permit to construct the privately maintained access as required by CBJ 62.05, accompanied by final construction plans. Additional fees and bonding may be required for final plan review, inspection, and construction of the access road and utilities.

(b) The applicant shall install a street sign, to be provided by the City and Borough, which shall indicate that the privately maintained access road is not maintained by the City and Borough.

**Division 5. Remote Subdivisions.**

**49.15.440 Remote subdivisions.**

The purpose of this section is to provide for design and improvement requirements specific to privately-owned remote subdivisions.

**49.15.441 Applicability and restrictions.**

(a) A remote subdivision is a subdivision solely accessed by either a navigable waterbody or a pioneer path. The boundary of the remote subdivision accessed by pioneer path must be at least one half mile from the roaded service area.

(b) A remote subdivision may not be located within the roaded service area or the fire service area, or accessible by vehicular traffic weighing more than 1,000 pounds gross vehicle weight or having an overall width greater than 48 inches.

(c) The owners of lots or parcels within a remote subdivision accessible by pioneer path are prohibited from subdividing within two years from the creation of the remote subdivision.

(d) Remote subdivisions accessed by pioneer path shall be limited to thirteen or fewer lots and are reviewed by the Commission using the minor subdivision process. The Commission may impose any conditions and restrictions deemed necessary to protect public health, safety, and welfare.

#### **49.15.442 Improvement standards.**

The following improvement standards apply to remote subdivisions:

- (1) CBJ 49.15.424 Access.
- (2) CBJ 49.35.240 Improvement standards.
- (3) CBJ 49.35.310 Water systems.
- (4) CBJ 49.35.410 Sewer systems.

### **Division 6. Survey and Monumentation Standards**

#### **49.15.450 Licensed surveyor required.**

All land subdivided in accordance with CBJ Title 49 shall be surveyed by a professional land surveyor licensed in the State of Alaska.

#### **49.15.451 Boundary lines, basis of bearing.**

(a) Each existing boundary line of the proposed subdivision shall be retraced to an existing monument of record. If a boundary consists of a U.S. Survey line, Mineral Survey line, or an Alaska Tidelands Survey line, the nearest recorded primary monument on each side of the proposed subdivision shall be located.

(b) A monumented centerline of a right-of-way must be considered in making the surveys and in preparing the plat. All monuments found shall be indicated and proper references made to field notes or maps of public record relating to the monuments. If the points were reset by ties, that fact shall be stated.

(c) The basis of bearing referred to on the plat shall be a line defined by two found monuments shown on the same record bearing and shall be clearly delineated or identified

on the plat and in the basis of bearing statement

(d) A basis of bearing statement is required. The statement shall include the monument description, corner description, record bearing and the record documentation source with recording date.

(e) A note listing all plats of record, with recording information, pertinent to the boundary and property resolution must be listed on the plat.

**49.15.452 Accuracy of survey.**

A survey and traverse of the boundaries of the subdivision and all lots and blocks shall close within a limit of error of one foot in ten thousand feet of perimeter for field closures and one foot in twenty thousand feet for calculated distances.

**49.15.453 Monumentation.**

(a) The following monumentation is required for subdivisions of six or more lots:

(1) *Primary monuments.* Primary monuments shall conform to the following requirements:

(A) All exterior corners, points of curvature and points of tangency shall be monumented with a minimum two-inch diameter metal pipe, at least 30 inches long, with a minimum four-inch flange at the bottom. A minimum two and one half inch diameter metal cap shall be permanently attached at the top. If both the cap and the pipe are of nonferrous metal, then additives with magnetic qualities shall be permanently attached at both the top and bottom of the monument. Every primary monument cap shall be permanently stamped with the year set, the surveyor's registration number, year which the monument was set, initials of subdivision, and the corner identification. This data shall be orientated so that the data may be read when the reader is facing north. Monuments and accessories found in a disturbed condition shall be returned to the original position and condition as nearly as possible or replaced so as to perpetuate the position.

(B) No portion of a survey or subdivision may be more than 1,320 feet from a primary monument.

(C) If an exterior boundary line is less than 2,640 feet, but more than 1,320 feet long, then the intermediate primary monument shall be set as close to the midpoint as practical.

(2) *Witness corners.* If the point for a primary monument is in a place that would be impractical to monument because of natural obstacles, a witness corner shall be set. The witness distance must be shown on the plat of survey, from the existing monument, as set, to the true corner position. Witness corners shall be set on a survey property line and at a distance considered reasonable and practical from the true corner point. Witness corners shall comply with the standards for primary monuments.

(3) *Alternate monuments.* If conditions make it impractical to set a primary monument, one of the following methods may be substituted:

(A) A two and one-half inch brass or aluminum cap may be grouted firmly into a boulder; or

(B) A five-eighths inch minimum drive rod may be driven to a depth necessary to provide a stable base for an aluminum cap. The depth of all drive rods shall be noted on the plat.

(4) *Secondary monuments.* All lot corners, interior angle points and interior curvature control points shall be monumented with at least a five-eighths inch metal rod three feet in length with a one and one-quarter inch cap.

(5) *Monumentation installation.*

(A) Monuments shall be installed by the applicant's land surveyor at points designated on the final plat.

(B) The applicant's surveyor must install monuments before the final plat is filed with the State of Alaska recorder's office. The director of engineering may require that monumentation be certified prior to final acceptance of the subdivision improvements to ensure that any monuments disturbed or destroyed during construction are reset.

(C) If construction begins prior to submittal of the final plat, all lot corners adjacent to any proposed improvements must be staked throughout construction.

(b) The following monumentation is required for subdivisions of five or fewer lots:

(1) All exterior corners of the plat and all corners of each lot shall be monumented with a five-eighths inch by 30 inch pipe or bar capped and marked as required by the director of engineering and public works; provided, if a plat or lot corner is identical with a United States Survey, a United States Mineral Survey, or an Alaskan Tidelands Survey, the primary monument shall be shown on the plat or reestablished and shown if not found.

above, with the exception that the type of monument set may be a secondary monument.

**Section 11. Amendment of Article.** CBJ 49.15, Article V Design Review Permits, is amended to read:

**Article V. CBJ and State Project Review**

**Section 12. Amendment of Section.** CBJ 49.15.580 State project review, is amended to read:

**49.15.580 State and City and Borough project review.**

(a) *CBJ project review:* The commission shall review all proposed City and Borough capital improvement projects estimated to cost \$500,000 or more for consistency with this title. The commission may review, at the director's discretion, all proposed City and Borough capital projects estimated to cost more than \$250,000 but less than \$500,000. The commission may recommend conditions on and modifications to any project reviewed by the commission through a notice of recommendation. The notice of recommendation shall be forwarded to the assembly for further action.

(b) *State project review:* The commission shall review proposed Alaska State capital improvement projects for consistency with this title pursuant to AS 35.30.010 and may impose conditions on and modifications to such projects. If the commission approves or approves with conditions or modifications, a notice of decision shall be issued. A notice of decision becomes final 90 days from the date the project was submitted unless modified or disapproved by the assembly. If the commission disapproves, a notice of recommendation and draft resolution shall be forwarded to the assembly for further action.

**Section 13. Amendment of Article.** CBJ 49.15, Article V, is amended by adding a new section to read:

**49.15.590 Right-of-way acquisitions.**

(a) The minor subdivision permit process shall govern right-of-way acquisition plats, except commission review through the major subdivision process shall be required if the acquisition of property for a right-of-way would create a nonconforming lot, use, or structure. The commission may approve creation of nonconforming lots, uses, or structures if each lot has at least one practical building site that may be reasonably developed. The commission may condition its approval.

(b) *Application requirements.*

- (1) Signatures of the owners or lessees of the subject parcels are not required.
- (2) The owner of land subject to a right-of-way acquisition may offer to sell or enter into a contract to sell land to the State or City and Borough before a final plat of the subdivision has been prepared, approved, filed, and recorded in accordance with this chapter.
- (3) Applications for preliminary right-of-way acquisition plat approval shall comply with the requirements of CBJ 49.15.411, provided, however, that the following subsections are not applicable:
  - (A) CBJ 49.15.411(b)(2), unless the director determines that the proposed reduction in lot area of an existing parcel without public sewer access causes it to become unsuitable for on-lot waste disposal.
  - (B) CBJ 49.15.411(b)(2)(B), *Subdivision design*.
  - (C) CBJ 49.15.411(b)(4), *Water*.
  - (D) CBJ 49.15.411(b)(6), *Traffic study*.
  - (E) CBJ 49.15.411(b)(7), *Shadow plats*.

(c) *Final plat submittal.*

- (1) All applications for right-of-way acquisition plats must comply with the requirements of CBJ 49.15.412, provided, however, that the following sections are not applicable:
  - (A) CBJ 49.15.412(a)(4)(B), *Proof of construction plan approval*.
  - (B) CBJ 49.15.412(a)(4)(D), *Utility statements*.
  - (C) CBJ 49.15.412(a)(4)(E), *Improvement guarantee draft*.
  - (D) CBJ 49.15.412(b)(4), *Improvement guarantee final*.
  - (E) CBJ 49.15.412(b)(5), *Deeds, easements, or rights-of-way*.

(d) *Design.* Right-of-way acquisition plats must comply with the design requirements of this title, provided, however, that the following sections are not applicable:

- (1) CBJ 49.15.420 *Lots*.
- (2) CBJ 49.35.220 *Streets*.

(e) *Improvements.* The requirement to construct public improvements according to CBJ 49.35 is waived except where the acquisition of right-of-way and subsequent change to property boundaries results in the loss of access to public utilities or street frontage for an existing lot necessitating replacement of these public improvements.

(f) *Survey and monumentation standards.* All applications for right-of-way acquisition plats must comply with the requirements of CBJ 49.15, Article IV, Division 6, except CBJ 49.15.453 is modified to require that only corners located along the new right-of-way line be monumented.

(g) *Right-of-way maps.* After completion of a right-of-way project, a final right-of-way map that identifies all required survey and monumentation information shall be submitted. The final right-of-way map will be reviewed by the director of the engineering and public works department for completeness and then recorded at the State Recorder's Office at Juneau at the applicant's expense.

**Section 14. Amendment of Article.** CBJ 49.70, Article XI, Remote Subdivision Areas is repealed and reserved.

**Section 15. Amendment of Section.** CBJ 49.15.670 Planned unit development design standards, is amended to read:

**49.15.670 Planned unit development design standards.**

...

(j) *Stormwater management.* Facilities for the control and disposal of stormwater must be adequate to serve the development site and areas draining through the site. Management shall be in accordance with the Stormwater Best Management Practices manual. Where appropriate, natural drainage channels, swales, or other similar areas within the common open space may be used for stormwater management at the development. The homeowners' association shall provide the engineering department with an evaluation of offsite drainage outfalls for the additional runoff contributed by the planned unit development. The commission may require construction of offsite drainage improvements necessary to accommodate additional runoff from the development.

**Section 16. Amendment of Section.** CBJ 49.15.680 Definitions, is repealed and reserved.

**Section 17. Amendment of Section.** CBJ 49.25.110 Zoning maps, is amended to read:

**49.25.110 Zoning maps.**

...

(g) *Public way vacations.* Whenever any street, alley or other public way is vacated as provided by CBJ 49.15.404, the zoning districts adjoining the side of such public way shall automatically be extended to follow property lines legally created by such vacation.

(h) *Reserved.*

**Section 18. Amendment of Section.** CBJ 49.25.300 Determining uses, is amended to read:

**49.25.300 Determining uses.**

...

(c) A combination of digits such as "1, 3" or "2, 3" indicates that the approval procedure for the identified use in the identified zone will vary depending on whether the project is a major or minor development.

(1) If the project is a minor development the first number of the combination shall indicate the applicable procedure.

(2) If the project is a major development the second number shall indicate the applicable procedure.

(3) Minor development means development which is classified by zoning district as follows:

(A) *Rural Reserve District:* A residential development containing two or fewer dwelling units, two or fewer bedrooms leased on a daily or weekly basis, or a nonresidential building totaling less than 10,000 square feet or using less than one acre of land in total.

(B) *Single Family Residential Districts:* A residential development containing two or fewer dwelling units, two or fewer bedrooms leased on a daily or weekly basis, or a nonresidential building totaling less than 5,000 square feet or using less than 10,000 square feet of land in total.

(C) *Multifamily Residential Districts:* A residential development containing eight or fewer dwelling units, eight or fewer bedrooms leased on a daily or weekly basis, or a nonresidential building totaling less than 5,000 square feet or using less than 10,000 square feet of land in total.

(D) *Commercial and Mixed Use Districts:* A residential development containing 12 or fewer dwelling units, 12 or fewer bedrooms leased on a daily or weekly basis, or a nonresidential building totaling less than 10,000 square feet or using less than one-half acre of land in total.

(E) *Industrial Districts:* Non-residential buildings totaling 15,000 square feet or using less than one acre of land in total.

(4) Major development means all development activity that is not a minor development.

(5) *Exceptions.* Exceptions to the use of minor and major development classifications as a method of determining the applicable approval procedure shall be as noted in the table of permissible uses.

**Section 19. Amendment of Section.** CBJ 49.25.300 Table of Permissible Uses, is amended by deleting the following sections:

17.310 Access driveways on public rights-of-way adjoining one to four existing lots.

17.320 Access driveways on public rights-of-way adjoining five or more existing lots.

**Section 20. Amendment of Section.** CBJ 49.25.430 Yard setbacks, is amended to read:

**49.25.430 Yard setbacks.**

...

(4) *Projections into required yards.*

...

(K) *Existing substandard setbacks.* A new building may have a front yard setback equal to the average front yard setback of the three closest adjacent buildings, or a street side yard setback equal to the average street side yard setback of the three closest adjacent buildings. The average calculation shall be made using one building per lot. If any of the three buildings used in the averaging calculation is located a greater distance from the required setback, then the required front yard setback or street side yard setback shall be used to calculate the average.

An existing building located on the subject lot may be used as one of the three buildings to calculate the setback determination.

For purposes of this section, the buildings used in averaging must be either conforming or legally nonconforming enclosed buildings or carports and have a wall or column height of at

least seven feet measured from the finished grade. Porches, bay windows and temporary buildings allowed to project into setbacks cannot be used for averaging. In no instance shall the required setback be less than half that required by this chapter or ten feet, whichever is greater.

If there are fewer than three buildings within 500 feet of the subject property, then the required setback shall be the average of front yard setbacks, or street side yard setbacks, of such fewer buildings, using a maximum of one building per lot.

...

**Section 21. Repeal and Reenactment of Section.** CBJ 49.35.120 Extent and nature of improvements, is repealed and reenacted to read:

**49.35.120 Public improvements; generally.**

(a) The developer must install all of the required improvements within the boundaries of the development, and may be required to make improvements beyond the development boundary in order for all of the improvements to function properly. In addition, improvements must be designed and constructed to provide for future extension to adjoining lands.

(b) If a publicly-maintained street serves an area outside the roaded service area boundary as a result of a subdivision, the roaded service area boundary, and if appropriate, the fire service area, shall be extended to include the roaded area and newly-created subdivision.

**Section 22. Amendment of Section.** CBJ 49.35.130 Standard specifications, is amended to read:

**49.35.130 Standard specifications.**

(a) *Compliance with specifications.* Except as otherwise provided, all subdivision improvements shall be in accordance with the latest revision of the City and Borough subdivision standard specifications and details on file in the engineering and public works department.

(b) The director of engineering and public works may prescribe different or additional standards if unusual or unforeseen conditions exist in a particular development, and the alternative meets or exceeds the intent of the original standard.

(c) *Change of standards.* Prior to a substantial change in the standards generally applicable to required subdivision improvements, the director of engineering and public works or the director of engineering and public works' designee shall hold a public hearing on the proposed change. The hearing shall be preceded by ten days' published notice. The standards may be changed in response to comments received at the hearing or received at

any other time prior to the effective date. The standards shall become effective 30 days after the first notice of the hearing is published. The manager may shorten the notice period or waive the requirement for a hearing and may specify an earlier effective date if the manager finds an emergency exists or that other conditions warrant such action. If the hearing is held with less than three days' published notice, a second hearing preceded by ten days' published notice shall be held.

**Section 23. Repeal and Reenactment of Section.** CBJ 49.35.140 Construction plans, is repealed and reenacted to read:

**49.35.140 Construction plans.**

(a) *Generally.* The developer must submit construction plans for all proposed public improvements and associated private improvements and utilities within and outside the proposed development's boundary.

(b) *Construction plan submittal.*

(1) *Plan sets.* Prior to submittal of the final plat, and before the start of any construction, the developer must furnish to the City and Borough Permit Center complete sets of construction plans, profiles, details, and special construction provisions for all existing and proposed improvements. The director of engineering and public works shall determine the number of plan sets to be submitted. Plan sets will be forwarded to the appropriate City and Borough departments and agencies.

(2) *Engineer's stamp.* Construction plans must be stamped by the professional engineer licensed in the State of Alaska who is responsible for the improvement designs. Multiple engineer stamps are required for plans with multiple discipline designs, e.g., civil, electrical, structural engineering.

(c) *Construction plan – Details.*

(1) *Size.* All construction plans shall be submitted on 22 by 34 inch sheets. The director of engineering and public works may approve alternative sheet sizes.

(2) *Information.* The drawings must contain the following information:

(A) Name of subdivision.

(B) Type of work.

(C) Date.

(D) Name of engineer preparing the drawings and the engineer's stamp.

(E) Space for approval signature by the director of engineering and public works.

(F) A north arrow and scale.

(3) *Scale.* Horizontal scale must be one inch equals 50 feet or greater. Vertical scale must be one inch equals five feet or less with a minimum scale of one inch equals ten feet. The director of engineering and public works may approve alternative scales.

(4) *Benchmarks.* The locations, elevations and description of datum of permanent benchmarks must be shown.

(5) *Street profiles.* Profiles of streets shall indicate finished and existing grades for centerline of the street and shall extend a minimum of 200 feet beyond the limits of the proposed project or, if intersecting an existing street, extend to the far side of the existing street.

(6) Plans and profiles, where applicable, shall include location, elevation, size, materials, and all other details of the proposed improvements.

(7) Complete survey data must be shown for all horizontal and vertical curves.

(8) Construction plans shall include the location of all existing and proposed utilities.

(d) *As-built drawings.* The developer, upon completion of required improvements, must submit a reproducible and digital format copy of as-built plans unless otherwise required by the director of engineering and public works.

**Section 24. Repeal and Reenactment of Section.** CBJ 49.35.210 Street system, is repealed and reenacted to read:

**49.35.210 Street system.**

(a) Subdivision street systems shall be designed for the most advantageous development of the entire neighborhood area and shall meet the following criteria:

(1) The street system shall provide for connecting streets into adjoining unsubdivided lands.

(2) Subdivision street systems shall be designed to maximize the number of connecting streets in a given area in order to reduce the volume of traffic and traffic delays on major streets (arterials and major collectors), to minimize bypass and through trips on residential streets, and to increase the number of local street

connections facilitating safer bicycle and pedestrian travel.

(3) Traffic calming should be taken into account in street layout and design.

(b) *Major and minor arterials.* Except as provided in subsection (3) of this section, if a new subdivision involves frontage along an arterial street:

(1) The plat shall note that no lots shall access directly onto the arterial;

(2) Access shall be provided onto an interior access street or a separate frontage road.

(3) A parcel of land with less than 500 feet of frontage on a street, or with less than 350 feet in depth may be subdivided so as to allow access directly onto a minor arterial street if all of the following conditions are met:

(A) All of the resulting lots must meet the minimum lot area standard for a single family dwelling in the D-1 zoning district (36,000 sq. ft.).

(B) All of the lots must share a common access point and further subdivision of the newly created lots is not allowed.

(C) Common access to all lots is required and back out parking is prohibited. The applicant must submit a plan that shows the feasibility of off street parking for all lots and an adequate area for a turnaround to prevent back out parking.

(D) The applicant must provide assurance in the form of an easement, plat note, and a maintenance agreement that is recorded with the subdivision, all of which must be acceptable to the director, that ensures the required common access will be constructed and maintained by the property owners.

(E) The proposed subdivision must meet all other applicable subdivision standards and requirements.

(c) *Collector streets.* Collector streets in adjoining subdivisions shall be continued in the new subdivision as needed.

(1) *Major collectors.* Except as provided in subsection (C) of this section, if a new subdivision involves frontage along a major collector street:

(A) The plat shall note that no lots shall access directly onto the major collector.

(B) Access shall be provided onto an interior access street or a separate frontage road.

than 350 feet of depth may be subdivided so as to allow access directly onto a major collector street.

- (2) *Minor collectors.* Access for lots is allowed directly onto minor collector streets if no other restrictions apply.

**Section 25. Repeal and Reenactment of Section.** CBJ 49.35.220 Street names, is repealed and reenacted to read:

**49.35.220 Street names.**

(a) *New streets.* Street names must be unique in order to avoid confusion. When streets are extended, the name must remain the same for the new segment. Proposed street names shall be shown on preliminary plats. The names of streets fronting thirteen or fewer lots shall be approved by the director through the minor subdivision processes. The names of streets fronting more than thirteen lots shall be approved by the commission at the time of preliminary plat approval for major subdivisions.

(b) *Existing streets.* The commission shall approve applications to change the name of any existing public street or right-of-way.

- (1) *Application.* The application must be on a form provided by the department and accompanied by:

- (A) The application fee.

- (B) Signed letters of approval from a majority of property owners whose properties have access to the public street proposed for the name change.

- (2) *Procedure.* After public hearing, the commission shall review the proposed street name change for consistency with this section, and, upon a finding that the change is consistent with this section and that the majority of property owners whose properties have access to the public street proposed for the name change approve of the change, shall approve the application.

- (3) *Sign replacement.* If the name change is approved, the applicant shall be responsible for replacing all existing street name signs as specified by the department.

**Section 26. Repeal and Reenactment of Section.** CBJ 49.35.230 Design criteria, is repealed and reenacted to read:

There are adopted roadway classification maps A - D, dated June 5, 2006, as the same may be amended from time to time by ordinance. These maps set forth the classification of streets and roadways within the CBJ. The roadway classification maps will govern references to streets in this title.

**Section 27. Repeal and Reenactment of Section.** CBJ 49.35.240 Construction standards, is repealed and reenacted to read:

**49.35.240 Improvement standards.**

(a) *Right-of-way widths.* The minimum right-of-way width of proposed streets is as follows:

- (1) *Arterials:* 100 feet; minor, 80 feet.
- (2) *Collectors:* 60 feet.
- (3) *Streets other than arterials and collectors:* 60 feet.
- (4) *Cul-de-sacs:* temporary or permanent turnaround: a diameter of 120 feet.
- (5) *Alleys:* 20 feet.
- (6) *Stairways and other non-motorized access routes:* 15 feet.
- (7) *Half streets.* Whenever there exists a dedicated or platted half street or alley adjacent to the tract of land to be developed, the other half of the street or alley must be platted, dedicated, and the entire street or alley constructed to current improvement standards.
- (8) *Substandard width.* Any previously platted right-of-way with less than the minimum standards identified for the traffic generated shall be improved to meet the minimum requirements established by this title.

(b) *Right-of-way minimum width reductions.* The director may reduce minimum right-of-way width requirements:

- (1) For a collector, the right-of-way width may be reduced by up to 10 feet.
- (2) For streets with less than 500 average daily trips, or a privately maintained access road in a right-of-way, the width may be reduced by up to 25 feet.
- (3) Where the dedicated right-of-way abuts and runs parallel to an exterior

property line, will serve as a half-street, and will be developed as a low volume street or a driveway in a right-of-way, the width may be reduced by up to 30 feet.

(4) Alleys and stairway right-of-ways may be reduced by up to 5 feet.

(5) The director shall make written findings supporting right-of-way minimum width reductions granted under this section. The director's findings shall state that:

(A) The applicant has provided room for electric utility features and demonstrates that if the road is upgraded in the future to include additional sidewalks that there is sufficient right-of-way for construction of the sidewalks without need for retaining walls over two feet in height.

(B) There is sufficient right-of-way or easements to allow for drainage improvements required by construction of the sidewalks.

(C) That any driveways shall be constructed to accommodate the elevations of future sidewalks.

(D) No additional right-of-way width will be required in order to provide for sufficient access to abutting lands.

(E) There is sufficient room for snow storage.

(c) *Sight distance.* Sight distances for intersection, passing and stopping must be in accordance with the specifications set forth in A Policy on Geometric Design of Highways and Streets.

(d) *Street grades.* Street grades are as follows:

(1) *Maximum.* Grades on arterial streets must not exceed six percent. Grades on other streets must not exceed 12 percent.

(2) *Minimum.* The minimum grade for all streets is one half percent.

(3) *Cross slope.* The minimum cross slope on all streets is 3 percent.

(4) *Exception.* Grades for all streets in hillside areas may be increased under certain circumstances according to Chapter 49.70, Article II, Hillside Development.

(e) *Intersections.*

(1) *Corner sight distance.* Corner sight distance must be in accordance with CBJ 49.35.240, however, in no case shall the sight distance be less than 200 feet.

degrees. The intersection of the centerline of the constructed roadway must not be less than 80 degrees.

(3) *Grade.* The grade for the approach leg of a new roadway at an intersection must not exceed two percent for the first 30 feet, measured from the edge of the existing roadway. The grade for the next 70 feet of the new roadway must not exceed six percent (See Figure 1).

(4) *Adjustment to grade.* In certain circumstances, the director of engineering and public works may require the centerline grade to be adjusted to ensure the grades along the edge of the intersecting street do not exceed the maximum grades listed above.

(5) *Alignment.* A proposed street that will intersect with an existing cross street shall, whenever practicable, align with an existing street intersection on the opposite side of the cross street. Street jogs that have center line offsets of less than one hundred feet, shall not be permitted (See Figure 2).

(f) *Curves.*

(1) *Design.* Curves shall be designed in accordance with A Policy on Geometric Design of Highways and Streets.

(2) *Vertical curve.* The minimum length of vertical curves is 200 feet unless otherwise approved by the director of engineering and public works.

(g) *Cul-de-sacs.*

(1) *Length.* Streets designed to have one end permanently closed shall be no more than 600 feet and not less than 150 feet in length measured from the center of the intersection to the radius point of the turnaround. The director for minor subdivisions, and the commission for major subdivisions, may authorize a longer or shorter cul-de-sac if it is found that the unique characteristics of the site warrant modification to the length.

(2) *Temporary cul-de-sacs.* Temporary cul-de-sacs will be allowed where a street can logically be extended in the near future, and if the following are met:

(A) The temporary portions of the cul-de-sac turnaround must be shown on easements on the plat rather than as dedicated right-of-way.

(B) All of the cul-de-sac must be constructed to permanent street construction standards except as noted in (G) below.

(C) The CBJ will record a release of the easements for the temporary portions of the turnaround at the State Recorder's Office at Juneau at the

time the turnaround is removed and the street improvements have been extended.

(D) Easement lines for the temporary turnaround will be considered front property lines for determining building setbacks.

(E) All improvements, including utilities, must be designed to accommodate the eventual extension of the street and reversion of the temporary turnaround to adjoining properties.

(F) Temporary cul-de-sacs must be extended to as close to the adjoining property boundary as practical. If it is not practical to construct the turnaround portion of the cul-de-sac at this location, then the right-of-way must be extended beyond the temporary turnaround to the adjoining property line, and the street extension constructed to standard (See Figure 3).

(G) If the temporary turnaround is constructed on property outside of the subdivision boundary, curb, gutter, and sidewalks are not required for the temporary turnaround.

(H) Before final acceptance of all improvements by the CBJ, the developer must provide a financial guarantee to cover the cost of removal of the temporary turnaround and reconstruction of the street. The guarantee must be for a period of five years from the date the plat is recorded. If it is necessary to construct the street to the adjoining property within that five-year period, the developer can complete the reconstruction and extension, or the guarantee may be used by the CBJ for that purpose. If a right-of-way has not been dedicated on the adjoining property for the purpose of connection to the temporary cul-de-sac within this five-year period, the financial guarantee will be released.

(I) When the developer of adjoining property is required to connect to the temporary cul-de-sac, and the temporary cul-de-sac has not been extended as authorized by this section, then the developer must remove the temporary portions of the turnaround and reconstruct and extend the street to CBJ standards.

(3) *Hammerhead turnarounds.* Hammerhead turnarounds may be built in lieu of a temporary cul-de-sac, upon approval by the director of engineering and public works.

(h) *Streets construction standards.*

(1) *Arterials.* The subdivider is not responsible for the construction of arterial streets, but may be required to dedicate the necessary right-of-way during the platting process.

(2) *Other streets.* Other than arterials, street shall comply with the following:

Table 49.35.240 Table of roadway construction standards

Avg. Daily Trips (ADT)	Adopted traffic impact analysis required	Sidewalks	Travel way width	Street lights	ROW Width <sup>ii</sup>	Paved Roadway Required	Publicly maintained
≥ 500	Yes	Both sides	26 ft.	At all intersections	60 ft.	Yes	Yes
212 to 499	Maybe	One side	24 ft.	At all intersections	60 ft.	Yes	Yes
0 to 211	No	Not required	22 ft.	At intersection of subdivision streets and external street system	60 ft.	Yes	Yes
0 to 211	No	Not required	20 ft. <sup>i</sup>	At intersection of subdivision streets and external street system	60 ft.	No, if outside the urban service area <sup>iii</sup>	No

<sup>i</sup> Or as required by the Fire Code at CBJ 19.10.

<sup>ii</sup> ROW width may be reduced as prescribed at CBJ 49.35.240.

<sup>iii</sup> Paving of roadway is required for any street type located within the urban service area or within the Juneau PM-10 Non-Attainment Area – Maintenance Area Boundary map.

(3) *Signs and markings.* The subdivider must install street name signs, traffic control signs, and traffic control pavement markings in accordance with approved plans and the requirements of the current issue of the Manual on Uniform Traffic Control Devices, including the current Alaska Traffic Manual Supplement, published by the Alaska Department of Transportation and Public Facilities.

(i) *Street waivers.* The director, after considering the recommendations of the director of the engineering and public works department and of the fire marshal, may waive the following and no other street improvement requirements:

(1) *Right-of-way relocation.* If a plat is submitted for the purpose of relocating a right-of-way, the director may waive all or some of the construction requirements under the following conditions:

(A) The proposed relocation will improve access to abutting or neighboring property not otherwise adequately served.

(B) The subdivider has provided sufficient engineering information to demonstrate to the director of engineering and public works the feasibility of constructing a public street at the location of the relocated right-of-way.

(C) The relocated right-of-way and the resulting subdivision layout will conform to all the other standards of this chapter.

(D) The improvements required in the new right-of-way will not be less than those in the existing right-of-way.

(E) No additional lots are being platted.

(2) *Stub streets.*

(A) The director for minor subdivisions and the commission for major subdivisions may waive the full construction of a roadway within a right-of-way that is required to provide access to a bordering property, and does not provide required access to any lot within the subdivision. The commission or director may require provision of a roadbed, utility line extensions, or other appropriate improvements (See Figure 4).

(B) In addition, before final acceptance of subdivision improvements, the subdivider must provide a financial guarantee to cover the costs of constructing that part of the roadway improvements waived by the commission or director in subsection (A) of this section. The guarantee must be for a period of five years from the date the plat is recorded. If it is necessary to connect the roadway to adjoining property within that five-year period, the subdivider may complete the construction, or the guarantee may be used by the City and Borough for that purpose. If a right-of-way has not been dedicated on the adjoining property that accomplishes the connection to the stub street within this five-year period, the financial guarantee will be released.

(C) When the subdivider of adjoining property is required to connect to the stub street, and the stub street will not be constructed through subsection (B) of this section, then the subdivider of the adjoining property will be required to construct the stub street to City and Borough standards at the time.

(3) *Remote subdivisions accessible by navigable water.* The commission and the director may waive roadway improvements and other street construction requirements for remote subdivisions accessed solely by navigable water.

(j) *Pioneer path standards.* The following standards shall apply to remote subdivisions accessed by pioneer paths.

(1) Interior access shall be provided solely by pioneer path in a right-of-way. The right-of-way width of a pioneer path within a remote subdivision shall be 60 feet.

(2) Grades for pioneer paths must not exceed eighteen percent. The maximum cross slope grade must not exceed five percent.

(3) The width of a pioneer path shall not exceed 54 inches of tread, and must be located within a six foot corridor.

(4) Pioneer paths shall be designed and constructed to prohibit vehicular traffic wider than 48 inches from using the path, which may include the use of boulders, bollards, or any other similar structure.

(k) *Responsibility for improvements.* Unless otherwise provided, it shall be the responsibility of the subdivider to pay the cost of all right-of-way and street improvements caused by any development, as determined by the director.

**Section 28. Repeal and Reenactment of Section.** CBJ 49.35.310 Systems required, is repealed and reenacted to read:

**49.35.310 Water systems.**

(a) For new development, the developer must construct a public water system that provides for daily water supply and fire protection needs if the following criteria are met:

(1) If development of five or more lots is proposed within 500 feet of an existing public water system; or

(2) If development of four or fewer is proposed within 200 feet of an existing public water system.

(b) *Nonresidential development.* The developer must provide an evaluation by an Alaska licensed engineer and submit the written evaluation to the director of engineering and public works for review and approval to determine the specific quantity and distribution requirements.

(c) *Distance.* For the purpose of this section, distance is measured as the radial distance from the closest water main to the nearest point of the subdivision boundary.

(d) *Fire protection.* Fire protection requirements are based on whether the development is located within or outside the fire protection service area. All public water distribution systems constructed according to subsections (a) or (b) of this section must be sized and constructed to meet fire flow and hydrant requirements, and provide the necessary fire flows

for fire protection. All improvements must be constructed according to the International Fire Code (IFC). The director of engineering and public works and the City and Borough fire marshal must approve all plans.

(e) *Private water systems required.* If a proposed development is located at greater distances from the existing public water system than specified in subsection (a), and the developer chooses to not connect to the public system, the developer must construct a water system that provides for daily water supply and fire protection needs according to the following:

(1) *Development of five or more lots.*

(A) For development of five more lots, the developer must construct a water system adequate to supply water for daily use. There are two types of systems the developer may construct:

(i) *Community water system.* A developer can choose to construct a community water system if the following requirements are met:

(a) The community system meets the quantity standards specified by this section.

(b) Any proposed water system must be approved by the Alaska Department of Environmental Conservation and any other agency having jurisdiction. The developer must submit proof of approval to the department.

(c) All improvements must meet the city and borough standards for construction of public water systems. The community system must provide a separate service to the boundary of each proposed lot.

(d) The developer must submit the appropriate documents that show the continued maintenance of the community water system is guaranteed. The city and borough may review and comment on the documents, but is not responsible for their content or enforcement of any provisions.

(ii) *Individual wells.* A developer can also choose the option of individual wells to supply daily water needs, if the following requirements are met:

(a) The developer must clearly demonstrate to the satisfaction of the director of engineering and public works, through test wells, draw down tests, and other suitable methods, that the quantity standards specified in this section

can be met for all proposed lots.

(b) The proposed source and supply system must be approved by the Department of Natural Resources and other agencies having jurisdiction. Proof of the approval must be submitted to the department.

(B) Quantity requirements for development of five or more lots are as follows:

(i) *Residential use.* The proposed source and system for residential use must be capable of producing and delivering not less than 75 gallons per capita per day and a peak hour factor of 150 percent.

(ii) *Nonresidential development.* To determine quantity and distribution requirements for nonresidential development, the developer must provide an evaluation by an engineer licensed in the State of Alaska and submit the written evaluation to the director of engineering and public works for review and approval.

(iii) *Water rights.* The developer must show proof that the appropriate permit to appropriate water has been obtained from the State of Alaska for water rights for the source of water being proposed for use in the development.

(C) *Fire protection.* For a development of five or more lots proposed within the fire service area and not connecting to the public water system, the developer must construct a water supply system that will provide adequate fire protection. This distribution system must meet all the requirements of CBJ 49.35.310(d) above and may be separated or combined with the domestic water supply system.

(2) Development of four or fewer lots.

(A) Neither a community water system, nor individual wells are required if the development is of four or fewer lots.

(B) Fire protection requirements will be determined at the time the individual lots are developed.

(3) *Exception for remote subdivisions.* This section does not apply to remote subdivisions, unless the subdivider of the remote subdivision chooses to provide potable water or a public water system is available and the subdivision falls within the criteria outlined in subsection (a).

**Section 29. Repeal of Section.** CBJ 49.35.320 Fire flow, is repealed and reserved.

**Section 30. Repeal and Reenactment of Section.** CBJ 49.35.340 Oversizing lines, is repealed and reenacted to read:

**49.35.340 Oversizing lines.**

When the subdivider is required to install connecting lines, to increase the size of existing public lines, or to install a distribution system as part of a subdivision proposal, the director for minor subdivisions and the commission for major subdivisions, after reviewing a recommendation from the director of engineering and public works, may require any or all parts of such installation to be oversized if the director of engineering and public works finds it likely that within the expected life of the new construction an increase in capacity will be required to serve other areas.

**Section 31. Repeal and Reenactment of Section.** CBJ 49.35.410 Systems required, is repealed and reenacted to read:

**49.35.410 Sewer systems.**

(a) For new development, the developer must construct a public sewer system connecting to the existing public sewer system if the following criteria are met:

- (1) If development of five more lots is proposed within 500 feet of an existing public sewer system.
- (2) If development of four or fewer lots is proposed within 200 feet of an existing public sewer system.
- (3) For the purpose of this section, distance is measured as the radial distance from the closest sewer main to the nearest point of the boundary of the proposed subdivision.

(b) If a proposed development is located at greater distances from the existing public sewer system than specified above, unless the developer chooses to connect to the public system, then a private system is required. Either of the following acceptable private systems may be installed.

- (1) *Community and cluster wastewater systems.* Community wastewater systems, which have shared collection, treatment, and disposal and cluster wastewater systems, which have individual on-site treatment with a shared collection and disposal system are acceptable if the following requirements are met:

(A) The developer must provide a report and certification by a registered, qualified engineer licensed by the State of Alaska, which clearly shows that the proposed community or cluster wastewater system will operate satisfactorily, and how it will meet all other state and federal standards, to the satisfaction of the director of engineering and public works.

(B) The director of engineering and public works must review the report and make a recommendation to the commission. The director of engineering and public works will not make independent findings, but will make a recommendation as to the adequacy of the methodology and data provided in the report.

(C) All improvements must meet the City and Borough standards of construction for public sewer systems.

(D) The proposed wastewater systems must be approved by the Alaska Department of Environmental Conservation and any other agencies having jurisdiction. Proof of approval must be submitted to the department.

(2) *On-site wastewater systems.* Wastewater systems, which have individual on-site treatment and individual on-site disposal shall be acceptable if all the following requirements are met:

(A) The developer must provide a report and certification by a registered, qualified engineer or geologist licensed by the State of Alaska, which clearly shows that the proposed lots are large enough and have existing soils of sufficient permeability to permit the construction of on-site wastewater treatment and disposal systems.

(B) The director of engineering and public works shall review the report and make a recommendation to the director for minor subdivisions and to the commission for major subdivisions. The director of engineering and public works will not make independent findings but will make a recommendation as to the adequacy of the data provided and of the methodology proposed in the report for wastewater treatment and disposal.

(C) If adequate soils are not available onsite, the applicant can propose alternative methods for individual on-site wastewater systems. Alternative methods may include mound systems, marine outfalls, or other suitable wastewater systems. Review and approval of a proposal under this section must meet the applicable requirements of subsections (i) and (ii) of this section.

(c) *Residential wastewater systems – property owner responsibility.* The responsibilities of individual property owners for their individual wastewater systems are as follows:

(1) *Permitting.* All the owners of lots in new minor and major residential subdivisions using cluster or on-site wastewater systems must obtain a City and Borough on-site wastewater treatment and disposal system (OWTDS) permit from the engineering and public works department, and have completed construction and inspection of the system prior to issuance of any certificate of occupancy. The requirements for obtaining a wastewater treatment and disposal system permit, and the permit fees, shall be established by regulations issued by the manager pursuant to CBJ 01.60.

(2) *Limited maintenance contract required.* In addition, the property owners in new residential minor and major subdivisions shall be required to enter into a contract with the department of public works or its designee for inspection, monitoring, and treatment plant pumping of the private wastewater facility. All other maintenance of the wastewater system is the responsibility of the property owner.

(3) Violation of this section is an infraction.

(d) Compliance with (b) of this section does not exempt the developer or individual property owners from meeting all requirements of the Alaska State Department of Environmental Conservation regarding approval of wastewater systems.

**Section 32. Repeal and Reenactment of Section.** CBJ 49.35.420 Oversizing lines, is repealed and reenacted to read:

**49.35.420 Oversizing lines.**

When the subdivider is required to install connecting lines, to increase the size of existing public lines, or to install a distribution system as part of a subdivision proposal, the director for minor subdivisions and the commission for major subdivisions, after reviewing a recommendation from the director of engineering and public works, may require any or all parts of such installation to be oversized if the director of engineering and public works finds it likely that within the expected life of the new construction an increase in capacity will be required to serve other areas.

**Section 33. Repeal of Section.** CBJ 49.35.430 Private treatment systems, is repealed and reserved.

**Section 34. Repeal and Reenactment of Section.** CBJ 49.35.510 Drainage plan, is repealed and reenacted to read:

(a) The developer must provide a total surface drainage plan, prepared by a civil engineer licensed to practice in the State of Alaska, for approval by the director of engineering and public works. The plan must show all drainage facilities, and must include:

(1) The calculated increase in stormwater runoff resulting from the proposed development as well as the runoff from the total drainage area(s) associated with the site. Runoff calculation shall be based on a fully developed subdivision and a 25-year storm event.

(2) An evaluation of existing drainage ways and structures located between the development and the receiving water body shall verify that the existing drainage ways can accommodate the increased runoff.

(3) All public and any required private drainage facilities.

(4) A demonstration of how drainage from the proposed subdivision will outlet into an established drainage channel, unless an alternative drainage way is approved by the director of engineering and public works.

(b) *Easements.* All development must be provided with necessary drainage easements, and drainage facilities adequate to prevent increased surface or subsurface runoff to abutting properties.

(c) *Drainage systems required.* The developer must install all on and off-site improvements necessary to deal with increases in or changes to existing flows as shown on the approved drainage plan.

(d) *Construction timing.* Any drainage improvements required by this section must be constructed and approved prior to or at the same time as the completion of any street construction.

**Section 35. Repeal of Section.** CBJ 49.35.530 Municipal planned area drainage system, is repealed and reserved.

**Section 36. Repeal of Section.** CBJ 49.35.540 Easements, is repealed and reserved.

**Section 37. Repeal and Reenactment of Article.** CBJ 49.35, Article VI Pedestrian Access, is repealed and reenacted to read:

**ARTICLE VI. PUBLIC ACCESS**

- 49.35.610 Pedestrian and bicycle access in the roaded service area.
- 49.35.620 Streams and bodies of water.
- 49.35.630 Trailhead dedications or easements.
- 49.35.640 Acceleration and deceleration lanes.

**49.35.610 Pedestrian and bicycle access in the roaded service area.**

(a) *Shared use pathways.* Shared-use pathways for pedestrian and bicycle use within the roaded service area may be required through blocks longer than 600 feet, or where deemed necessary to provide reasonable circulation within and between residential areas, or to provide access to schools, playgrounds, shopping centers, transportation or other community facilities according to the following:

(1) *Shared-use pathway width.* The width of a shared use path must not be less than 10 feet.

(2) *Construction standards.* Shared-use pathways, where required, must be constructed according to the Alaska Department of Transportation and Public Facilities preconstruction manual on “Bicycle Ways.” The director of engineering and public works may approve alternative construction when deemed appropriate to the conditions of the site.

(3) *Right-of-way width.* A shared-use pathway must be located in dedicated right-of-way with a minimum width of 15 feet. The width of the right-of-way may be modified by the director for minor subdivisions and by the commission for major subdivisions, to accommodate the width of the fully constructed pathway and/or topographic features of the site.

(4) *Construction timing.* Shared-use pathways must be constructed prior to occupancy of any dwellings on lots located adjacent to the pathway, or at the time of all subdivision improvements are accepted by the City and Borough, whichever comes first.

(b) *Sidewalks.* The subdivider shall construct sidewalks according to table 49.35.240 in any residential subdivision, in all streets furnished with curbs and gutters, and in any commercial subdivision within the Urban Service Area.

(1) *Minimum width.* The minimum width of sidewalks is five feet.

public works, may waive the requirement for sidewalks and allow alternative pedestrian improvements to be constructed upon a written finding that the alternative will:

(A) Take advantage of natural features of the site or implement the Juneau Non-Motorized Transportation Plan; and

(B) Provide a safety, quality, and functional equivalent to the requirement being waived.

**49.35.620 Streams and bodies of water.**

The developer shall convey such easements or make such dedications as may be made necessary in order to provide public access to all streams and public bodies of water.

**49.35.630 Trailhead dedications or easements.**

The developer shall convey such easements or make such dedications as may be made necessary in order to provide public access to existing trails.

**49.35.640 Acceleration and deceleration lanes.**

(a) If a driveway serves right-turning traffic from a parking area providing 200 or more parking spaces, and the road has a peak-hour traffic volume exceeding 750 vehicles per hour, an acceleration lane at least 200 feet long and at least ten feet wide measured from the driveway to the acceleration lane shall be provided.

(b) If a driveway serves as an entrance to a land development providing 100 or more parking spaces, a deceleration lane shall be provided for traffic turning right into the driveway from the road. The deceleration lane shall be at least 200 feet long and at least 13 feet wide measured from the road curb radius. A minimum 35-foot curb return radius shall be used from the deceleration lane in the driveway.

**Section 38. Amendment of Section.** CBJ 49.35.720, Provision of utilities (Reserved), is amended by adding a new section to read:

**49.35.720 Utility access.**

(a) Public rights-of-way or easements, together with the right of ingress and egress, shall be provided where necessary for public utilities. Where easements are required, and approved for public water systems, sanitary sewers, storm drainage facilities, or other similar public uses, the following requirements apply:

adequate space within the easement to accomplish maintenance, excavation, and stockpiling of material. The minimum width for a public easement that does not abut a public right-of-way is 20 feet, unless otherwise required by the director of engineering and public works.

(2) *Surface.* Easements shall be graded and compacted to provide a suitable surface for access and maintenance.

(3) *Restricted access.* Where easements adjoin a public street, the director of engineering and public works may require improvements to prevent access by the public.

(b) The director or planning commission shall require easements to be shown on a plat that grants access or other rights in the favor of certain properties. These private easements are not dedicated to or maintained by the public and must be noted as such on the plat.

(c) A note must be added to the plat stating the purpose of the easement, the grantee of the easement, restrictions on the easement use, and whether the easement is permanent or temporary, or private or public.

**Section 39. Amendment of Chapter.** CBJ 49.40 Access, Parking and Traffic, is amended to read:

#### **CHAPTER 49.40**

#### **PARKING AND TRAFFIC**

**Section 40. Repeal of Article.** CBJ 49.40, Article I Access, is repealed and reserved.

**Section 41. Amendment of Section.** CBJ 49.65.610 Bungalow lot subdivisions, is amended to read:

#### **49.65.610 Bungalow lot subdivisions.**

(a) Subdivisions creating bungalow lots must meet the following requirements:

(1) Lots must be served by municipal water and sewer and publicly maintained roads.

(2) In zoning districts D1, D3, D5, D10-SF, and D10, subdivisions shall not exceed two bungalow lots for each standard lot.

(3) In zoning districts D15 and D18, bungalow lots may be platted without creating standard lots.

"At the time of plat recording, structures on (lot and block number for all bungalow lots) were limited to one 1,000 square foot detached single-family residence per lot; other restrictions apply as well. See the City and Borough of Juneau Land Use Code for current regulations."

(5) Lots created through the Planned Unit Development process shall not be further subdivided into bungalow lots.

**Section 42. Amendment of Section.** CBJ 49.65.620 Review procedure, is amended to read:

**49.65.620 Review procedure.**

(a) The review procedure for bungalow lot subdivisions shall be:

(1) In zoning districts D1, D3, D5, D10-SF, and D10:

(A) A minor subdivision procedure may be used for subdivision of a parcel into not more than four lots, provided that no fewer than one standard lot for each bungalow lot shall be created through this process.

(B) Subdivisions containing one standard lot and two bungalow lots shall be processed as major subdivisions.

(2) In zoning districts D15 and D18, bungalow lots may be platted through the subdivision process set forth in Chapter 49.15, Article IV.

**Section 43. Amendment of Section.** CBJ 49.65.700 Purpose, is amended to read:

**49.65.700 Purpose.**

The purpose of this article is to allow, in certain residential districts, the development of common wall residential structures where each dwelling and underlying property is held under separate ownership.

**Section 44. Repeal and Reenactment.** CBJ 49.65.705 Procedure, is repealed and reenacted to read:

**49.65.705 Procedure.**

The development of a common wall subdivision involves a two-step approval process: the approval of a development permit and the approval of a common wall subdivision permit.

**Section 45. Repeal and Reenactment of Section.** CBJ 49.65.710 Four dwellings or less, is repealed and reenacted to read:

**49.65.710 Development permits.**

(a) The development permits required for construction of common wall development are either department review, or planning commission review under the conditional use permit process. The particular permit is determined by which zoning district within which the project is located, and the proposed number of units, in accordance with the CBJ Table of Permissible Uses.

(1) *Department review.*

(A) *Application submittals.* The following submittals are required with an application for department approval:

(i) Building plans that meet the requirements of this chapter and Title 19.

(ii) A sketch plat in accordance with CBJ 49.15.410. The sketch plat must include information necessary to demonstrate that the proposed common wall development will be able to comply with all the dimensional standards of this article after the parcel and structure have been divided.

(iii) A draft set of common wall agreements and homeowner agreements which set forth the rights and obligations of the owners for all common elements of the development.

(B) *Application review.* The application shall be reviewed by the director in accordance with CBJ 49.15.310.

(2) *Planning commission review.*

(A) *Application submittals.* The following submittals shall be required with the conditional use permit application:

(i) Building plans that include a detailed site plan and elevations of the proposed structures. Plans suitable for a building permit application are not required at this time.

(ii) A draft set of common wall agreements and homeowner's agreements which set forth the rights and obligations of the owners for all common elements of the development.

(iii) A sketch plat in accordance with CBJ 49.15.410. The sketch plat must include that information necessary to demonstrate that the proposed common wall development will comply with all the dimensional standards of this article after the parcel and structure have been divided.

(B) *Application review.* The commission will review and approve the application in accordance with CBJ 49.15.330.

**Section 46. Repeal and Reenactment of Section.** CBJ 49.65.720 Five dwellings or more, is repealed and reenacted to read:

**49.65.720 Common wall subdivision.**

(a) The applicant shall submit an application to subdivide the common wall development into individual dwellings and lots in accordance with 49.15.401, 49.15.402, CBJ 49.65 Article VII, and the following additional requirements:

(1) *Preliminary plat.* The following additional items will be submitted with the preliminary plat:

(A) An as-built survey that includes all structures and the location of the common walls in relation to the proposed common property lines.

(B) Framing inspections that document substantial construction of all units in accordance with the preliminary plans approved by the director or the commission through the department approval, or the conditional use process, respectively.

(C) Final common wall agreements and/or homeowners' agreements suitable for recording.

(b) *Final Plat.* After review and approval of the final plat, in accordance with CBJ 49.15.412, the plat and the common wall agreement documents may be recorded by the department at the State Recorder's Office at Juneau at the applicant's expense, after issuance of final occupancy permits.

**Section 47. Amendment of Section.** CBJ 49.65.730 Utilities, is amended to read:

**49.65.730 Separate utilities.**

All common wall dwellings must be served by individual public water and sewer services unless otherwise authorized by CBJ Title 75.

**Section 48. Repeal and Reenactment of Section.** CBJ 49.65.735 Parking and access, is repealed and reenacted to read:

**49.65.735 Parking and access**

- (a) Common wall development shall meet the parking requirements for single-family dwellings in accordance with CBJ 49.40.
- (b) For common wall structures of three or more dwellings, access to public rights-of-way may be restricted to common driveways for each pair of dwellings.
- (c) The commission can consider alternative parking and access proposals, such as common parking areas, under the conditional use permitting process.
- (d) All common parking and access arrangements shall include appropriate easements and homeowners' agreements.

**Section 49. Amendment of Section.** CBJ 49.65.740 Density, is amended to read:

**49.65.740 Density.**

The density allowed for common wall dwellings in any zoning district is the density specified for dwellings other than duplexes in that district and in accordance with CBJ 49.25, Article V.

**Section 50. Amendment of Section.** CBJ 49.65.750 Dimensional standards, is amended to read:

**49.65.750 Dimensional standards.**

...

- (3) *Minimum side yard setback.* The minimum side yard setback from the common property line is reduced to zero feet. The remaining side yard setbacks shall be ten feet in a D5 zone, three feet in a D10-SF zone, and five feet in a D10, D15, D18 or MU2 zone.

...

**Section 51. Amendment of Section.** CBJ 49.70.210 Scope, is amended to read:

**49.70.210 Applicability and Scope.**

- (a) This article applies to all development on hillsides in the City and Borough that involves the following:

- (2) Excavation of any slope in excess of 18 percent;
  - (3) Creation of a new slope in excess of 18 percent for a vertical distance of at least five feet; or
  - (4) Any hazard area identified on the landslide and avalanche area maps dated September 9, 1987, consisting of sheets 1—8, as the same may be amended from time to time by the assembly by ordinance or any other areas determined to be susceptible to geophysical hazards.
- (b) All hillside development endorsement applications shall be reviewed by the planning commission, except the following may be reviewed by the director:
- (1) An excavation below finished grade for basements and footings of a building, a retaining wall or other structure authorized by a building permit, provided that this shall not exempt any fill made with the material from such excavation nor any excavation having an unsupported height greater than two feet after the completion of the associated structure.
  - (2) Graves.
  - (3) Mining, quarrying, excavating, processing, or stockpiling of rock, sand, gravel, aggregate or clay provided such operations do not affect the location or peak volume of runoff, the location or amount of standing water, or the lateral support for, the stresses in, or the pressure upon, any adjacent or contiguous property.
  - (4) Exploratory excavations less than 200 square feet in area and under the direction of a civil engineer with knowledge and experience in the application of geology in the design of civil work.
  - (5) An excavation which:
    - (A) Is less than two feet in depth and covers less than 200 square feet; or
    - (B) Does not create a cut slope greater than five feet in height or steeper than 1½ horizontal to one vertical.
  - (6) A fill less than one foot in depth and intended to support structures which fill is placed on natural terrain with a slope flatter than five horizontal to one vertical, which does not exceed 20 cubic yards on any one lot and which does not obstruct a drainage course.
  - (7) A fill less than three feet in depth and not intended to support structures which fill is placed on natural terrain on a slope flatter than five horizontal to one vertical,

which does not exceed 50 cubic yards on any one lot and which does not obstruct a drainage course.

(8) Minor development.

**Section 52. Amendment of Section.** CBJ 49.70.220 Hillside development endorsement application, is amended to read:

**49.70.220 Hillside development endorsement application.**

(a) All development on hillsides shall be pursuant to a hillside development endorsement.

(b) The developer shall apply for and obtain a hillside development endorsement prior to any site work other than land and engineering surveys and soils exploration.

**Section 53. Repeal and Reenactment of Section.** CBJ 49.70.240 Submission requirements; application, is repealed and reenacted to read:

**49.70.240 Application.**

The application shall be accompanied by the following materials, which shall be signed and stamped by a civil engineer, architect, geologist or land surveyor licensed in the State of Alaska:

(1) A vicinity map, at a clear and legible scale, showing roads, place and street names and natural waterbodies.

(2) Site maps, showing the present condition of the site at a clear and legible scale compatible with the size of the development and including:

(A) Two-foot contours for flat terrain or five-foot contours for steep terrain and extending 50 feet in all directions beyond the development site; 12 percent line, 30 percent line;

(B) Water bodies, tidelands and drainage ways from the development site to accepting natural waterbody;

(C) Lot boundaries and easements for the site and adjacent lots; and

(D) Existing improvements on the site and adjacent lots, including structures, roads, driveways and utility lines.

- (3) The application shall include a finished proposed site plan at a clear and legible scale that includes the following information:
- (A) Finished grade at two-foot contours for flat terrain or five-foot contours for steep terrain and extending 50 feet in all directions beyond the development site; 12 percent line, 30 percent line.
  - (B) Water bodies, tidelands and drainage ways, and temporary and permanent drainage systems from the development site to the accepting natural waterbody.
  - (C) Lot boundaries, easements and setback lines.
  - (D) The location of improvements including structures, roads, driveways, utility lines, culverts, walls and cribbing.
  - (E) Clearing limits of existing vegetative cover.
  - (F) A cross section of the development site.
- (4) The application shall include detailed engineering drawings of roads, driveways, parking areas, structural improvements for foundations, off-site stormwater runoff systems; cross sections and road elevations.
- (5) A description of the source and type of any off-site fill, and the site for depositing excess fill.
- (6) A landscaping plan, including all trees to be retained in excavation areas, all plant species and locations; temporary slope protection measures; erosion and siltation control measures; seeding or sodding materials, a planting and maintenance program; and methods of stabilization and protection of bare slopes.
- (7) An engineering geologic report, including a summary of the relevant surface and bedrock geology of the site, a discussion of active geologic processes with conclusions and recommendations regarding the effect of geologic factors on the proposed development; data regarding the nature, distribution and relevant parameters of existing soils, recommendations for grading procedures; design criteria for corrective measures as necessary, and recommendations covering the suitability of the site for the proposed development.
- (8) A work schedule, by phase.

**Section 54. Amendment of Section.** CBJ 49.70.260 Criteria, is amended to read:

**49.70.260 Criteria.**

The commission or director shall consider the extent to which the development meets the following criteria:

- (1) *Soil erosion.* Soil disturbance and soil erosion shall be minimized and the effects thereof mitigated.
- (2) *Existing vegetation.* Depletion of existing vegetation shall be minimized.
- (3) *Contours.* The developer shall recontour the finished grade to natural-appearing contours which are at or below 30 percent or the natural angle of repose for the soil type, whichever is lower, and which will hold vegetation.
- (4) *Time of exposure and soil retention.* The developer shall minimize the period of time that soil is exposed and shall employ mats, silt blocks or other retention features to maximize soil retention.
- (5) *Replanting.* The developer shall mat, where necessary, and plant all exposed soil in grass or other soil-retaining vegetation and shall maintain the vegetation for one full growing season after planting.
- (6) *Drainage.* The developer shall minimize disturbance to the natural course of streams and drainage ways. Where disturbance is unavoidable, the developer shall provide a drainage system or structures which will minimize the possibility of sedimentation and soil erosion on-site and downstream and which will maintain or enhance the general stream characteristics, spawning quality, and other habitat features of the stream and its receiving waters. Where possible, development shall be designed so lot lines follow natural drainage ways.
- (7) *Foundations.* The developer shall ensure that buildings will be constructed on geologically safe terrain.
- (8) *Very steep slopes.* The developer shall minimize excavation on slopes over 30 percent.
- (9) *Soil retention features.* The developer shall minimize the use of constructed retention features. Where used, their visual impact shall be minimized through the use of natural aggregate or wood, variation of facade, replanted terraces, and the like.

(10) *Wet weather periods.* The developer shall minimize exposure of soil during the periods of September 1—November 30 and March 1—May 1.

**Section 55. Amendment of Section.** CBJ 49.70.270 Conditions on approval, is amended to read:

**49.70.270 Conditions on approval.**

The commission or director may place conditions upon a hillside development endorsement as necessary or desirable to ensure that the spirit of this chapter will be implemented in the manner indicated in the application. Fulfillment of conditions shall be certified by the engineer. The conditions may consist of one or more of the following:

(1) *Development schedule.* The commission or director may place a reasonable time limit on or require phasing of construction activity associated with the development or any portion thereof, in order to minimize construction-related disruption to traffic and neighbors or to ensure that the development is not used or occupied prior to substantial completion of required improvements.

(2) *Dedications.* The commission or director may require conveyances of title or other legal or equitable interests to public entities, public utilities, a homeowner's association, or other common entities. The developer may be required to construct any public facilities, such as drainage retention areas, to City and Borough standards prior to dedication.

(3) *Construction guarantees.* The commission or director may require the posting of a bond or other surety or collateral providing for whole or partial releases, in order to ensure that all required improvements are constructed as specified in the approved plans.

(4) *Lot size.* If justified by site topography, the commission or director may require larger lot areas than prescribed by zoning requirements.

**Section 56. Amendment of Section.** CBJ 49.70.710 Subdivisions in transition zones shadow platting, is amended to read:

**49.70.710 Subdivisions in transition zones shadow platting.**

(a) *Contents of application.* When a plat is submitted under chapter 49.15, article IV for a subdivision of five or more lots in a transition zone, the application shall include a shadow plat of the property. The shadow plat shall be a sketch plat overlay of the actual lot layout proposed. This overlay shall reflect as nearly as possible the future resubdivision of the parcels into smaller lots, based upon the density and lot size allowed after public sewer and water are provided.

(b) *Decision.* The director for minor subdivisions and the commission for major subdivisions shall review and approve the application based on how well the proposed lot layout will lend itself to future resubdivision as well as other requirements of this title.

**Section 57. Amendment of Section.** CBJ 49.75.130 Procedure, is amended to read:

**49.75.130 Procedure.**

A rezoning shall follow the procedure for a major development permit except for the following:

(a) The commission shall make a recommendation to the assembly to approve, approve with modifications, or deny a rezoning request. The commission shall prepare written findings in support of its recommendation. The commission's notice of recommendation shall be posted on the department's website within ten days of the public hearing on the proposed rezone. If the commission recommends approval of the rezoning request or approval with modifications, the director shall forward the commission's written recommendation to the assembly with an ordinance to amend the official zoning map in accordance with the recommendation. If the commission recommends denial, the amendment shall be deemed disapproved unless the applicant files a notice of protest in accordance with CBJ 49.75.130(b).

(b) Protests.

(1) An applicant may protest the commission's recommendation to deny the rezoning by filing a written statement with the municipal clerk within 20 days of the commission's written notice of recommendation for denial, requesting that an ordinance amending the zoning map as set out in the application be submitted for action by the assembly. The director shall, within 30 days of the filing of the protest with the municipal clerk, prepare a draft ordinance to be appended to the notice of recommendation for consideration by the assembly.

(2) Any person may protest the commission's recommendation to approve a rezoning request or approve a rezoning request with modification by filing a written protest with the municipal clerk within 20 days of the commission's written notice of recommendation.

(3) In the case of a timely filed protest and after introduction of the proposed ordinance at a regularly scheduled assembly meeting, the assembly shall hold a public hearing on the proposed rezoning. At the close of the hearing, the assembly shall approve the zoning map amendment as recommended by the commission, approve the zoning map amendment with modifications, or deny the zoning map amendment.

(c) All rezonings shall be adopted by ordinance, and any conditions thereon shall be contained in the ordinance. Upon adoption of any such ordinance, the director shall cause the official zoning map to be amended in accordance with the adopted ordinance.

**Section 58. Amendment of Section.** CBJ 49.80.120 Definitions, is **amended** to read:

**49.80.120 Definitions.**

...

*Development permit* means department approvals, subdivision permits and approvals, allowable use permits, special use permits and conditional use permits.

...

*Public sewer and water system* means any system that is operated by a municipality, governmental agency, or a public utility licensed as such by the state for the collection, treatment and disposal of wastes, furnishing of potable water and fire protection.

*Public way* means pedestrian ways, rights-of-way, and streets and any other way held for or held open by a public entity for purposes of public access.

...

*Right-of-way* means a defined area of land, including surface, overhead and underground space, reserved or granted by deed, easement or dedication for a street, alley, utility, walkway, sidewalk, or other public ways.

...

*Roadway* means the portion of a street intended for vehicular traffic; where curbs are laid, the portion of the street between the back of the curbs.

...

*Street* means a thoroughfare improved or intended to be improved for travel, permanently open to general public use that affords the principal means of access, frontage and address to individual buildings, lots and blocks. Streets include a pioneer path, road, avenue, place, drive, boulevard, highway or other similar means of public thoroughfares except an alley. Unless otherwise indicated, the term street shall refer to both public and private streets.

...

*Street, arterial,* means a street with access control, channelized intersections, restricted parking, and which collects and distributes traffic to and from minor arterials and collectors.

*Subdivider* means the developer or owner of a subdivision.

...

*Subdivision* means the division or redivision of a tract or parcel of land into two or more lots, sites or other divisions and the act of developing, constructing or improving property with a subdivision as required by CBJ Title 49.

...

*Urban service area* means the urban service area established in the comprehensive plan.

**Section 59. Amendment of Section.** CBJ 49.80.120 Definitions, is amended by **deleting** the following definition:

*Minor development* means a subdivision of four or fewer lots in any zoning district; minor development is also classified by zoning district as follows:

*Rural Reserve District:* A residential development containing two or fewer dwelling units, two or fewer bedrooms leased on a daily or weekly basis, or a nonresidential building of less than 10,000 square feet or using less than one acre of land.

*Single-Family Residential Districts:* A residential development containing two or fewer dwelling units, two or fewer bedrooms leased on a daily or weekly basis, or a nonresidential building of less than 5,000 square feet or using less than 10,000 square feet of land.

*Multifamily Family Residential Districts:* A residential development containing eight or fewer dwelling units, eight or fewer bedrooms leased on a daily or weekly basis, or a nonresidential building of less than 5,000 square feet or using less than 10,000 square feet of land.

*Commercial and Mixed Use Districts:* A residential development containing 12 or fewer dwelling units, 12 or fewer bedrooms leased on a daily or weekly basis, or a nonresidential building of less than 10,000 square feet or using less than one-half acre of land.

*Industrial Districts:* Non-residential buildings of 15,000 square feet or using less than one acre of land.

**Section 60. Amendment of Section.** CBJ 49.80.120 Definitions, is amended by the **addition** of the following definitions to be incorporated in alphabetical order:

*Cluster wastewater system* means a system with individual on-site wastewater treatment and a shared wastewater collection system under some form of common ownership, other than public ownership, that collects wastewater from two or more dwellings and conveys it for disposal to a suitable site near the dwellings.

*Common facilities* means streets, sidewalks, parking areas, community buildings, refuse disposal systems, sewer systems, and water systems, held in common ownership by planned unit development homeowners.

*Common open space* means open space held in common ownership by planned unit development homeowners. Buildings, parking areas, and similar improvements may be located in and included in the calculation of common open space if related and necessary to the function of the open space. Stormwater drainage and flood storage may be located in and included in the calculation of the common open space. Common on-site sewage disposal systems, but not individual septic systems, may be located in and included in the calculation of common open space. Streets may be located in but shall not be included in the calculation of common open space.

*Community wastewater and disposal system* means a system with a shared wastewater treatment and collection system under some form of common ownership, other than public ownership, that collects wastewater from two or more dwellings and conveys it to a treatment plant and disposal system located on a suitable site near the dwellings.

*Conservation lot* means an undeveloped or remediated parcel where building development is permanently prohibited. A conservation lot is intended to preserve open space, environmentally sensitive areas, scenic views, wetlands, and buffers.

*Density bonus* means an increase in allowable density above that otherwise allowed in the zoning district in which the planned unit development is located.

*Improved common open space* means common open space containing common facilities, recreational equipment, parks, gardens, picnic areas, landscaping, or other outdoor improvements.

*Natural area park* means a lot owned by a government and characterized by areas of natural quality designed to serve the entire community by providing fish and wildlife habitat, open space/natural areas, access to water, and opportunities for passive and dispersed recreation activities. Development is prohibited except for structures, roads, and trails necessary for public use, education, maintenance, and protection of the resource.

*Panhandle lot* means a lot where the only owned access to the right of way is a narrow strip of land, the width of which is less than the minimum required by code.

*Pioneer path* means an access path for pedestrian, equestrian, human powered vehicles, all-terrain vehicles, snow machines, and similar off-road recreational vehicles weighing less than 1,000 pounds gross vehicle weight and having a maximum overall width of 48 inches. Except as identified above, a pioneer path shall be designed and constructed to prevent a vehicle registered or required to be registered under AS 28.10 from traveling on the pioneer path.

*Planned unit development* means a tract of land at least two acres in area, under single, corporation, firm, partnership, or association ownership, planned and developed as an integral unit in a single development operation or a definitely programmed series of development operations and according to approved preliminary and final development plans. Planned unit developments shall comply with all requirements of the land use code, except to the extent that such requirements are superseded by a permit issued pursuant to this article.

*Private improvements* means those improvements required as part of a subdivision or other land use permit that will not be maintained by the City and Borough or other agency of government.

*Privately maintained access road* means a road that the department or the commission has permitted to be constructed at less than full public street standards in an existing right-of-way. Privately maintained access roads can be used by the public and can provide access to more than one parcel, but will not be publicly maintained. A privately maintained access road is distinguished from an ordinary driveway in that an ordinary driveway provides access between a parcel of land and the public portion of the street, and is not for public access (See Figure 5).

*Public improvements* means any construction incidental to servicing or furnishing facilities to a development, including but not limited to: streets; retaining walls; street signs and markings; curbs and gutters; street lights and associated power conduits; sidewalks; shared use pathways; sewer mains, pump stations, service laterals, manholes, cleanouts and all associated parts; storm sewer mains, manholes, catch basins, pump stations, service laterals, and all associated parts; water mains, fire hydrants, service laterals, valves, pump stations, reservoirs, and all associated parts.

*Public square* means an area dedicated for public use for temporary leisure, assembly, markets, and similar uses.

*Quasi-public* means property or infrastructure that is normally owned by the public sector, but owned by the private sector serving in the public interest.

*Radial distance* means the shortest distance measured along a radius extending from a point of the object being measured from to a point on the object being measured to.

*Roadway Width* is measured as the paved section of a paved street or from shoulder to shoulder on a gravel street.

*Sight distance* means the distance that a driver needs to react appropriately to a situation, including stopping sight distance, passing sight distance, and intersection sight distance.

*Undisturbed common open space* means common open space left in its natural condition.

**Section 61. Amendment of Section.** CBJ 49.85.100 Generally, is amended to read:

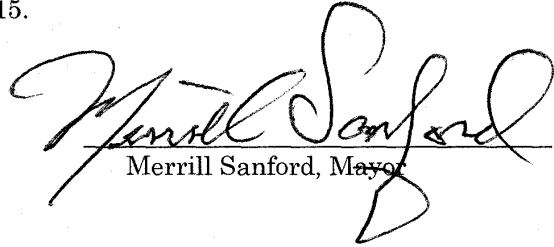
**49.85.100 Generally.**

Processing fees are established for each development, platting and other land use action in accordance with the following schedule:

- (1) Minor development.
  - (A) Reserved;
  - (B) Staff review, no charge if a building permit is required;
  - (C) Sign permit, \$50.00 for the first two signs, and \$20.00 for each additional sign.
  
- (2) Minor subdivision or consolidation.
  - (A) Subdivision creating additional lots, \$400.00 plus \$25.00 for each resulting lot;
  - (B) Subdivision creating no additional lots, \$110.00 plus \$25.00 for each lot changed.
  
- ...
  
- (4) Major subdivisions, including mobile home subdivisions.
  - (A) Preliminary plat, \$110.00 per lot;
  - (B) Final plat, \$70.00 per lot;
  - (C) Reserved;
  - (D) Plat amendment, \$110.00 plus \$25.00 per lot.
  
- ...
  
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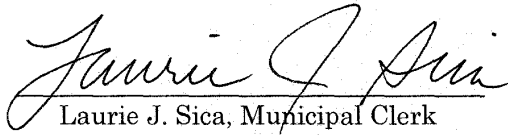
**Section 62. Effective Date.** This ordinance shall be effective 30 days after its adoption.

Adopted this 31<sup>st</sup> day of August, 2015.

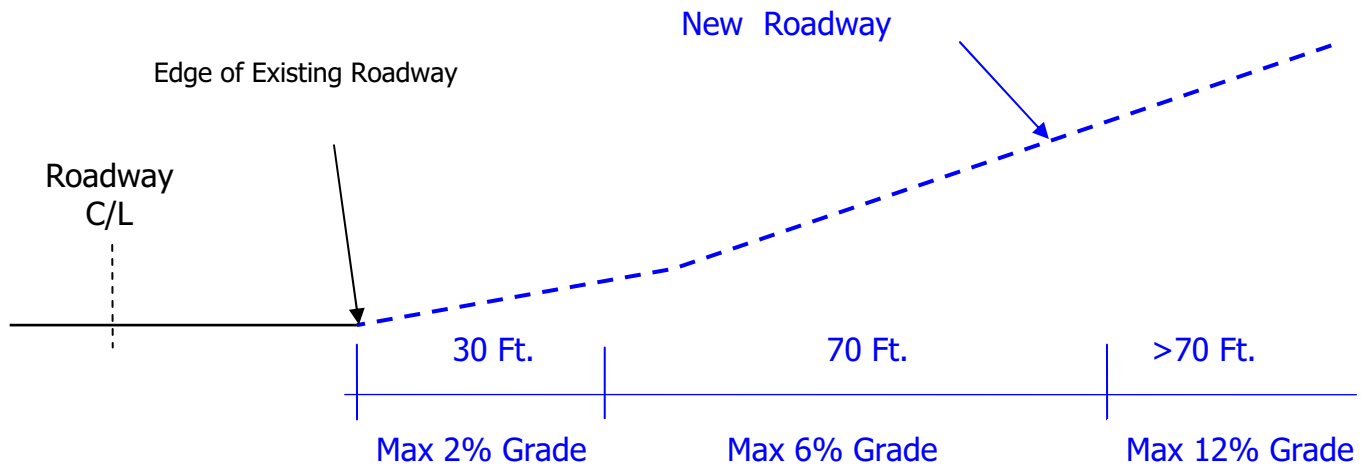


Merrill Sanford, Mayor

Attest:

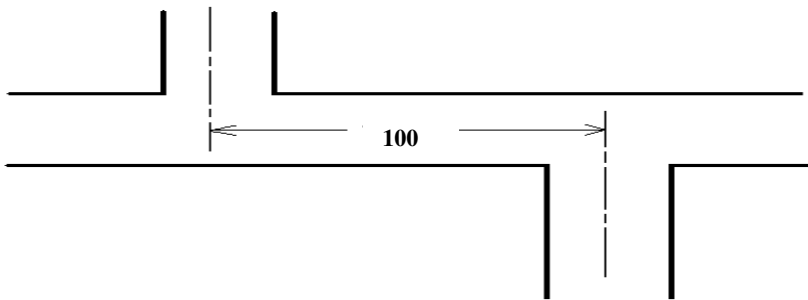


Laurie J. Sica, Municipal Clerk



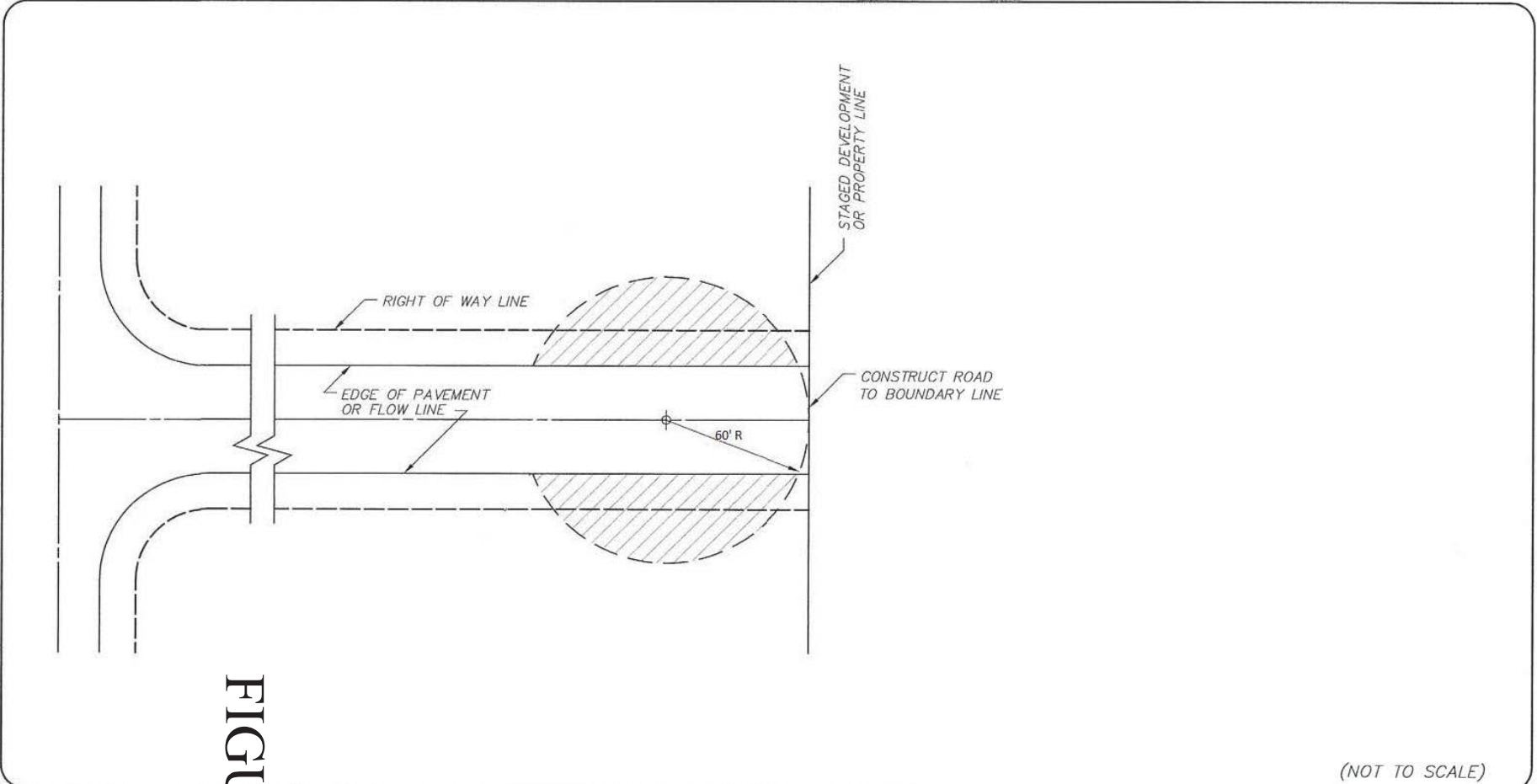
Maximum Grades at the Intersection of a New Roadway

# FIGURE 1



**Street jogs shall be no less than 100' apart, measured from the center of the street.**

## **FIGURE 2**

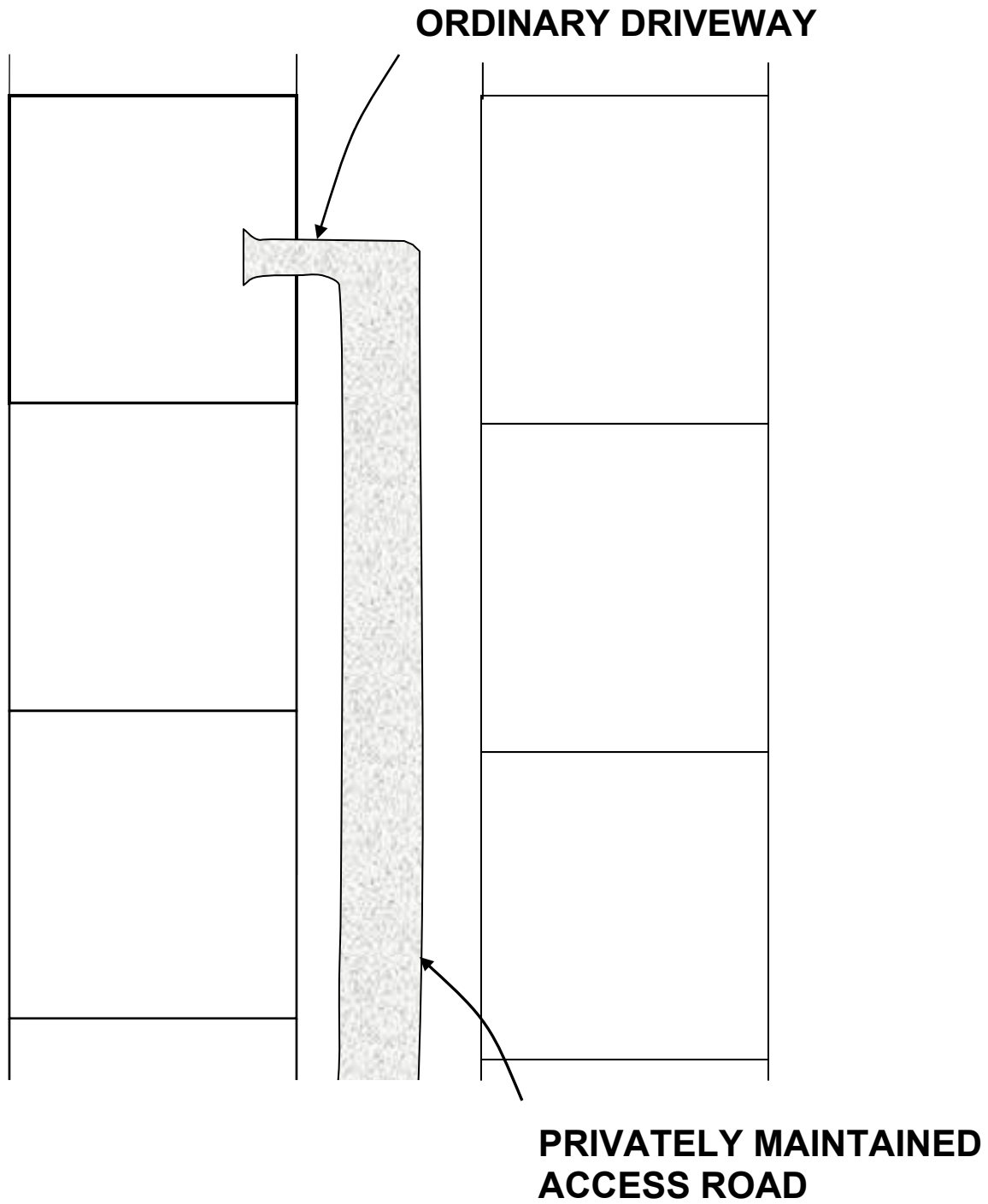


(NOT TO SCALE)

FIGURE 3



FIGURE 4



**FIGURE 5**



## Planning Commission

(907) 586-0715

PC\_Comments@juneau.org

www.juneau.org/plancomm

155 S. Seward Street • Juneau, AK 99801

### PLANNING COMMISSION NOTICE OF DECISION

Date: August 22, 2019

Case No.: USE2019 0018

Nugz LLC

ATTN: Dave Smith & Bryan King

9331 Glacier Highway

Juneau, AK 99801

Proposal: Conditional Use Permit for a marijuana cultivation facility

Property Address: 9331 Glacier Highway

Legal Description: Mendenhall Acres Block 41 Lot 3 FR & 4 FR

Parcel Code No.: 5B1601140050

Hearing Date: August 13, 2019

The Planning Commission, at its regular public meeting, adopted the analysis and findings listed in the attached memorandum dated August 2, 2019, and approved the marijuana cultivation facility to be conducted as described in the project description and project drawings submitted with the application, and with the following conditions:

1. Prior to approval of CBJ marijuana license, it shall be demonstrated that surveillance cameras have an unobstructed view of each doorway in the building, and it shall be demonstrated that security cameras have an unobstructed view of areas of regular activity without site blockages from lights, hoods, plants, fixtures, or other equipment in the building.
2. CBJ-approved signage shall be posted for the van-accessible parking space prior to final certificate of occupancy.
3. Striping for all required parking spaces be provided prior to final certificate of occupancy.
4. Debris must be removed from vegetative cover areas prior to final certificate of occupancy.

5. A complete copy of the applicant's approved state license application must be submitted to the department for review prior to operating.
6. All waste containing marijuana product shall be stored in a locked enclosure until transported to the CBJ landfill.

Attachments: August 2, 2019, memorandum from Amy Liu, Community Development, to the CBJ Planning Commission regarding USE2019 0018.

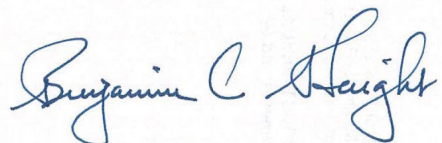
This Notice of Decision does not authorize construction activity. Prior to starting any project, it is the applicant's responsibility to obtain the required Building Permits.

This Notice of Decision constitutes a final decision of the CBJ Planning Commission. Appeals must be brought to the CBJ Assembly in accordance with CBJ 01.50.030. Appeals must be filed by 4:30 P.M. on the day twenty days from the date the decision is filed with the City Clerk, pursuant to CBJ 01.50.030 (c). Any action by the applicant in reliance on the decision of the Planning Commission shall be at the risk that the decision may be reversed on appeal (CBJ 49.20.120).

Effective Date: The permit is effective upon approval by the Commission, August 13, 2019.

Expiration Date: The permit will expire 18 months after the effective date, or February 13, 2021, if no Building Permit has been issued and substantial construction progress has not been made in accordance with the plans for which the development permit was authorized. Application for permit extension must be submitted thirty days prior to the expiration date.

Project Planner:   
\_\_\_\_\_  
Amy Liu, Planner  
Community Development Department

  
\_\_\_\_\_  
Benjamin Haight, Chair  
Planning Commission

  
\_\_\_\_\_  
Filed With Municipal Clerk

8/26/2019  
\_\_\_\_\_  
Date

cc: Plan Review

**NOTE:** The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this development project. ADA regulations have access requirements above and beyond CBJ-adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center (800) 949-4232, or fax (360) 438-3208.

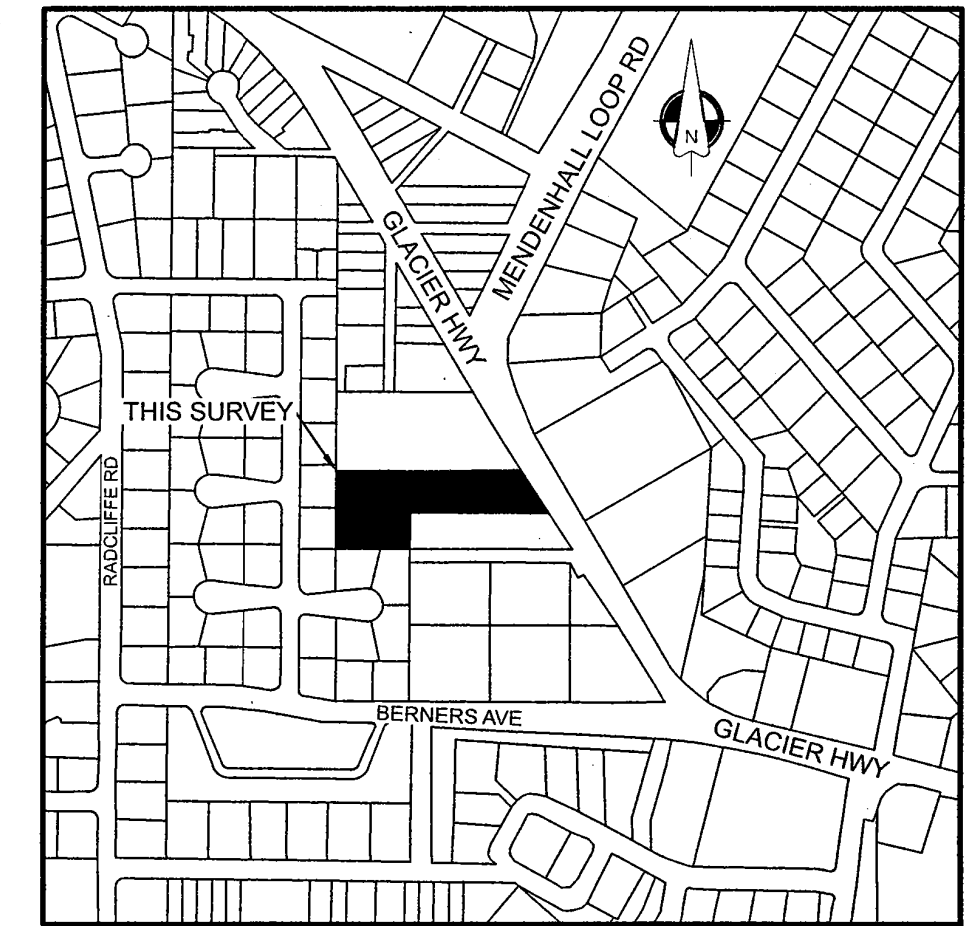
**NOTES**

- PARTS OF THIS SUBDIVISION ARE LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO THE EFFECTIVE CITY AND BOROUGH OF JUNEAU FLOOD INSURANCE RATE MAPS (FIRM) COMMUNITY PANEL #0211C1527E, DATED SEPTEMBER 18, 2020. SPECIAL DEVELOPMENT STANDARDS MAY APPLY ACCORDING TO CBJ TITLE 49, LAND USE CODE.
- DUCK CREEK (ADFG STREAM ID #111-50-10500-2002) IS DETERMINED TO BE AN ANADROMOUS STREAM PER THE CITY AND BOROUGH OF JUNEAU 2013 COMPREHENSIVE PLAN. SPECIAL REGULATIONS INCLUDING DEVELOPMENT BUFFERS MAY APPLY.
- THE ON-LOT STORMWATER RUNOFF DRAINAGE IS ACCEPTABLE AS EXISTS BETWEEN THE PLATTED LOTS OF THIS SUBDIVISION AND MAY NOT BE MODIFIED UNLESS PERMITTED BY CBJ ENGINEERING PURSUANT TO CBJ 19.12.120.1 BEST MANAGEMENT PRACTICES.
- NO LOT WITHIN THIS SUBDIVISION WILL DIRECTLY ACCESS GLACIER HIGHWAY, EXCEPT FROM THE ACCESS POINT INDICATED BY THE PRIVATE SHARED ACCESS EASEMENT CREATED HEREON.
- ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
- SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
- DOMESTIC WATER AND SANITARY SEWER PROVIDED BY THE CITY AND BOROUGH OF JUNEAU PUBLIC UTILITIES.
- WHERE RECORD BEARINGS AND DISTANCES DIFFER FROM MEASURED, RECORD DIMENSIONS ARE SHOWN IN PARENTHESIS AND REFERENCED TO A RECORD PLAT (#).
- THE LEGAL DESCRIPTION FOR THE WORDEN HOMES INC. PROPERTY IS DESCRIBED AND REFERENCED ON RECORD DOCUMENT No. 2006-007292-0. THE LEGAL DESCRIPTION FOR THE B.P.O.E. JUNEAU LODGE 420 PROPERTY IS DESCRIBED ON RECORD DOCUMENT No. 2010-004623-0.
- THIS SURVEY VACATES THE EASEMENT AGREEMENT CREATED BY WORDEN HOMES INC. AND WORDEN HOMES INC., RECORDED AS RECORD DOCUMENT No. 2006-7294-0.
- THIS SURVEY VACATES THE EASEMENT AGREEMENT CREATED BY WORDEN HOMES INC. AND CHARLES T. WILLIAMS, RECORDED AS RECORD DOCUMENT No. 2006-7295-0.
- THE UTILITY EASEMENT CREATED BY HARRY A. SWANKE AND RECORDED AS RECORD DOCUMENT No. 1984-002997-0 REMAINS AND IS UNCHANGED BY THIS SURVEY. THIS EASEMENT LOCATION IS DEFINED BY THE PHYSICAL LOCATION OF THE BURIED SEWER LINE ACROSS A PORTION OF THE ORIGINAL LOTS 4 AND 5 OF BLOCK 41, MENDENHALL ACRE SUBDIVISION.
- THE ACCESS, UTILITY, AND DRAINAGE EASEMENT CREATED HEREON DESCRIBES THE EXISTING DRIVEWAY UTILIZED BY WORDEN HOMES, INC. AND B.P.O.E. JUNEAU LODGE 420. THIS EASEMENT AREA IS ACROSS PORTIONS OF LOTS 4B AND 3B AS SHOWN HEREON AND IS FOR THE BENEFIT OF LOTS 3A AND 3B. THIS EASEMENT SATISFIES THE FIRE APPARATUS TURN-AROUND REQUIREMENTS FOR CAPITAL CITY FIRE AND RESCUE.
- THE 50' NO DEVELOPMENT SETBACK FROM DUCK CREEK IS 50' OFFSET THE ACTUAL HIGH WATER MARK OF THE CREEK ALONG THE DITCH OF GLACIER HIGHWAY.

**COMMUNITY DEVELOPMENT DEPARTMENT PLAT APPROVAL**

I HEREBY CERTIFY THAT THE PLAT HEREON HAS BEEN FOUND TO COMPLY WITH TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU AND IS APPROVED BY THE CITY AND BOROUGH OF JUNEAU, DEPARTMENT OF COMMUNITY DEVELOPMENT, FOR RECORDING IN THE OFFICE OF THE JUNEAU RECORDING DISTRICT, ANCHORAGE, ALASKA.

*M. Lawrence*  
 DATE 11/17, 2025  
 JILL LAWHORNE, DIRECTOR  
 CITY & BOROUGH OF JUNEAU  
 DEPARTMENT OF COMMUNITY DEVELOPMENT  
 ATTEST: *Brian L. Henderson*  
 MUNICIPAL CLERK  
 CITY AND BOROUGH OF JUNEAU



VICINITY MAP - JUNEAU, ALASKA  
 SOURCE: CITY AND BOROUGH OF JUNEAU GIS  
 SCALE: 1" = 500'

**LOT 3 AND FRACTION OF LOT 4 OWNERSHIP CERTIFICATE**

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH MY FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: Nov 17th, 2025

*Rob M. Worden*  
 ROBIN M. WORDEN, OWNER - WORDEN HOMES, INC.

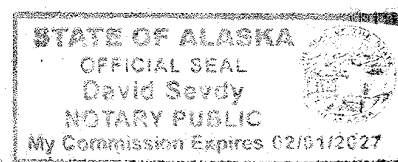
**NOTARY ACKNOWLEDGEMENT**

UNITED STATES OF AMERICA )  
 ) SS  
 STATE OF ALASKA )

THIS IS TO CERTIFY THAT ON THE 17th DAY OF November, 2025, BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED ROBIN M. WORDEN, TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE SIGNED AND SEALED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED. WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA David Sevdly

MY COMMISSION EXPIRES 02/01/2027



**FRACTION OF LOTS 4 AND 5 OWNERSHIP CERTIFICATE**

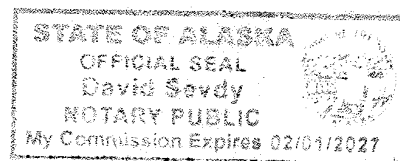
I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ADOPT THIS PLAT OF SUBDIVISION WITH MY FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: NOVEMBER 17, 2025

*D. V. Kintan*  
 DESIGNATED SIGNATORY, B.P.O.E. JUNEAU LODGE 420

**NOTARY ACKNOWLEDGEMENT**

UNITED STATES OF AMERICA )  
 ) SS  
 STATE OF ALASKA )



THIS IS TO CERTIFY THAT ON THE 17 DAY OF November, 2025, BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED Kirsten Davis Victor, TO ME KNOWN TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE SIGNED AND SEALED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN MENTIONED. WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC FOR ALASKA David Sevdly

MY COMMISSION EXPIRES 02/01/2027



**LEGEND**

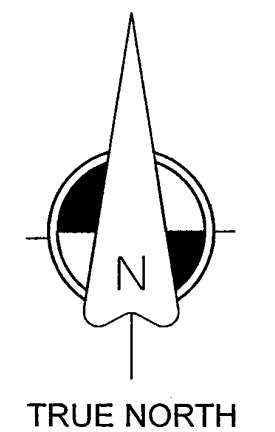
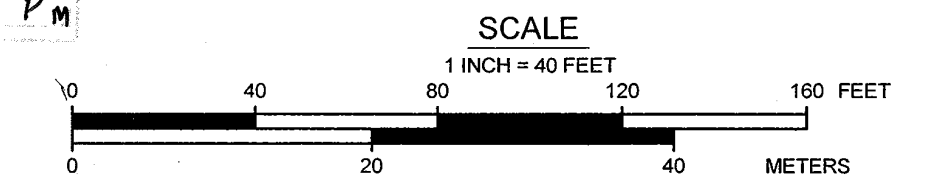
- RECOVERED 3.25" ALUMINUM PRIMARY MONUMENT, AK DAT&PF
- RECOVERED 3" BRASS CAP MONUMENT
- RECOVERED SECONDARY MONUMENT
- SET SECONDARY MONUMENT THIS SURVEY, SEE TYPICAL DETAIL
- PROPERTY LINE - THIS SURVEY
- PROPERTY LINE ELIMINATED THIS PLAT
- EASEMENT LINE
- 50' NO DISTURBANCE SETBACK FROM DUCK CREEK
- PRIVATE SHARED ACCESS, UTILITY, AND DRAINAGE EASEMENT CREATED THIS PLAT

(R1) RECORD PLAT No. 2003-1 JRD  
 (R2) RECORD PLAT No. 2019-42 JRD  
 (R3) RECORD PLAT No. 2020-5 JRD  
 (R4) DOT ROW MAP, PROJECT No. 69755, PLAT No. 2006-10 JRD  
 (R5) RE\_ORD DOCUMENT No. 2006-007294 JRD

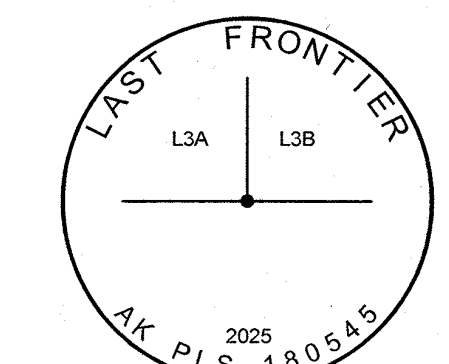
**EASEMENT LINE TABLE**

LINE	BEARING	DISTANCE
L1	N 61°46'59" E	173.83'
L2	N 74°02'27" E	24.99'
L3	N 85°40'55" W	70.47'
L4	N 90°00'00" E	137.03'
L5	S 00°02'16" W	22.02'
L6	S 89°57'44" E	20.00'
L7	N 90°02'18" E	120.00'
L8	S 89°57'44" E	20.00'
L9	S 00°02'16" W	22.02'
L10	N 90°00'00" E	232.81'
L11	N 61°46'59" E	181.87'

2025-33  
 Plat #  
 Juneau  
 Rec Dist  
 11/20 2025  
 Date  
 Time 12:54 PM



**SET MONUMENT DETAIL**



1 TYPICAL SECONDARY MONUMENT SET THIS SURVEY  
 2" ALUMINUM CAP AND 30" X No. 5 REBAR - NTS



**SURVEYOR'S CERTIFICATE**

I, ALEC VENECHUK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATE: NOVEMBER 11, 2025 REGISTRATION No. LS 180545

ALEC M. VENECHUK, PROFESSIONAL LAND SURVEYOR

**LAST FRONTIER SURVEYING & ENGINEERING LLC**

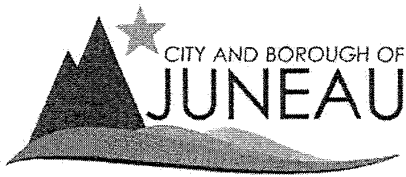
SURVEYOR: ALEC VENECHUK PLS  
 PO BOX 32348  
 JUNEAU AK 99803

CLIENT:  
 WORDEN HOMES  
 PO BOX 211574  
 AUKA BAY, ALASKA 99821

A PLAT OF  
**LOTS 3A, 3B, AND 4B**  
 A SUBDIVISION OF LOT 3 AND FRACTIONS OF LOTS 4 AND 5  
 BLOCK 41, MENDENHALL ACRE TRACTS  
 JUNEAU RECORDING DISTRICT  
 WITHIN U.S. SURVEY 381

WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA  
 - STATE RECORDERS OFFICE AT ANCHORAGE -  
 CBJ CDD CASE NUMBER: MIP2025-0008

DRAWN BY: AMV DATE: 10/30/2025 SHEET 1 OF 1



Treasury Division  
155 S Seward St  
Juneau AK 99801  
907.586.5215 x4907 Phone  
907.586.5367 Fax

**CERTIFICATION OF TAXES AND ASSESSMENTS PAID**

I, the undersigned, being duly appointed, qualified Treasurer for the City and Borough of Juneau, First Judicial District, State of Alaska, do hereby certify that, according to the records of the City and Borough of Juneau, the following described real property is carried on the tax records in the name of:

BPOE JUNEAU LODGE 420

Current Owner

MENDENHALL ACRES BL 41 LT 4 FR & 5 FR

Legal Description

5B1601140020

Parcel Code Number

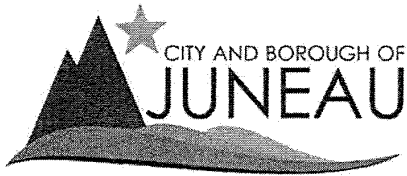
and that, all Real Property taxes and assessments levied by the City and Borough of Juneau against said Real Property have been paid in full. If approval is sought between January 1 and the date of levy, there is an amount sufficient to pay Real Property tax for the current year based on current available information; however, owner remains responsible for the balance of any taxes owed when billing occurs on July 1, 2025.

  
\_\_\_\_\_  
Ruth Kostik

October 15, 2025

Date

**This Certification of Payment of Taxes is valid through December 31, 2025**



Treasury Division  
155 S Seward St  
Juneau AK 99801  
907.586.5215 x4907 Phone  
907.586.5367 Fax

CERTIFICATION OF TAXES AND ASSESSMENTS PAID

I, the undersigned, being duly appointed, qualified Treasurer for the City and Borough of Juneau, First Judicial District, State of Alaska, do hereby certify that, according to the records of the City and Borough of Juneau, the following described real property is carried on the tax records in the name of:

WORDEN HOMES INC

Current Owner

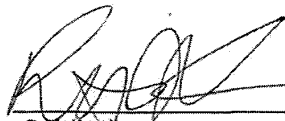
MENDENHALL ACRES BL 41 LT 3 FR

Legal Description

5B1601140060

Parcel Code Number

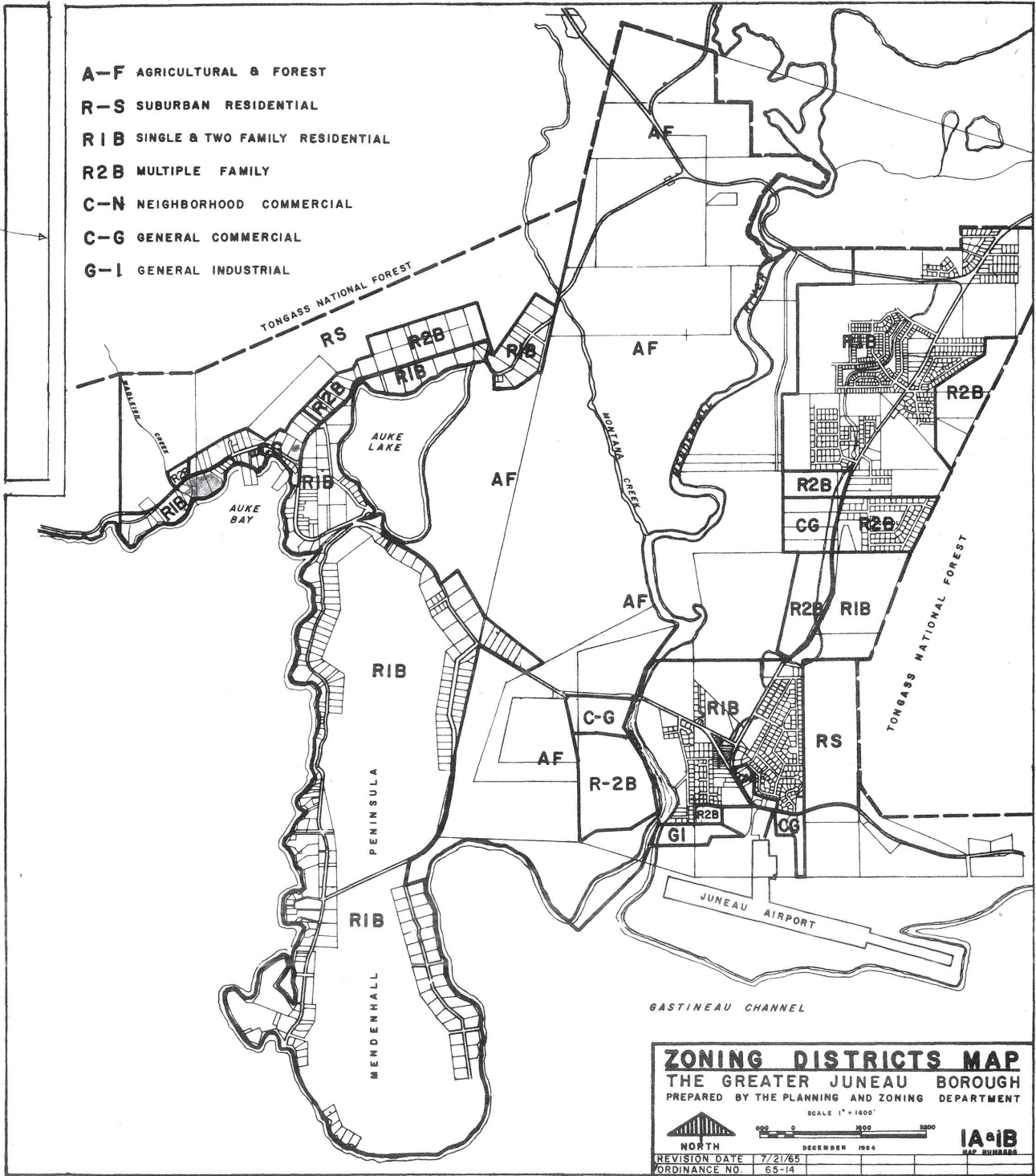
and that, all Real Property taxes and assessments levied by the City and Borough of Juneau against said Real Property have been paid in full. If approval is sought between January 1 and the date of levy, there is an amount sufficient to pay Real Property tax for the current year based on current available information; however, owner remains responsible for the balance of any taxes owed when billing occurs on July 1, 2025.

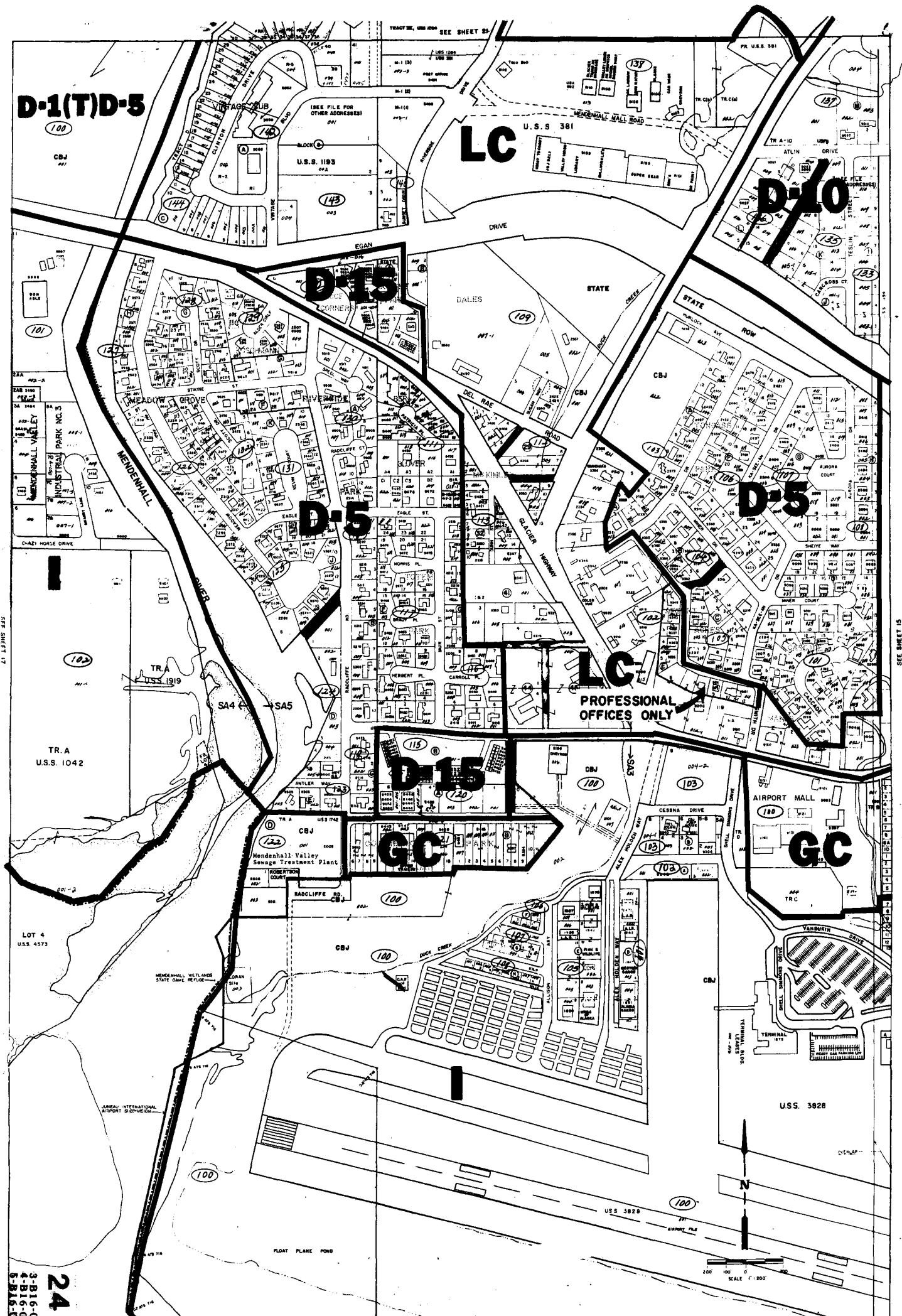
  
Ruth Kostik

October 15, 2025

Date

This Certification of Payment of Taxes is valid through December 31, 2025



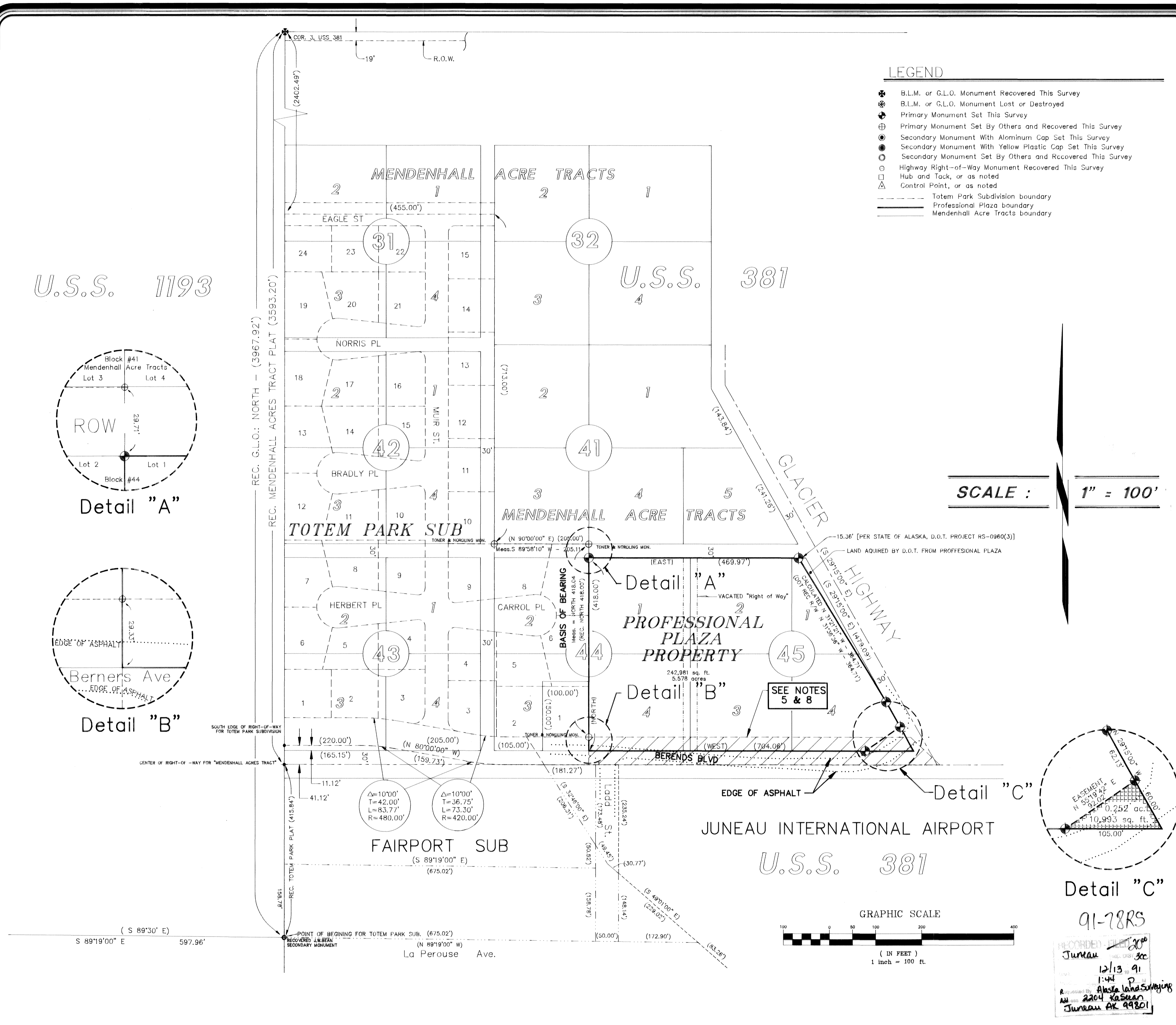


3-816-0  
 4-816-0  
 5-816-0  
**24**

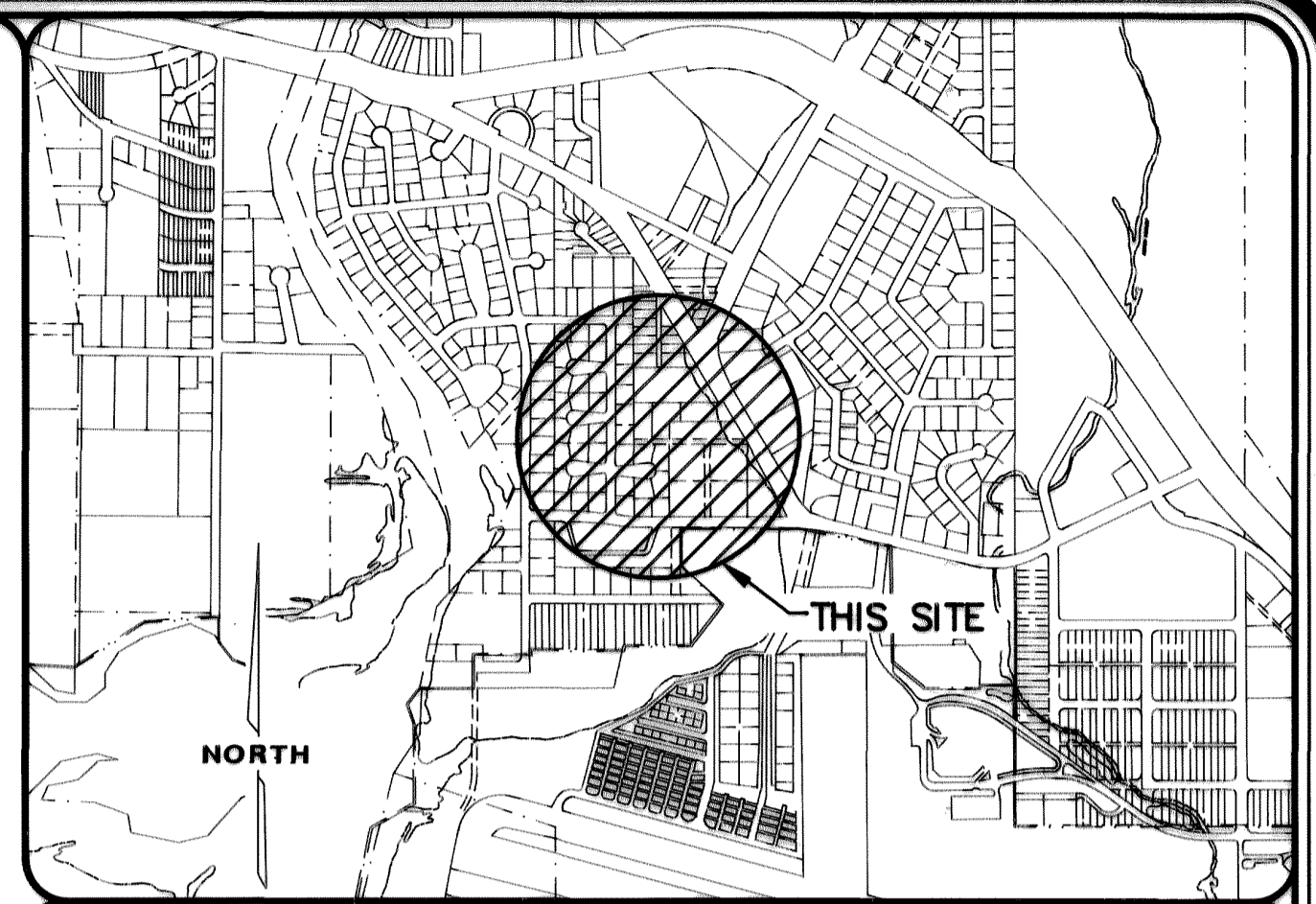
Note: The Street & Property Atlas maps are intended for general reference; the City & Borough of Jenneau does not guarantee the accuracy of alignment or scale.

Copyright 1982 CBJ  
Do not reproduce without written permission of the CBJ.

PREPARED BY: ALASKA LAND SURVEYING CO. - JUNEAU, ALASKA - (907) 789-0000, FAX. (907) 789-4224



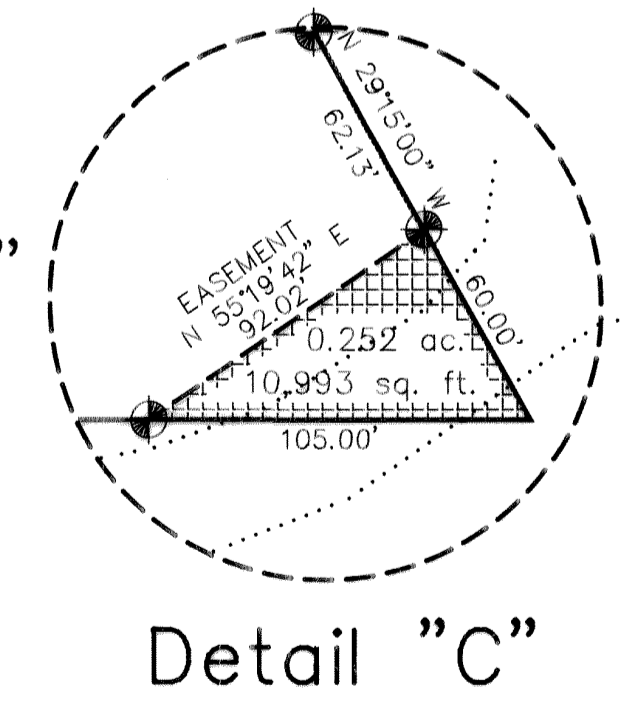
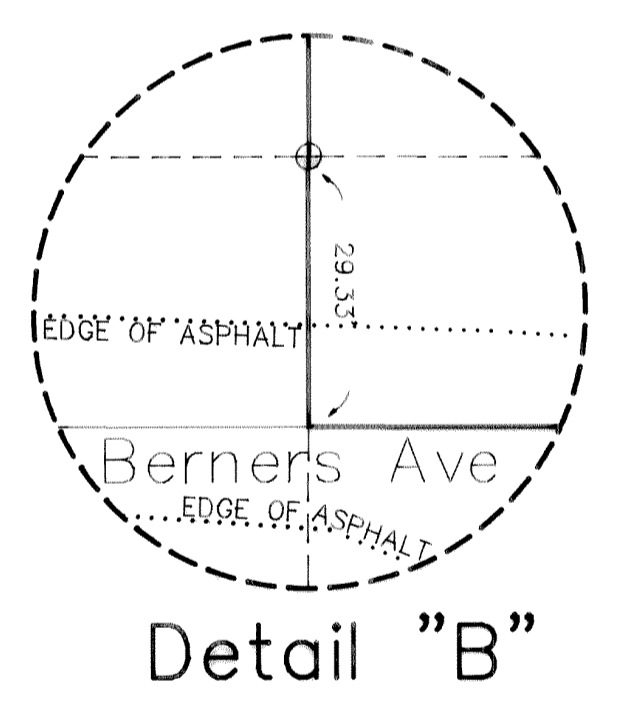
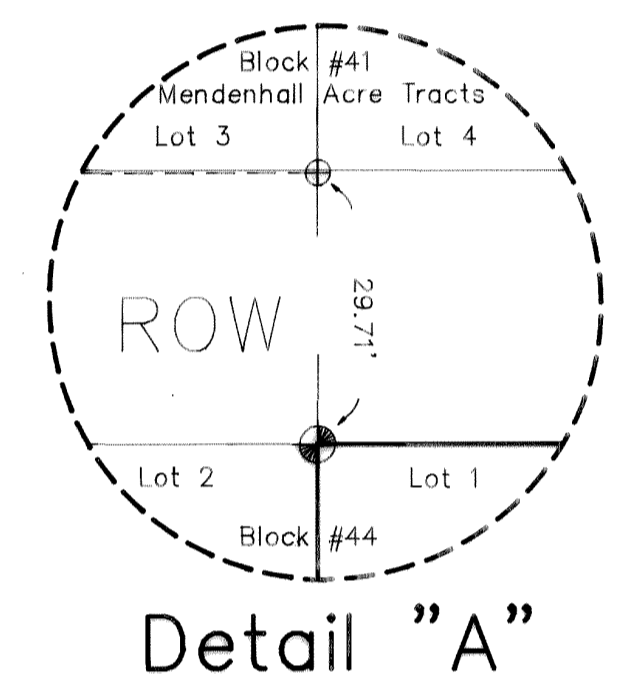
- LEGEND**
- ⊗ B.L.M. or G.L.O. Monument Recovered This Survey
  - ⊗ B.L.M. or G.L.O. Monument Lost or Destroyed
  - ⊕ Primary Monument Set This Survey
  - ⊕ Primary Monument Set By Others and Recovered This Survey
  - ⊙ Secondary Monument With Aluminum Cap Set This Survey
  - ⊙ Secondary Monument With Yellow Plastic Cap Set This Survey
  - ⊙ Secondary Monument Set By Others and Recovered This Survey
  - Highway Right-of-Way Monument Recovered This Survey
  - Hub and Tack, or as noted
  - △ Control Point, or as noted
- Totem Park Subdivision boundary  
 --- Professional Plaza boundary  
 --- Mendenhall Acre Tracts boundary



**VICINITY MAP**  
SCALE 1" = 1000'

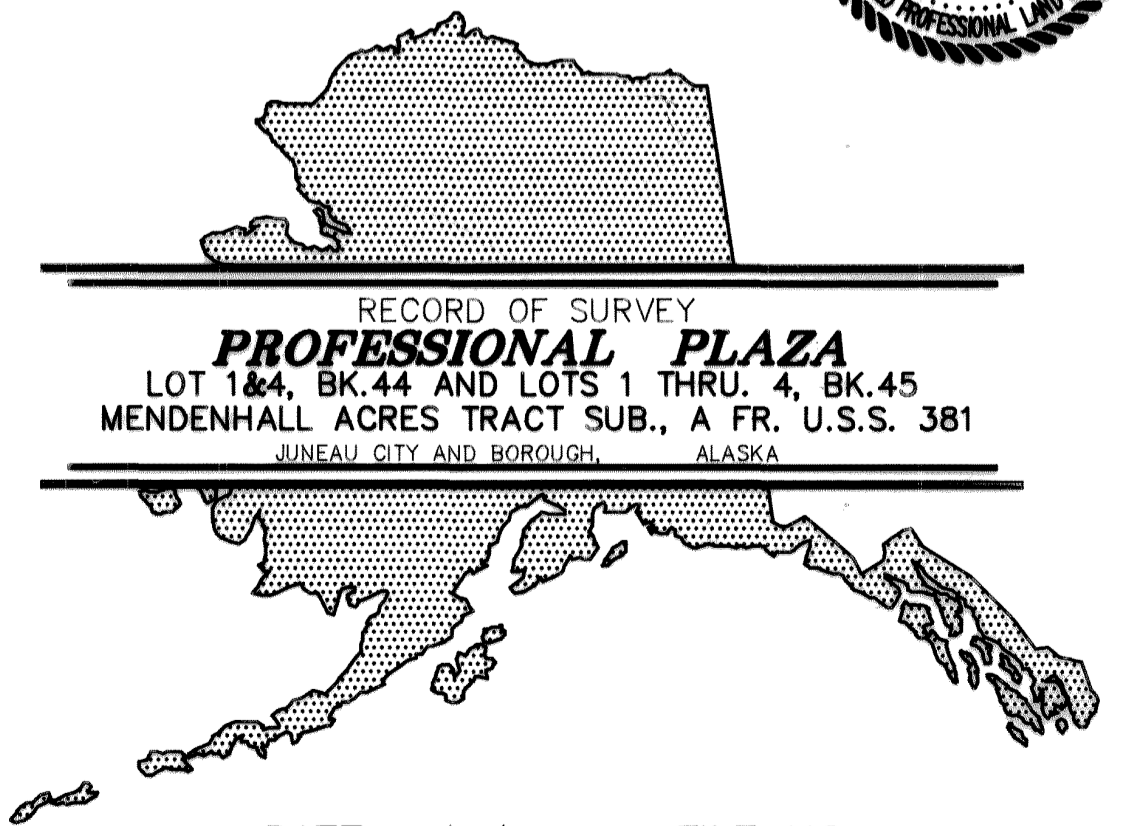
- NOTES**
1. All distances shown are reduced to horizontal field distances.
  2. Record bearings and distances are shown enclosed in parentheses. Bearings and distances measured or computed by this survey are shown without parentheses.
  3. All plot bearings shown are true bearings as oriented to the basis of bearings.
  4. This survey does not constitute a subdivision as defined by AS 40.15.190 (2).
  5. This survey was instrumented with information obtained from plats of Juneau International Airport Subdivision, 78-40; Riverside Park Subdivision, 242; Totem Park Subdivision, 362; Mendenhall Acre Tracts Subdivision, Bk.#30, Pg. 337; Glover Subdivision, 240; and Fairport Subdivision, 433; recorded in the Juneau recording district, and Warranty Deed Bk. 58, Pg. 488 with corrected deed Bk. 61, Pg. 172 Juneau recording district.
  6. Totem Park subdivision, adjoining the Professional Plaza site, was platted 30' north of its intended position, within the original Mendenhall Acre Tracts subdivision.
  7. Dimension is based on recovered secondary monument set by John Bean at corner 4 of U.S.S. 1193.
  8. Totem Park Subdivision platted as right of way 30' of the southerly portion of Lots 4, Bk. 44, and Lots 3&4, Bk. 45, Mendenhall Acres Tract without consent of said property owner. This portion of platted right of way is being contested by the property's current ownership. (See Note 5)

**SCALE : 1" = 100'**



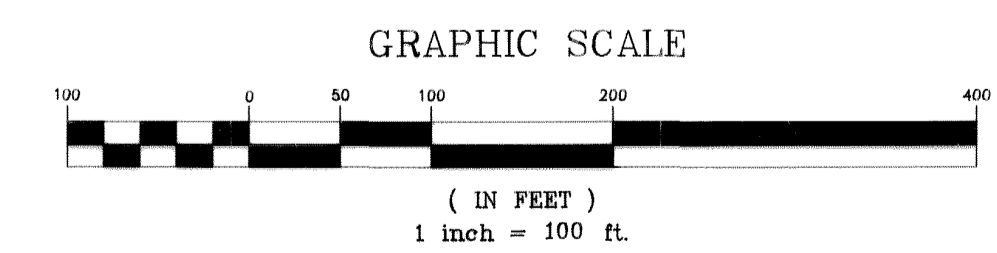
**SURVEYOR'S CERTIFICATE**

I hereby certify that I am a licensed land surveyor in the State of Alaska, and that this plat represents the survey made by me or under my direct supervision, that all dimensional and relative bearings are correct and that monuments are set in place and noted upon this plat as presented.

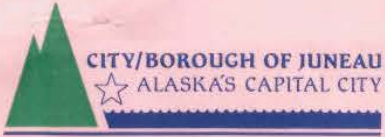


**RECORD OF SURVEY**  
**PROFESSIONAL PLAZA**  
LOT 1&4, BK.44 AND LOTS 1 THRU. 4, BK.45  
MENDENHALL ACRES TRACT SUB., A FR. U.S.S. 381  
JUNEAU CITY AND BOROUGH, ALASKA

91-78RS  
RECORDED - JUNEAU  
JUNEAU 12/13/91  
1:44 P  
Submitted by Alaska Land Surveying  
2204 Kasean  
JUNEAU AK 99801



*Juneau Plat 91-78RS*



# BUILDING PERMIT

## Your special attention is called to the following:

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any provisions of said ordinances.

The granting of this permit does not authorize the violation of any federal, state, or local law regulating construction nor the violation of the terms of any deed or covenant or any zoning or other regulations.

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress.

The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within 180 days or if work or construction is suspended or abandoned for a period of 180 days at any time after work is commenced.

**Inspection can be arranged by telephoning 586-1703 or by written notification. Work shall not proceed until the inspector has approved the various stages of construction.**

JOB ADDRESS 9333 GLACIER HWY	RECEIPT # 13914	DATE 07/24/95	PROJECT # 11072.01
USE OF PERMIT REPLACE GARAGE/CARPORT, ADD BATH/LAUND RM AT 9333 GLACIER HWY			

OWNER IRWIN G. & JUDITH PORTER		
ADDRESS BOX 32755		
CITY JUNEAU	ST AK	ZIP 99803 0000
APPLICANT IRWIN G & JUDITH PORTER		
CONTRACTOR Owner-Builder		
ADDRESS		
CITY	ST	ZIP
PH	STATE LIC.	
ARCH/ENGINEER		
ADDRESS		
CITY	ST	ZIP

TRACT # 41	LOT # 3/4	APN 5-816-0-114-005-0
TRACT NAME RESIDENTIAL ACRES		CENSUS TRACT
ZONE	SETBACKS FRONT	LEFT RIGHT REAR
Plan Review		110300203 70.20
1 thru 4 Family Res.		0000000515 140.40
COUNTER APPROVAL	PAYMENT FORM	TOTAL FEE \$210.60

PROJECT PERMIT

Estimated Construction Valuations

Permit Type	Rate	Sq Feet	Valuation
1 thru 4 Family Res.			10000.00

PROJECT CONDITIONS/NOTES

- Conditional SUP Permit for addition of bathroom & laundry room & replace ....
- Conditional SUP ...garage w/ carport.
- Conditional SUP Verify smoke detection per 1991 UBC.
- Conditional SUP Zone LC, setbacks: front 25, rear 10, sides 10.

# BUILDING PERMIT APPLICATION

(APPLICANT PLEASE FILL IN SHADED AREAS AS A MINIMUM)

DPA No: <u>95-0860</u>	Project Identifier	Building Permit Number <u>11072.01</u>	Date Received: <u>6/26/95</u>
<b>CONTRACTOR</b> <u>George Porter</u>		Contact Person <u>George Porter</u>	Phone No. <u>WE 789-9707</u>
Mailing Address <u>P.O. Box 32755</u>		FAX No.	License Number
<b>ARCHITECT / ENGINEER</b> <u>George Porter</u>		Contact Person <u>George Porter</u>	Phone No. <u>WE 789-9707</u>
Mailing Address <u>P.O. Box 32755</u>		FAX No.	License Number

**PERMIT CLASS**

NEW   
 ELECTRICAL   
 PLUMBING   
 MECHANICAL   
 WOODSTOVE   
 WATER   
 SEWER  
 ADDITION   
 REPAIR / REMOD   
 DEMOLITION   
 GRADING   
 DRIVEWAY   
 BUILDING SAFETY   
 OTHER \_\_\_\_\_

**BUILDING TYPE**

Residential   
 Commercial   
 Other \_\_\_\_\_

TOTAL DWELLING UNITS ON PROPERTY _____ DWELLING UNITS THIS PROJECT _____ TOTAL BUILDINGS ON _____	VALUE New Square Footage: _____ Sq. Ft. Cost of Remodeling: \$ <u>10,000 ±</u>
DESCRIPTION OF WORK: <u>Add bathroom in laundry room, new carpet, remove existing wood stove, demolition of existing garage/floor, construct new carpet</u>	

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit the provisions of any other federal, state or local law regulating construction or the performance of construction.

Signature of Owner, Contractor or Authorized Agent: George Porter Date: June 20, 1995

(OFFICE USE ONLY BELOW THIS LINE)

<b>BUILDINGS</b> Occupancy Class <u>M-1</u> Type of Construction <u>V-N</u> FCC Code _____    Permit Classification <u>CF</u>	<b>BUILDING PERMIT FEES</b> <b>PLAN REVIEW FEES</b> Building Plan Review \$ <u>70.20</u> Zoning Plan Review \$ _____ Grading Plan Review \$ _____ TOTAL PLAN REVIEW FEES \$ <u>70.20</u> Date <u>6/26/95</u> Check No. <u>20853</u> Receipt No. <u>1364</u>												
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Occupancy</th> <th>Square Feet</th> <th>@ Rate</th> <th>= Valuation</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td><u>est</u></td> <td><u>10,000</u></td> </tr> <tr> <td>Number of Stories: <u>1</u></td> <td></td> <td>Number of Bedrooms: <u>1</u></td> <td></td> </tr> </tbody> </table>	Occupancy	Square Feet	@ Rate	= Valuation			<u>est</u>	<u>10,000</u>	Number of Stories: <u>1</u>		Number of Bedrooms: <u>1</u>		<b>PERMIT ISSUANCE FEES</b> Adjusted Plan Review Fee \$ _____ Fast Track Fee \$ _____ Early Start Fee \$ _____ Building Permit Fee \$ <u>140.40</u> Water Assessment Fee \$ _____ Water Inspection Fee \$ _____ Sewer Assessment Fee \$ _____ Sewer Inspection Fee \$ _____ Grading Permit Fee \$ _____ Driveway Permit Fee \$ _____ Bond for _____ \$ _____ Other _____ \$ _____ TOTAL ISSUANCE FEES \$ <u>140.40</u> Date <u>7/24/95</u> Check No. <u>1007</u> Receipt No. <u>1555</u>
Occupancy	Square Feet	@ Rate	= Valuation										
		<u>est</u>	<u>10,000</u>										
Number of Stories: <u>1</u>		Number of Bedrooms: <u>1</u>											

<b>LAND USE.</b> PARKING <u>N/A</u> FLOOD ELEV. <u>N/A</u> FIRM ZONE <u>N/A</u> LAND USE PERMITS: Number _____ Date _____ Number _____ Date _____ COMMENTS: <u>Duck Creek</u>	<b>ENGINEERING/PUBLIC WORKS</b> CITY WATER : _____ Service - Size _____ Fire Line - Size _____ Metered _____ Yoke Rec'd _____ CITY SEWER : _____ UNITS _____ DRIVEWAY BOND: Number _____ Date _____ ADEC APPROVALS : On-site Water _____ Number _____ Date _____ On-Site Sewer _____ Number _____ Date _____	<b>PLAN REVIEW APPROVALS</b> Initials Date Triage _____ Zoning <u>KJB 7/12/95</u> Architectural <u>ST 6/30/95</u> Structural <u>XBY 7/21/95</u> Electrical _____ Mechanical _____ Plumbing _____ Fire _____ Engineering <u>N/A</u> Access _____ <b>APPROVED FOR ISSUANCE</b> <u>[Signature]</u> Signature _____ <u>7/21/95</u> Date _____
---	--	---

**CONDITIONS AND HOLDS ON PERMIT:**

Permit for addition of bathroom & laundry room; replacement of garage with carpet

• Verify smoke detection per 1991 UBC •

(Revised 10/3/95 XBY)

devappbd.xls rev. 5 11/1/94



# DEVELOPMENT PERMIT APPLICATION

(APPLICANT PLEASE FILL IN SHADED AREAS AS A MINIMUM)

REVISION NO. \_\_\_\_\_ DATE \_\_\_\_\_

INFORMATION	DPA No: <u>95-0660</u> <b style="text-align: center;">CITY and BOROUGH of JUNEAU</b> Project Name: _____ Project Description: <u>Remodel existing resident, painting new carpet, add bathroom to master bedroom, demolishing existing garage, car port &amp; construct new car port, Add laundry room</u> PROPERTY LOCATION Street Address: <u>9333 Glacier Highway</u> City / Zip: <u>99802</u> Subdivision (if known): <u>Mendenhall Acres</u> Survey (if known): _____ Block / Tract (if known): _____ Lot (if known): <u>2345</u> Assessor's Parcel Number (if known): <u>S-BIG-0-114-9003-0</u> Number of Parking Spaces: Existing _____ Proposed _____ Use of Property Existing: <u>Residential</u> Proposed: <u>Residential</u>	Date Received: <u>6/26/95</u>
PROJECT / APPLICANT	PROPERTY OWNER Property Owner's Name: <u>Irving &amp; Judith A. Porta</u> Contact Person: <u>George Porta</u> Work Phone No.: <u>790-6060</u> Mailing Address: <u>P.O. Box 32755 JUNEAU, AK 99803</u> Home Phone No.: <u>789-9717</u> FAX No.: _____ PROPERTY OWNER CONSENT (Not required for building or engineering permits) I am (we are) the owner(s) of the property subject to this application and I (we) consent as follows: A. This application for a land use or activity review for development on my (our) property is made with my complete understanding and permission. B. I (we) grant permission for officials and employees of the City and Borough of Juneau to inspect my property as needed for purposes of this application. <input checked="" type="checkbox"/> Landowner Signature _____ Date _____ <input checked="" type="checkbox"/> Landowner Signature _____ Date _____ NOTICE: The City and Borough of Juneau staff may need access to the subject property during regular business hours and will attempt to contact the landowner in addition to the formal consent given above. Further, members of the Planning Commission and/or the Design Review Board may visit the property and may do so during the weekend before the scheduled public hearing date.	
APPLICANT	APPLICANT Applicant's Name: <u>Same as owner</u> Contact Person: _____ Work Phone No.: _____ Mailing Address: _____ Home Phone No.: _____ FAX No.: _____ <input checked="" type="checkbox"/> Applicant's Signature _____ Date of Application _____	

(OFFICE USE ONLY BELOW THIS LINE)

CK	PERMIT TYPE	SIGN	DATE RECEIVED	APPLICATION NO.	EST. FEE	ESTIMATED HEARING DATE	ACTUAL HEARING DATE	ESTIMATED DECISION OR APPROVAL DATE *	ACTUAL DECISION OR APPROVAL DATE
	ALLOWABLE USE APPROVAL								
	CONDITIONAL USE APPROVAL								
	VARIANCE								
	DESIGN REVIEW APPROVAL								
	SUBDIVISION								
	STREET VACATION								
	SIGN APPROVAL								
<input checked="" type="checkbox"/>	BUILDING PERMIT	ES FT	<u>6/26/95</u>	<u>11072.01</u>					
	WATER PERMIT								
	SEWER PERMIT								
	GRADING PERMIT								
	DRIVEWAY PERMIT								
	RIGHT-OF-WAY PERMIT								
	PUB. FAC. TRANSMISS. & EXCAV. PERMIT								
	OTHER - (Describe)								

\* (assuming complete and accurate information provided by applicant)

STAFF	Zone: <u>LC</u> Total Lot Area: _____ Required Setbacks: Front <u>25'</u> Back <u>10'</u> Side <u>10'</u> Other: _____ Date rating form given to applicant: _____ Planning Staff Initials: <u>KJB</u>
	COMMENTS: _____ _____ _____ KEYWORDS: _____ _____ _____

[DEVAPP.XLS REV. - 10/7/94]



- For Staff Use -

City and Borough of Juneau

Foundation Inspection Policy

Permit Number:	11072.01
Project Address:	9333 Glacier Hwy
Assessor's Parcel Code:	5B1601140050
Applicant's Name:	Porter

Setbacks required for finished building:		Comments (continue on back if necessary)
	Setback /	
Front	25'	
Rear	10'	
Left	10'	
Right	10'	
		Planner's Initials: KJB

**- NOTICE: DO NOT POUR CONCRETE -**  
**UNTIL SETBACKS APPROVED BY ONE OF THE FOLLOWING:**

In accordance with CBJ 19.01.160(e)(1)(B), building setback lines are to be verified before inspectors can approve forms for pour. Setbacks are measured from exterior finish materials of closest building component to property line.

**No approval to pour will be granted until ONE of the following is accomplished.**

- A. Surveyor's monument(s) / string line clearly visible at site. If the foundation is clearly behind the setback line, the inspector may approve the setbacks for pour outright or at owner/contractor's risk. If there is any question, the inspector may require that no pour be permitted without one of the following methods of verification. (Also, see "Note" below.)  
OR
- B. Surveyor's statement of setback compliance (surveyor can sign & stamp example below, or can provide one on their own stationery). No pour at anyone's risk is allowed until this is received by CBJ. Pour may then be approved outright or at owner/contractor risk. (See "Note" below.)  
OR
- C. Stamped surveyor's as-built of adjacent building if setback can be verified measuring off the adjacent building.  
OR
- D. Surveyor's as-built of foundation or formwork, indicating setback, easement, & other relevant information.  
OR
- E. Other \_\_\_\_\_

**Note:** A final as-built may still be required prior to Certificate of Occupancy if setbacks are close enough to the building to make final building approval questionable with just string line, foundation as-built or letter alone. Example: Where the structure is less than 3' to the setback line; where roof overhangs, decks or cantilevers are less than 3' to the setback line, etc.

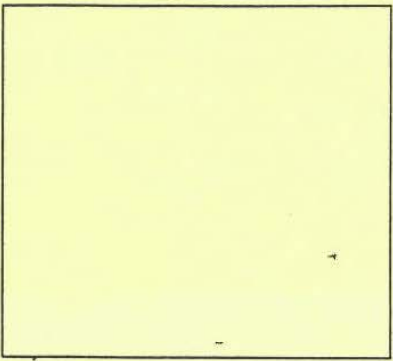
The purpose of the property stakes, boilerplate letter or foundation as-built is to give the inspector the information necessary to allow a pour based on a surveyor's work, as required by CBJ ordinance. In some situations, a final as-built may be required before frame or final approval where the distance to the setback line of some element of the structure must be more exactly determined. Inspectors may require this additional as-built; owners/contractors may appeal the requirement to the building official if they so choose.

**SURVEYOR'S STATEMENT OF SETBACK COMPLIANCE:**

I hereby certify that I am a surveyor registered to practice in the State of Alaska, and that on \_\_\_\_\_ I personally verified that the forms or foundation systems on site located at \_\_\_\_\_, Building Permit # \_\_\_\_\_, are placed so that the finished building, if built to the plans as approved by CBJ, will meet the required setbacks. I have reviewed the plans and zoning requirements as approved by CBJ, and have accounted for all exterior finish materials, decks, cantilevers, and/or other proposed building projections on the approved plans. To the best of my ability, I staked the property so the contractor can meet all CBJ zoning requirements per CBJ Titles 19 and 49. I heretofore affix my professional stamp, this date of \_\_\_\_\_.

**Surveyor's  
Signed Seal  
Required:**

Other formats may be used, as long as the same information is provided.



: Mechanical ventilation for kitchen all bathrooms & utility room. Vent fans to exterior in smooth metal duct. Vents must terminate minimum 3' from opening windows or doors.

Department of Engineering - Building Division  
 199 South Seward Street  
 Juneau, Alaska 99801

FILE NO. 5-B16-0-14-003-0 #11072.01

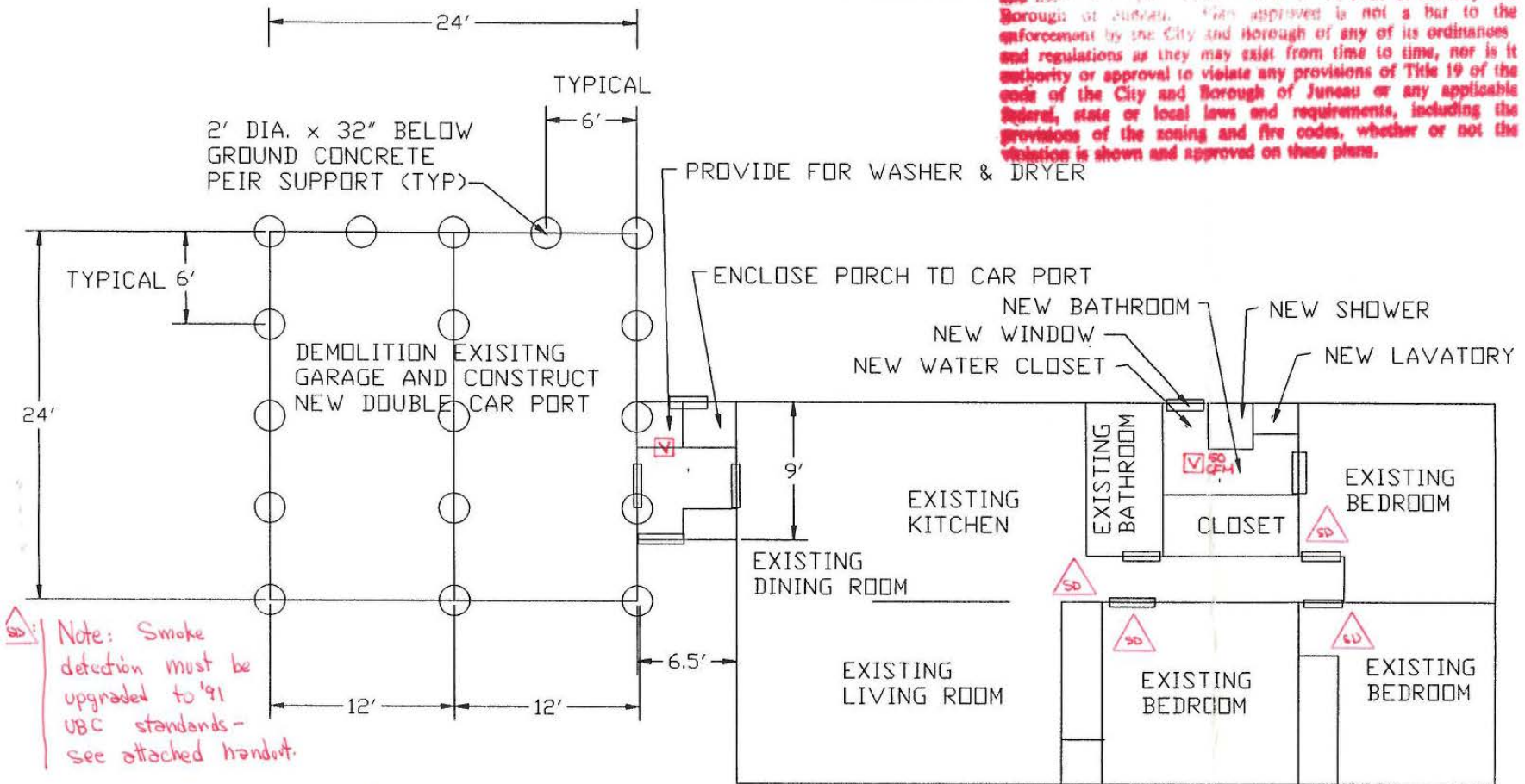
APPROVED AS CORRECTED: *[Signature]*

REVISE AND RESUBMIT:

DATE: 7/21/95

JUN 26 1995

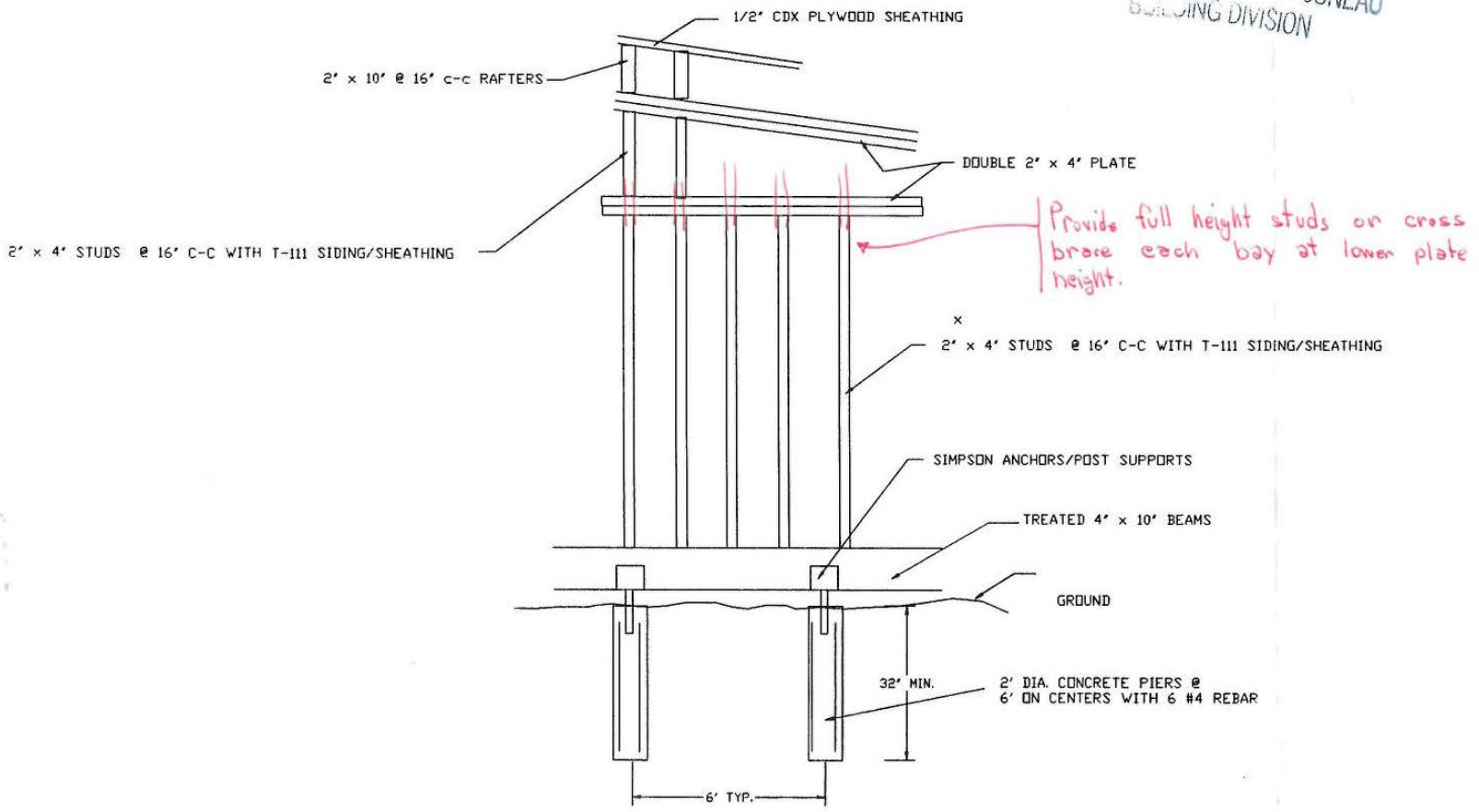
This is not a contract and does not serve as any type of warranty or guarantee of the quality of construction. This plan is only for the purpose of showing plan compliance with the proposed building, electrical, plumbing and mechanical codes of the City and Borough of Juneau. Plan approval is not a bar to the enforcement by the City and Borough of any of its ordinances and regulations as they may exist from time to time, nor is it authority or approval to violate any provisions of Title 19 of the code of the City and Borough of Juneau or any applicable federal, state or local laws and requirements, including the provisions of the zoning and fire codes, whether or not the violation is shown and approved on these plans.



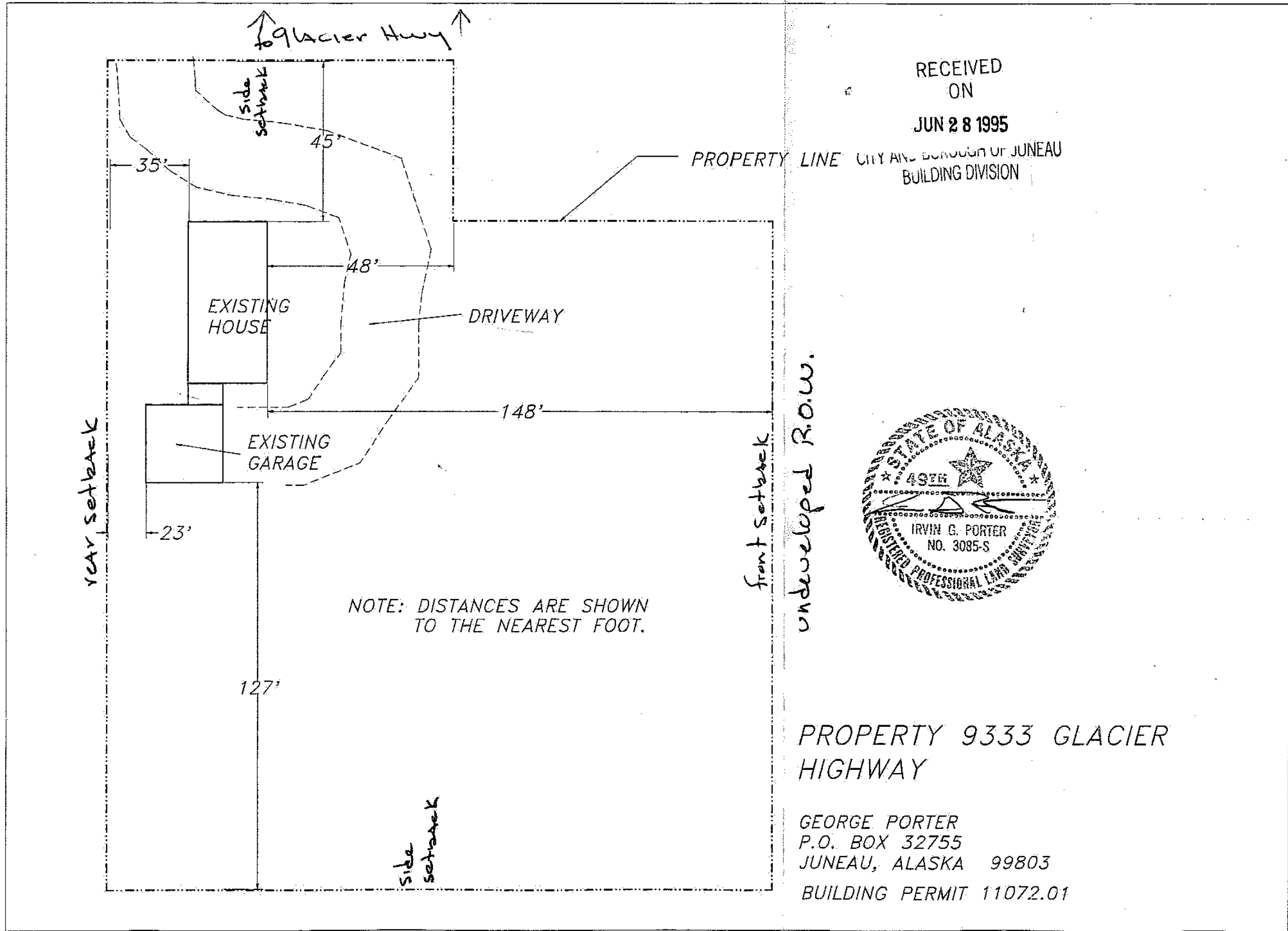
FLOOR PLAN

RECEIVED  
ON  
JUN 26 1995

OFFICE OF THE JUNEAU  
BUILDING DIVISION



# CROSS SECTION OF CAR PORT



Case No. **BLD-1107201**

22-36

*Jim E*

### JUNEAU PERMIT CENTER INSPECTION RESULTS

Inspect On: 4/14/98 Time: 3:00 P Issued On: 7/24/95 Proj No. PRJ-0011072 Parcel No: 5-B16-0-114-005-0

Address: 9333 GLACIER HWY Applicant: GEORGE PORTER

Project Description: REPLACE GARAGE/CARPORT, ADD BATH/LAUND RM AT 9315 GLACIER HWY

Notes: Contact: George 780-6060 Reactivate permit and mail STC. (Drive through Valley Paint to get to house.)

Inspection: 140 Insp - Rough Framing Result: P Inspected by: [Signature] Date: \_\_\_\_\_

Comments: Mail STC to applicant

ATTN. GEORGE PORTER

BLD-0673601 F BLD-1107201 I PRJ-0006736 REC PRJ-0011072 REC

**SETBACKS:** Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side 1: \_\_\_\_\_ Side 2: \_\_\_\_\_ Parking Spaces: \_\_\_\_\_ Zone: \_\_\_\_\_

#### CONDITIONS / HOLDS for BLD-1107201

- Permit for addition of bathroom & laundry room & replace \_\_\_\_\_
- garage w/ carport.
- Verify smoke detection per 1991 UBC.
- Zone LC, setbacks front 25, rear 10, sides 10.
- See 10/3/95 revision to plans.

#### PREVIOUS INSPECTION RESULTS for BLD-1107201

Code	Description	Inspector	Date	Status
110	Excav. Setbacks & Footing	JLM	10/2/95	P
Inspection Not Called-In Received surveyor approval (yellow form) of setbacks				
110	Excav. Setbacks & Footing	CJS	10/8/95	A

#### INSPECTION SUMMARY for BLD-1107201

Code	Description	Results	By	Code	Description	Results	By
110	Excav. Setbacks & Footing	A	CJS	110	Excav. Setbacks & Footing	P	JLM
140	Insp - Rough Framing			230	Smoke Detector		
100	Final						

Case No: **BLD-1107201**

22-36

*Jim E*

### JUNEAU PERMIT CENTER INSPECTION RESULTS

Inspect On: 4/14/98 Time: 3:00 P Issued On: 7/24/95 Proj No: PRJ-0011072 Parcel No: **5-B16-0-114-005-0**  
Address: 9333 GLACIER HWY Applicant: GEORGE PORTER  
Project Description: REPLACE GARAGE/CARPORT, ADD BATH/LAUND RM AT 9315 GLACIER HWY

Notes: Contact: George 780-6060 Reactivate permit and mail STC. (Drive through Valley Paint to get to house.)

Inspection: 140 Insp - Rough Framing Result: *P* Inspected by: *CJS* Date: \_\_\_\_\_

Comments: *Mail STC to applicant*  
*Done 4/14/98*

BLD-0673601 F BLD-1107201 I PRJ-0006736 REC PRJ-0011072 REC

**SETBACKS:** Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side 1: \_\_\_\_\_ Side 2: \_\_\_\_\_ Parking Spaces: \_\_\_\_\_ Zone: \_\_\_\_\_

#### CONDITIONS / HOLDS for BLD-1107201

- \_\_\_ Permit for addition of bathroom & laundry room & replace ...
- \_\_\_ ...garage w/ carport.
- \_\_\_ Verify smoke detection per 1991 UBC.
- \_\_\_ Zone LC, setbacks: front 25, rear 10, sides 10.
- \_\_\_ See 10/3/95 revision to plans.

#### PREVIOUS INSPECTION RESULTS for BLD-1107201

110	Excav. Setbacks & Footing	Inspector: JLM	10/2/95	Status: P
	Inspection Not Called-In Received surveyor approval (yellow form) of setbacks.			
110	Excav. Setbacks & Footing	Inspector: CJS	10/6/95	Status: A

#### INSPECTION SUMMARY for BLD-1107201

Code	Description	Results	By	Code	Description	Results	By
110	Excav. Setbacks & Footing	A	CJS	110	Excav. Setbacks & Footing	P	JLM
140	Insp - Rough Framing			230	Smoke Detector		
100	Final						

INSPECTION REQUEST

*JIM*  
E  
Cross Street  
5-B16-0-114-005-0

Inspect On: 10/06/95 Time: 10:00 Called in On: 10/06/95

Inspector: *JIM*

Project Number Job Address

11072.01 9333 GLACIER HW

Inspection: SF-01 Excav. Setbacks & Footing

# of Previous Inspections: 1

Dispatch Comment:

Result: A

Inspected by: JIM STEWART

Date: 10/7/95

Comment: \_\_\_\_\_

\*\*\*\*\*

PREVIOUS INSPECTION RESULTS

Inspector: JLM Date: 10/02/95 Time: Result: Partial  
Comments: Received surveyor approval (yellow form) of setbacks.

\*\*\*\*\*

PROJECT CONDITION/HOLDS

Source: SUP Status: Conditional  
Description: Permit for addition of bathroom & laundry room & replace ....

Source: SUP Status: Conditional  
Description: ...garage w/ carport.

Source: SUP Status: Conditional  
Description: Verify smoke detection per 1991 UBC.

Source: SUP Status: Conditional  
Description: Zone LC, setbacks: front 25, rear 10, sides 10.

Source: SUP Status: Conditional  
Description: See 10/3/95 revision to plans.

\*\*\*\*\*

PROJECT INSPECTION STATUS for Project # 11072.01

SF-01 Excav. Setbacks & Footing Partial JLM SF-99 Final Not Insp

PROJECT INSPECTIONS STATUS for Project # 11072.01 Page: 2

SF-02 Stem Walls Not Insp F - 1 Activity Final Not Insp  
SF-12 Smoke Detector Not Insp

- For Staff Use -

City and Borough of Juneau  
Foundation Inspection Policy

Permit Number: 11072.01  
Project Address: 9333 Glacier Hwy  
Assessor's Parcel Code: 5B1601140050  
Applicant's Name: Porter

Setbacks required for finished building:		Comments (continue on back if necessary)
	Setback	
Front	<u>25'</u>	
Rear	<u>10'</u>	
Left	<u>10'</u>	
Right	<u>10'</u>	
Planner's Initials:		<u>KJB</u>

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OR
- B. Surveyor's statement of setback compliance (surveyor can sign & stamp example below, or can provide one on their own stationery). No pour at anyone's risk is allowed until this is received by CBJ. Pour may then be approved outright or at owner/contractor risk. (See "Note" below.)  
OR
- C. Stamped surveyor's as-built of adjacent building if setback can be verified measuring off the adjacent building.  
OR
- D. Surveyor's as-built of foundation or formwork, indicating setback, easement, & other relevant information.  
OR
- E. Other \_\_\_\_\_

**Note: A final as-built may still be required prior to Certificate of Occupancy** if setbacks are close enough to the building to make final building approval questionable with just string line, foundation as-built or letter alone. Example: Where the structure is less than 3' to the setback line; where roof overhangs, decks or cantilevers are less than 3' to the setback line, etc.

The purpose of the property stakes, boilerplate letter or foundation as-built is to give the inspector the information necessary to allow a pour based on a surveyor's work, as required by CBJ ordinance. In some situations, a final as-built may be required before frame or final approval where the distance to the setback line of some element of the structure must be more exactly determined. Inspectors may require this additional as-built; owners/contractors may appeal the requirement to the building official if they so choose.

**SURVEYOR'S STATEMENT OF SETBACK COMPLIANCE:**

I hereby certify that I am a surveyor registered to practice in the State of Alaska, and that on 10/2/95 I personally verified that the forms or foundation systems on site located at 9333 Glacier Highway, Building Permit # 11072.01, are placed so that the finished building, if built to the plans as approved by CBJ, will meet the required setbacks. I have reviewed the plans and zoning requirements as approved by CBJ, and have accounted for all exterior finish materials, decks, cantilevers, and/or other proposed building projections on the approved plans. To the best of my ability, I staked the property so the contractor can meet all CBJ zoning requirements per CBJ Titles 19 and 49. I heretofore affix my professional stamp, this date of 10/2/95.

ON  
OCT 2 1995  
CITY AND BOROUGH OF JUNEAU  
BUILDING DIVISION

Other formats may be used, as long as the same information is provided.

Surveyor's  
Signed Seal  
Required:



Sara

PERMIT NO. 1172.01

APN NO. \_\_\_\_\_

### INSPECTION REPORT

CITY AND BOROUGH OF JUNEAU BUILDING DIVISION  
4TH FLOOR MARINE VIEW CENTER  
MAIL: 155 SOUTH SEWARD STREET  
JUNEAU, ALASKA 99801



VOICE: 586-5230 FAX: 586-3365  
INSPECTION REQUEST LINE: 586-1703

DATE: 7/21/95

TIME: ASAP

#### TYPE OF INSPECTION:

- FOOTING
- FRAME
- WOODSTOVE
- SEWER
- STEM WALLS
- ELECTRICAL
- SMOKE DETECTOR
- GRADING/DRAINAGE
- SLAB
- PLUMBING
- BUILDING SAFETY
- CROSS CONNECTION CONTROL
- UNDERSLAB (PLUMBING/ELECTRICAL)
- INSULATION
- DRIVEWAY
- FINAL
- TEMPORARY POWER
- ACCESS
- WATERLINE
- \_\_\_\_\_

OWNER/CONTRACTOR J+K Home Improvement

ADDRESS 2950 Fritz Cove Rd

PERMIT TYPE \_\_\_\_\_ INSPECTION CODE \_\_\_\_\_

Get full clearance from rebar to forms per plan w/ chairs scraped to rebar.

Then OK to pour.

Printed in Juneau by Alaska Litho, Inc.

INSPECTOR SS



# BUILDING PERMIT

Permit No.  
**BLD2004-00258**  
Proj #. PRJ2004-00091

\*NOTE: "Building Permit" is a generic term which includes Building Safety Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

**Your special attention is called to the following:**

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any of said ordinances.

The granting of this permit does not authorize the violation of any federal, state or local law regulating construction for the violation of the terms of any deed or covenant or any zoning or other regulation.

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress and before final inspection.

The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within one year or if work or construction is suspended or abandoned for a period of one year at any time after work has commenced.

Inspections can be arranged by telephoning 586-1703 or by written or faxed notification. The Online Building Inspection Request Form is at: [www.juneau.org/permits/inspect\\_request.htm](http://www.juneau.org/permits/inspect_request.htm). Work shall not proceed until the inspector has approved the various stages of construction.

Call before 7:30 AM for same day inspections.

Please provide the following information: Permit No, Address, Type of Inspection, Date and Time and Contact Name and Phone Number.

Job Address: 9333 GLACIER HWY	Issued Date: 8/11/2004
Permit Number: BLD2004-00258	Parcel No: 5B1601140050
WORDEN SHOP/APARTMENT	
Project Description: New 40' X 60' garage/shop with 20' X 40' apartment on upper floor.	

Parcel Identification:	MENDENHALL ACRES BL 41 LTS 3 & 4 FR
------------------------	-------------------------------------

Setbacks:	Zone: LC	Flood Elevation: 25.00	Firm Zone: A2
Front: 25 Ft. E		Side 1: 10 Ft. N	Side 10.00 Ft. S
Rear: 10 Ft. W		Side 2: 10 Ft. S	Side 10.00 Ft. E
Comments: Six sided lot.			

Owner: ROBIN M WORDEN	Applicant: WORDEN HOMES INC
Address:	Address: PO BOX 32884
City: JUNEAU, AK 99803	City: JUNEAU, AK 99803

Fee Type	Date	Receipt	Amount Paid	Valuation for Permit Fee Calculations:		
1 Permit Fee	5/6/2004	17941	1,523.28	BUILDING PERMIT	UTIL - Priv Garage	152,736.00
1 Residential Plan Revie	5/6/2004	17941	761.64	BUILDING PERMIT	RESI - SFD/Duplex	93,568.00
1 Commercial Plan Revi	6/7/2004	18174	228.49	BUILDING PERMIT	UTIL - Decks	138.74
Total Fees Paid:			2,513.41	Total Valuation:		246,442.74

- Project Conditions and Holds:
- needs CU for storage
  - Blue van-accessible parking space required: 8' space with 8' aisle adjacent. Two blue wheelstops: one in front of space and one in front of aisle. Sign to include the words "Van accessible."
  - Mount fire extinguisher in commercial garage not over 5' high.
  - Address numbers for garage and shop - high contrast and readily visible from street.
  - STC-50 + 1-HR from house to commercial garage. Verify insulation and R-C channels. Extend 1-HR portion in attic to roof ply (but the STC elements aren't required in attic).
  - 1-HR bearing walls to support apartment: 5/8-X rock both sides of interior support wall, and at least 5/8-X rock on inside of the exterior bearing wall; and minimum 5/8-X rock on the garage lid below apartment.
  - 1-HR door with closer and gasket separating the two garages.
  - Accessible entrance: Commercial garage entrance to be accessible: min 5x5 level landing; slopes up to it not over 1:12 and not over 1/2" edges along the route. Not over 1/2" door threshold; lever hardware; and maneuvering clearances per code (min 18" on pull-latch side, for example).
  - Commercial garage: operable parts minimum 15" high and not over 48" high: thermostat, switches, outlets, etc.
  - Door closers for the commercial garage: ADA/ANSI maximum door forces, and the minimum 3 second closing time.
  - 44.0 WFU total for apt & private garage & existing. 1" service with 1-1/4" bldg. supply required. 1-1/4"=74 WFU; 1"=38 WFU; 3/4"=17 WFU; 1/2"=5 WFU. Fire hydrant @ 71 psi. Bldg @ 63 psi. Distance @ 150'.
  - NO PLUMBING in unheated portion of bldg.
  - Shower & tub/shower valves must be anti-scald and set not over 120 degrees F.

JUNEAU PERMIT CENTER - 230 S. Franklin Street - 4th Floor, Marine View Center - Mail: 155 S. Seward Street, Juneau, AK 99801  
Phone: 586-0770 - FAX: 586-3365 - Inspection Requests: 586-1703 - Email: [permits@ci.juneau.ak.us](mailto:permits@ci.juneau.ak.us)



# BUILDING PERMIT\*

Permit No.  
**BLD2004-00258**  
 Page No. 2

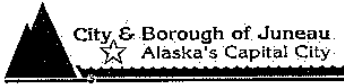
\*NOTE: "Building Permit" is a generic term which includes Building, Safety, Inspection, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

- 14 Restroom in commercial garage to be fully accessible: ADA sign, tall toilet seat, grabbars, wrap pies under sink, etc.
- 15 Foundation Setback Verification (yellow form) must be on site when pour inspection or placement of other foundation systems occurs.
- 16 Asbuilt Survey Required before final inspection approval.
- 17 Certificate of Elevation is required before framing inspection approval to verify finished floor elevation is above base flood elevation 26 ft. M.L.L.W.
- 18 Wheel stops are to be provided for the applicant's proposed parking prior to issuance of CO or TCO, as shown on the site plan. The accessible space and aisle must have blue wheel stops, per CU permit.
- 19 To ensure access for emergency vehicles, recording of the proposed easement to the south of Valley Paint shall be required prior to Certificate of Occupancy.
- 20 Due to an eagle's nest within 270' of the proposed construction site, construction must commence after August 31, 2004, unless a variance is granted.
- 21 Strict adherence to the submitted lighting plan is required. Any changes to such plan must be approved by CDD.
- 22 To help buffer between the Light Commercial and D-5 Residential Zones, sight obscuring fencing approved for appearance and function by CDD, shall be provided along the west lot line, or the west lot line of the adjacent parcel, prior to CO or TCO.

Inspections Required: Call for inspection before covering or concealing any of the work described below. Inspections may be combined.

100	Inso - Setbacks	105	Foundation Setback form	110	Inso - Excavation/Footing
115	Inso - Stemwalls/Form/Rebar	120	Inso - Temporary Power	140	Inso - Rough Framing
145	Inso - Special Inspection	150	Inso - Rough Electrical	160	Inso - Rough Plumbing
170	Inso - Underslab Utilities	180	Inso - Vents	190	Inso - Firewall Separation
210	Inso - Yellow Tag Electrical	220	Inso - Appliance/Chimney	230	Inso - Smoke Detection
240	Inso - Insulation	250	Inso - Cross Connection	255	Inso - Meter Yoke
256	Inso - Meter Yoke w/ Meter	260	Inso - Grading/Drainage	280	Inso - Res Zoning Final
430	Inso - Temporary Power	800	Inso - Residential Final		

JUNEAU PERMIT CENTER - 230 S. Franklin Street - 4th Floor, Marina View Center - Mail: 155 S. Seward Street, Juneau, AK 99801  
 Phone: 598-0770 - FAX: 598-3385 - Inspection Requests: 598-1703 - Email: permits@ci.juneau.ak.us



# UTILITY PERMIT\*

Permit No.  
**UTL2004-00083**  
Proj #: PRJ2004-00081

\*NOTE: Utility Permit is a general term which includes Water Connection Permits, Sewer Connection Permits, Water Inspections and Sewer Inspections.

**Yourspecial attention is called to the following:**

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any of said ordinances.

The granting of this permit does not authorize the violation of any federal, state or local law regulating construction for the violation of the terms of any deed or covenant or any zoning or other regulation.

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress and before final inspection.

The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within one year or if work or construction is suspended or abandoned for a period of one year at any time after work has commenced.

Inspections can be arranged by telephoning 588-1703 or by written or faxed notification. The Online Building Inspection Request Form is at: [www.juneau.ak.us/cdd/insp\\_req.htm](http://www.juneau.ak.us/cdd/insp_req.htm). Work shall not proceed until the inspector has approved the various stages of construction.

Call before 7:30 AM for same day inspections.

Please provide the following information: Permit No, Address, Type of Inspection, Date and Time and Contact Name and Phone Number.

Job Address: 9333 GLACIER HWY	Issued Date: 8/11/2004												
Permit Number: UTL2004-00083	Parcel No: 5B1601140050												
Project Description: WORDEN SHOP/APARTMENT New 1" water line.													
Parcel Identification: MENDENHALL ACRES BL 41 LTS 3 & 4 FR													
Owner: ROBIN M WORDEN Address: PO BOX 32884 City: JUNEAU, AK 99803	Applicant: WORDEN HOMES INC Address: PO BOX 32884 City: JUNEAU, AK 99803												
<table border="1"> <thead> <tr> <th>Fee Type</th> <th>Date</th> <th>Receipt</th> <th>Amount Paid</th> </tr> </thead> <tbody> <tr> <td>2 Water Assessment Fee</td> <td>8/11/2004</td> <td>18707</td> <td>750.00</td> </tr> <tr> <td colspan="3">Total Fees Paid:</td> <td>750.00</td> </tr> </tbody> </table>	Fee Type	Date	Receipt	Amount Paid	2 Water Assessment Fee	8/11/2004	18707	750.00	Total Fees Paid:			750.00	
Fee Type	Date	Receipt	Amount Paid										
2 Water Assessment Fee	8/11/2004	18707	750.00										
Total Fees Paid:			750.00										
Project Conditions and Holds: 1 Call for inspection prior to backfilling trench.													
Inspections Required: Call for inspection before covering or concealing any of the work described below. Inspections may be combined.													
080 Billing Authorization - Water	110 Inso - Size of Water Service	120 Inso - Depth (Water)											
800 Turn Water ON	800 Inso - Water Final												

JUNEAU PERMIT CENTER - 230 S. Franklin Street - 4th Floor, Marina View Center - Mail: 155 S. Seward Street, Juneau, AK 99801  
Phone: 588-0770 • FAX: 588-3385 • Inspection Requests: 588-1703 • Email: [permits@mail.ci.juneau.ak.us](mailto:permits@mail.ci.juneau.ak.us)



# UTILITY PERMIT\*

Permit No.  
**UTL2004-00084**  
Proj #: PRJ2004-00081

\*NOTE: Utility Permit is a generic term which includes Water Connection Permits, Sewer Connection Permits, Water Inspections and Sewer Inspections.

**Your special attention is called to the following:**

This permit is granted on the express conditions that the construction shall, in all respects, conform to the ordinances of the City and Borough of Juneau. It may be revoked at any time upon violation of any of said ordinances.

The granting of this permit does not authorize the violation of any federal, state or local law regulating construction for the violation of the terms of any deed or covenant or any zoning or other regulation.

If plan review was required, this permit must be attached to the approved drawings. The permit, plans and record of inspections must be available on site at all times while the construction is in progress and before final inspection.

The yellow posting notice must be prominently displayed to show a permit has been issued and to assist the inspectors in location of the project. This permit becomes null and void if work or construction authorized is not commenced within one year or if work or construction is suspended or abandoned for a period of one year at any time after work has commenced.

Inspections can be arranged by telephoning 586-1703 or by written or faxed notification.  
The Online Building Inspection Request Form is at: [www.juneau.ak.us/cdd/insp\\_req.htm](http://www.juneau.ak.us/cdd/insp_req.htm).  
Work shall not proceed until the inspector has approved the various stages of construction.

**Call before 7:30 AM for same day inspections.**

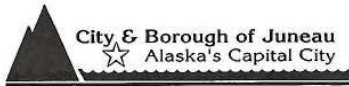
Please provide the following information: Permit No, Address, Type of Inspection, Date and Time and Contact Name and Phone Number.

Job Address: <b>9333 GLACIER HWY</b>		Issued Date: <b>8/11/2004</b>	
Permit Number: <b>UTL2004-00084</b>	<b>WORDEN SHOP/APARTMENT</b>		Parcel No: <b>5B1601140050</b>
Project Description: <b>New sewer service, in connection with BLD2004-00258.</b>			
Parcel Identification: <b>MENDENHALL ACRES BL 41 LTS 3 &amp; 4 FR</b>			
Owner: <b>ROBIN M WORDEN</b> Address: <b>PO BOX 32884</b> City: <b>JUNEAU, AK 99803</b>		Applicant: <b>WORDEN HOMES INC</b> Address: <b>PO BOX 32884</b> City: <b>JUNEAU, AK 99803</b>	
Fee Type	Date	Receipt	Amount Paid
4 Sewer Inspection Fee	8/11/2004	18706	60.00
		Total Fees Paid:	60.00
Project Conditions and Holds: <b>1 Call for inspection prior to backfilling trench.</b>			
Inspections Required: Call for inspection before covering or concealing any of the work described below. Inspections may be combined:			
070 Billing Authorization - Sewer	100	Inso - Depth (Sewer)	110 Inso - Soil
120 Inso - Material	125	Inso - Grade	130 Inso - Cleanouts
140 Sewer Connection	500	Inso - Sewer Final	

JUNEAU PERMIT CENTER - 230 S. Franklin Street - 4th Floor, Marine View Center - Mail: 155 S. Seward Street, Juneau, AK 99801  
Phone: 586-0770 - FAX: 586-3385 - Inspection Requests: 586-1703 - Email: [permits@mail.ci.juneau.ak.us](mailto:permits@mail.ci.juneau.ak.us)







Application Date: May 6, 2004

# BUILDING PERMIT APPLICATION

NOTE: THIS IS NOT A BUILDING PERMIT

\* NOTE: "Building Permit" is a generic term which includes Building Safety Inspections, Grading Permits, and permits for Electrical, Plumbing and Mechanical work.

Project Name: **WORDEN SHOP/APARTMENT**

Case No: **BLD2004-00258**

Project No: BLD2004-00258

Case Description: New 40' X 60' garage/shop with 20' X 40' apartment on upper floor.

Site Address: 9333 GLACIER HWY

Check No. of Existing Dwelling Units:

Parcel No: 5B1601140050

No. of New Dwelling Units:

Legal Description: MENDENHALL ACRES BL 41 LTS 3 & 4 FR

**Applicant:** WORDEN HOMES INC  
Address: PO BOX 32884  
City: JUNEAU, AK 99803

Contact: Rob Worden  
PH2 780-5186 wk & fax  
CEL 321-5015

**Owner:** ROBIN M WORDEN  
Address: PO BOX 032884  
City: JUNEAU, AK 99803  
PH: 780-5186 FAX 780-5186

**Contractor:** WORDEN HOMES INC

Address: PO BOX 32884  
City: JUNEAU, AK 99803

License No: 26617

### Valuation for Permit Fee Calculations:

Description	S.F.	Type	Amount
BUILDING PERMIT	2,400	UTIL - Priv Garage	152,736.00
BUILDING PERMIT	800	RESI - SFD/Duplex	93,568.00
BUILDING PERMIT	14	UTIL - Decks	138.74
Total Valuation:			246,442.74

### Permit Fees Paid at Application:

Fee Type	Date Paid	Receipt	Check or Credit #	Amount Paid
1 Permit Fee	5/6/04			0.00
1 Residential Plan Review	5/6/04			0.00
Total Fees Paid:				0.00

### Associated Cases:

None.

### Parcel Tags:

### Notes and Conditions:

Applicant's Signature

05/06/04

Date

Staff Acceptance

I hereby certify that I have read and examined this application and know the same to be true and correct. I further certify that all provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. I understand that the granting of a permit does not presume to give authority to violate or cancel the provisions of any other federal, state or local law regulating construction or the performance of construction.

JUNEAU PERMIT CENTER - 230 S. Franklin Street - 4th Floor, Marine View Center - Mail: 155 S. Seward Street, Juneau, AK 99801  
Phone: 586-0770 - FAX: 586-3365 - Inspection Requests: 586-1703 - Email: permits@ci.juneau.ak.us  
Web Page: HTTP://WWW.JUNEAU.ORG/PERMITS

Case No: **BLD2004-00258**

**JUNEAU PERMIT CENTER**  
**INSPECTION RESULTS**  
**WORDEN SHOP/APARTMENT**

Proj No: PRJ2004-00081

Inspect on: 8/16/2004 Time: 1:00 P

Issued On: 8/11/2004

Applicant: **WORDEN HOMES INC**

Parcel No: 5B1601140050

Address: **9333 GLACIER HWY**

Project Description: New 40' X 60' garage/shop with 20' X 40' apartment on upper floor.

Legal Description: MENDENHALL ACRES BL 41 LTS 3 & 4 FR

**Notes: Rob Worden 321-5015. Footings inspection.**

Inspection: 110 Insp - Excavation/Footing

Result: A

Inspected by: *[Signature]*

Date: \_\_\_\_\_

**SETBACKS:**

Front: 25 E

Rear: 10 W

Side1: 10 N

Side2: 10 S

Side 10 S

Side 10 E

Parking Spaces: 4

Zoning: LC

Comments: Six sided lot.

**CONDITIONS / HOLDS:**

- needs CU for storage
- Blue van-accessible parking space required: 8' space with 8' aisle adjacent. Two blue wheelstops: one in front of space and one in front of aisle. Sign to include the words "Van accessible."
- Mount fire extinguisher in commercial garage not over 5' high.
- Address numbers for garage and shop - high contrast and readily visible from street.
- STC-50 + 1-HR from house to commercial garage. Verify insulation and R-C channels. Extend 1-HR portion in attic to roof ply (but the STC elements aren't required in attic).
- 1-HR bearing walls to support apartment: 5/8-X rock both sides of interior support wall, and at least 5/8-X rock on inside of the exterior bearing wall; and minimum 5/8-X rock on the garage lid below apartment.
- 1-HR door with closer and gasket separating the two garages.
- Accessible entrance: Commercial garage entrance to be accessible: min 5x5 level landing; slopes up to it not over 1:12 and not over 1/2' edges along the route. Not over 1/2" door threshold; lever hardware; and maneuvering clearances per code (min 18" on pull-latch side, for example).
- Commercial garage: operable parts minimum 15" high and not over 48" high: thermostat, switches, outlets, etc.
- Door closers for the commercial garage: ADA/ANSI maximum door forces, and the minimum 3 second closing time.
- 44.0 WFU total for apt & private garage & existing. 1" service with 1-1/4" bldg. supply required. 1-1/4"=74 WFU; 1"=38 WFU; 3/4"=17 WFU; 1/2"=5 WFU. Fire hydrant @ 71 psi. Bldg @ 63 psi. Distance @ 150'.
- NO PLUMBING in unheated portion of bldg.
- Shower & tub/shower valves must be anti-scald and set not over 120 degrees F.
- Restroom in commercial garage to be fully accessible: ADA sign, tall toilet seat, grabbars, wrap pies under sink, etc.
- Foundation Setback Verification (yellow form) must be on site when pour inspection or placement of other foundation systems occurs.
- Asbuilt Survey Required before final inspection approval.
- Certificate of Elevation is required before framing inspection approval to verify finished floor elevation is above base flood elevation 26 ft. M.L.L.W.
- Wheel stops are to be provided for the applicant's proposed parking prior to issuance of CO or TCO, as shown on the site plan. The accessible space and aisle must have blue wheel stops, per CU permit.
- To ensure access for emergency vehicles, recording of the proposed easement to the south of Valley Paint shall be required prior to Certificate of Occupancy.
- Due to an eagle's nest within 270' of the proposed construction site, construction must commence after August 31, 2004, unless a variance is granted.
- Strict adherence to the submitted lighting plan is required. Any changes to such plan must be approved by CDD.
- To help buffer between the Light Commercial and D-5 Residential Zones, sight obscuring fencing approved for appearance and function by CDD, shall be provided along the west lot line, or the west lot line of the adjacent parcel, prior to CO or TCO.

**INSPECTION COMMENTS:**

*Read yellow form.*

*Matt Halibak*

### Foundation Setback Verification

Permit Number: ..... BLD2004-00258  
 Project Address: ..... 9333 GLACIER HWY  
 Assessor's Parcel No: ..... 5B1601140050  
 Applicant's Name: ..... WORDEN HOMES INC

**Zoning Setbacks Required for Finished Building:**  
 Front: 25.0 E      Side1: 10.0 N  
 Rear: 10.0 W      Side2: 10.0 S  
 Side: 10.0 S      Side: 10.0 E  
 Comments: Six sided lot.  
 Planner: MAH  
 Date: 8/3/2004

In accordance with CBJ 19.01.108.5.2, building setback lines are to be verified before inspectors can approve forms for concrete pour or placement of other foundation systems. Setbacks are measured from exterior finish materials of closest building component to property line.

**Notice: DO NOT POUR CONCRETE OR PLACE OTHER FOUNDATION SYSTEMS**

UNTIL INSPECTOR APPROVES SETBACKS BY ONE OF THE FOLLOWING CHECKED OPTIONS:

- A. Surveyor's monument(s)** / string line clearly visible at the site. If the foundation and all other building elements are clearly behind the setback line, the inspector may approve the setbacks outright or at owner/contractor's risk. If there is any question, the inspector may require that no pour or foundation placement be permitted without one of the following methods of verification. (Also see "Note" below.) **OR**
- B. Surveyor's Statement of Setback Compliance.** (Surveyor must sign and stamp the bottom portion of this form). No pour or foundation placement is allowed until the statement is received by CBJ, regardless of risk assumed by owner or contractor. Upon receipt of statement, pour or foundation placement may be approved outright or at owner/contractor risk. (See "Note" below.) **OR**
- C. Stamped Surveyor's As-built Survey of Adjacent Building or Structure** if setback can be verified measuring from adjacent structure. (See "Note" below. May only be used when structure is parallel with property line.) **OR**
- D. Stamped Surveyor's As-built Survey of Foundation** or Formwork indicating setbacks, easements and other relevant information. (See "Note" below.) **OR**
- E. Other** \_\_\_\_\_

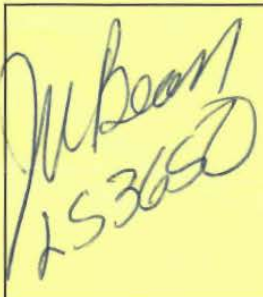
INSPECTOR'S APPROVAL & COMMENTS:	Inspector's Initials
	Date

Note: An as-built survey may still be required prior to issuance of a Certificate of Occupancy if setbacks are close enough to the building to make setback verification questionable. Example: Where the structure is less than 3' to the setback line on steep slopes or forested terrain. The purpose of the monuments and string line, surveyor's statement or foundation as-built is to give the inspector the information necessary to allow a pour or placement based on a surveyor's work, as required by CBJ ordinance and not to cause scheduling delays for the contractor. In some situations, a final as-built may be required before frame or final approval where the distance to the setback line of some element of the structure must be more exactly determined. Inspectors may require this additional as-built based on their observations in the field.

**SURVEYOR'S STATEMENT OF SETBACK COMPLIANCE**

I hereby certify that I am a surveyor registered to practice in the State of Alaska, and that on 8-16-04, I personally verified that the forms or foundation systems on site at: 9333 Glacier Hwy, Permit No: 00258 are placed so that the finished building, if built to the plans as approved by CBJ, will meet the required setbacks shown above. I have reviewed the plans and zoning requirements as approved by CBJ and have accounted for all exterior finish materials, decks, cantilevers and/or other proposed building projections on the approved plans. To the best of my ability, I staked the property so that the contractor can meet all CBJ zoning requirements per CBJ Titles 19 and 49.

I heretofore affix my professional stamp, this date of 8-16-04.

  
 Surveyor's Signed Seal Required

Case No: **BLD2004-00258**

**JUNEAU PERMIT CENTER**  
**INSPECTION RESULTS**  
**WORDEN SHOP/APARTMENT**

Proj No: PRJ2004-00081

*lum*

Inspect on: 9/30/2004 Time: 11:30 A

Issued On: 8/11/2004

Applicant: **WORDEN HOMES INC**

Parcel No: 5B1601140050

Address: **9333 GLACIER HWY**

Legal Description: MENDENHALL ACRES BL 41 LTS 3 & 4 FR

Project Description: New 40' X 60' garage/shop with 20' X 40' apartment on upper floor.

**Notes: Harbor Plumbing 789-7222. Plumbing and heating rough in inspection.**

Inspection: 160 Insp - Rough Plumbing

Result: *A*

Inspected by: *[Signature]*

Date: \_\_\_\_\_

**SETBACKS:**

Parking Spaces: 4

Zoning: LC

Front: 25 E Rear: 10 W Side1: 10 N Side2: 10 S Side 10 S Side 10 E

Comments: Six sided lot.

**CONDITIONS / HOLDS:**

- needs CU for storage
- Blue van-accessible parking space required: 8' space with 8' aisle adjacent. Two blue wheelstops: one in front of space and one in front of aisle. Sign to include the words "Van accessible."
- Mount fire extinguisher in commercial garage not over 5' high.
- Address numbers for garage and shop - high contrast and readily visible from street.
- STC-50 + 1-HR from house to commercial garage. Verify insulation and R-C channels. Extend 1-HR portion in attic to roof ply (but the STC elements aren't required in attic).
- 1-HR bearing walls to support apartment: 5/8-X rock both sides of interior support wall, and at least 5/8-X rock on inside of the exterior bearing wall; and minimum 5/8-X rock on the garage lid below apartment.
- 1-HR door with closer and gasket separating the two garages.
- Accessible entrance: Commercial garage entrance to be accessible: min 5x5 level landing; slopes up to it not over 1:12 and not over 1/2' edges along the route. Not over 1/2" door threshold; lever hardware; and maneuvering clearances per code (min 18" on pull-latch side, for example).
- Commercial garage: operable parts minimum 15" high and not over 48" high: thermostat, switches, outlets, etc.
- Door closers for the commercial garage: ADA/ANSI maximum door forces, and the minimum 3 second closing time.
- 44.0 WFU total for apt & private garage & existing. 1" service with 1-1/4" bldg. supply required. 1-1/4"=74 WFU; 1"=38 WFU; 3/4"=17 WFU; 1/2"=5 WFU. Fire hydrant @ 71 psi. Bldg @ 63 psi. Distance @ 150'.
- NO PLUMBING in unheated portion of bldg.
- Shower & tub/shower valves must be anti-scald and set not over 120 degrees F.
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- Strict adherence to the submitted lighting plan is required. Any changes to such plan must be approved by CDD.
- To help buffer between the Light Commercial and D-5 Residential Zones, sight obscuring fencing approved for appearance and function by CDD, shall be provided along the west lot line, or the west lot line of the adjacent parcel, prior to CO or TCO.

**INSPECTION COMMENTS:**

*✓ DWV & ~~Hot~~ Water pressures holding.*

*18' x 6 Deck (5 1/4" x 16' Gb.)*

*22 x 8 Deck ( ) ? about running RC channel down wall.*

*3° door*

*Framing looks good.*

Job Name: Nelson

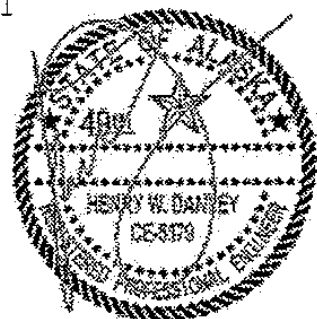
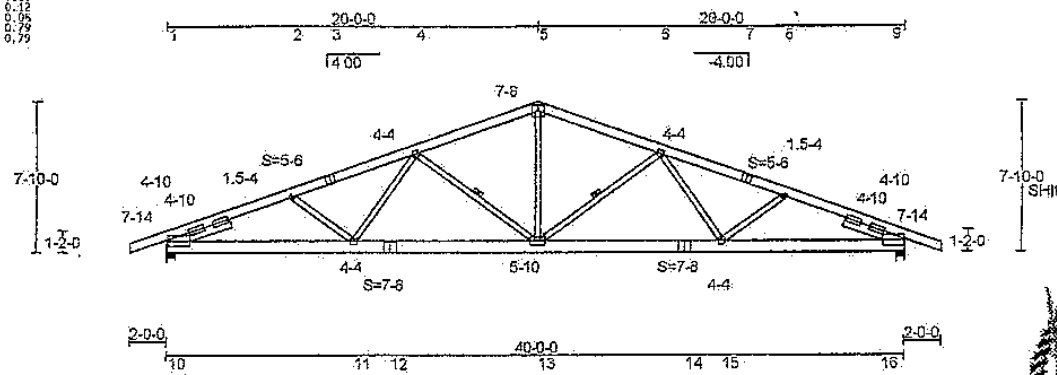
Truss ID: T1

Qty: 29

SRG X-LOC REAC SIZE REQ'D TC 2x6 HF 1850F-1.5E  
 1 0 1-22 3558 5.52 3.91  
 2 39 0 2 3563 5.52 3.91  
 SRG REQUIREMENTS shown are based ONLY on the truss material at each bearing  
 MAX DEFLECTION spans:  
 L/977 IN PER 18-22 (LIVE)  
 Lx = 20'-0" Sx = 20'-0" T = 4'-0.62"  
 DEFLECTIONS PER MEMBER:  
 1-2 -2852(1.00) 5201(1.00) 0.75  
 2-3 -6292(1.00) 5201(1.00) 0.84  
 3-4 -6292(1.00) 5201(1.00) 0.84  
 4-5 -6292(1.00) 5201(1.00) 0.84  
 5-6 -6292(1.00) 5201(1.00) 0.84  
 6-7 -6292(1.00) 5201(1.00) 0.84  
 7-8 -6292(1.00) 5201(1.00) 0.84  
 8-9 -2651(1.00) 3701(1.00) 0.72  
 BC COMP (PER J) TENS (PER J) CST  
 10-11 -5511(1.00) 5201(1.00) 0.71  
 11-12 -5042(1.00) 5709(1.00) 0.59  
 12-13 -5042(1.00) 5709(1.00) 0.59  
 13-14 -5042(1.00) 5709(1.00) 0.59  
 14-15 -5042(1.00) 5709(1.00) 0.59  
 15-16 -5511(1.00) 5201(1.00) 0.71  
 MS COMP (PER J) TENS (PER J) CST  
 2-11 -1161(1.00) 2791(1.00) 0.66  
 4-11 -1593(1.00) 2791(1.00) 0.86  
 4-12 -1610(1.00) 2791(1.00) 0.86  
 6-13 -1610(1.00) 2791(1.00) 0.86  
 6-14 -1161(1.00) 2791(1.00) 0.66  
 8-14 -1161(1.00) 2791(1.00) 0.66  
 SLDRS -6957(1.00) 4221(1.00) 0.79  
 SLDRS -6957(1.00) 4221(1.00) 0.79

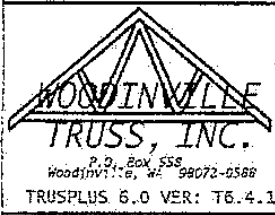
Web bracing required at each location shown.  
 See standard details (TMO:09/001-002).  
 Plate size: ANE/PL = 6995  
 THIS DESIGN IS THE COMPOSITE RESULT OF MULTIPLE LOAD CASES.  
 Lumber shear allowances are per NDS.

UPLIFT REACTION(S):  
 Support: GC Wind Non-Wind  
 1 -454 lb  
 2 -454 lb  
 This truss is designed using the ASCE-98 Wind Specification  
 Sdg Enclosed = Yes, Importance Factor = 1.00  
 Truss Location = Not End Zone  
 Hurricane/Ocean Line = No, Exp Category = C  
 Sdg Length = 80.00 ft, Sdg Width = 20.00 ft  
 Mean roof height = 13.92 ft, Ron = 95  
 TP Standard Occupancy, Dead Load = 10.2 psf  
 Designed as with Wind Force Resisting System and Components and Cladding  
 Tributary Area = 80 sqft



Truss Systems Plates are 20 ga. unless shown by 18" x 18 ga. 1/4" x 16 ga. 1/4" or 18" x 18 ga. 1/4" x 16 ga. 1/4" positioned per Joint Details Report. Circular plates and false frame plates are positioned as shown above. 5/16" gable stud plates to avoid overlap with structural plates for slope.

9/7/04



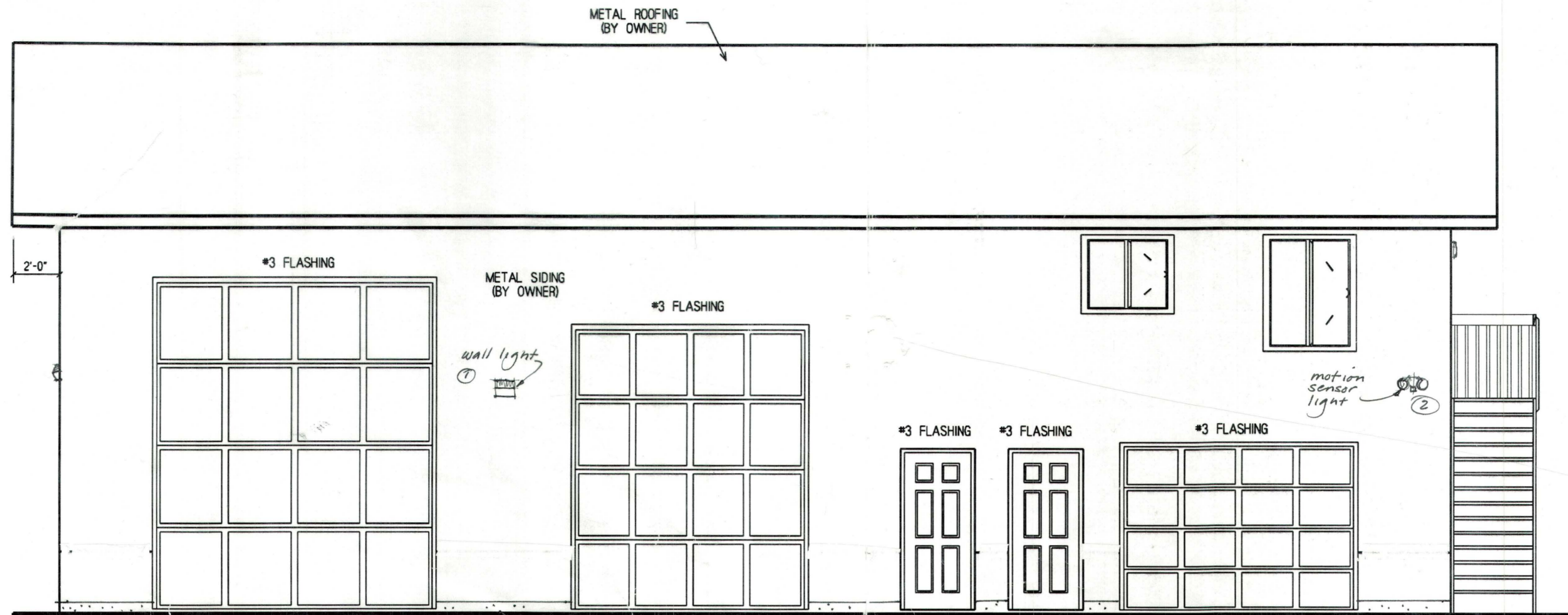
**WARNING** Read all notes on this sheet and give a copy of it to the Erecting Contractor.  
 This design is for an individual building component not truss system. It has been based on specifications provided by the component manufacturer and does not conform with the current versions of TPI and AFPA design standards. No responsibility is assumed for dimensional accuracy. Dimensions are to be verified by the component manufacturer and/or building designer prior to fabrication. The building designer must ascertain that the loads listed on this design meet or exceed the loading imposed by the local building code and the particular application. The design assumes that the top chord is laterally braced by the roof or floor sheathing and the bottom chord is laterally braced by a rigid sheathing material directly attached. Unless otherwise noted, bracing shown is for lateral support of component members only to reduce buckling length. This component shall not be placed in any environment that will cause the moisture content of the wood to exceed 18% and/or cause connector plate corrosion. Fabricate, handle, install and brace this truss in accordance with "JOINT DETAILS" by Truswell, "ANSI/TPI 1" WFCM Wood Truss Council of America Standard Design Recommendations, "HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES" (WB-91) and "WB-91 SUMMARY SHEET" by TPI. The Truss Plate Institute (TPI) is located at 1111 19th Street, NW, Ste 870, Washington, DC 20036. The American Forest and Paper Association (AFPA) is located at 1111 19th Street, NW, Ste 870, Washington, DC 20036.

Cust: Valley		W0: Drive_1_320204_L00005_000001	
Dsgnr:	#LC = 17	WT:	335#
TC Live	65.00 psf	DurFacs	L=1.00 P=1.00
TC Dead	7.00 psf	Rep Mbr	8bd 1.25
BC Live	0.00 psf	Rep Mbr	Comp 1.00
BC Dead	10.00 psf	Rep Mbr	Tens 1.00
TOTAL	82.00 psf	O.C. Spacing	2'-0" - 0
		Design Spec	TPI
		DEFL. RATIO:	L/240, TC: L/240

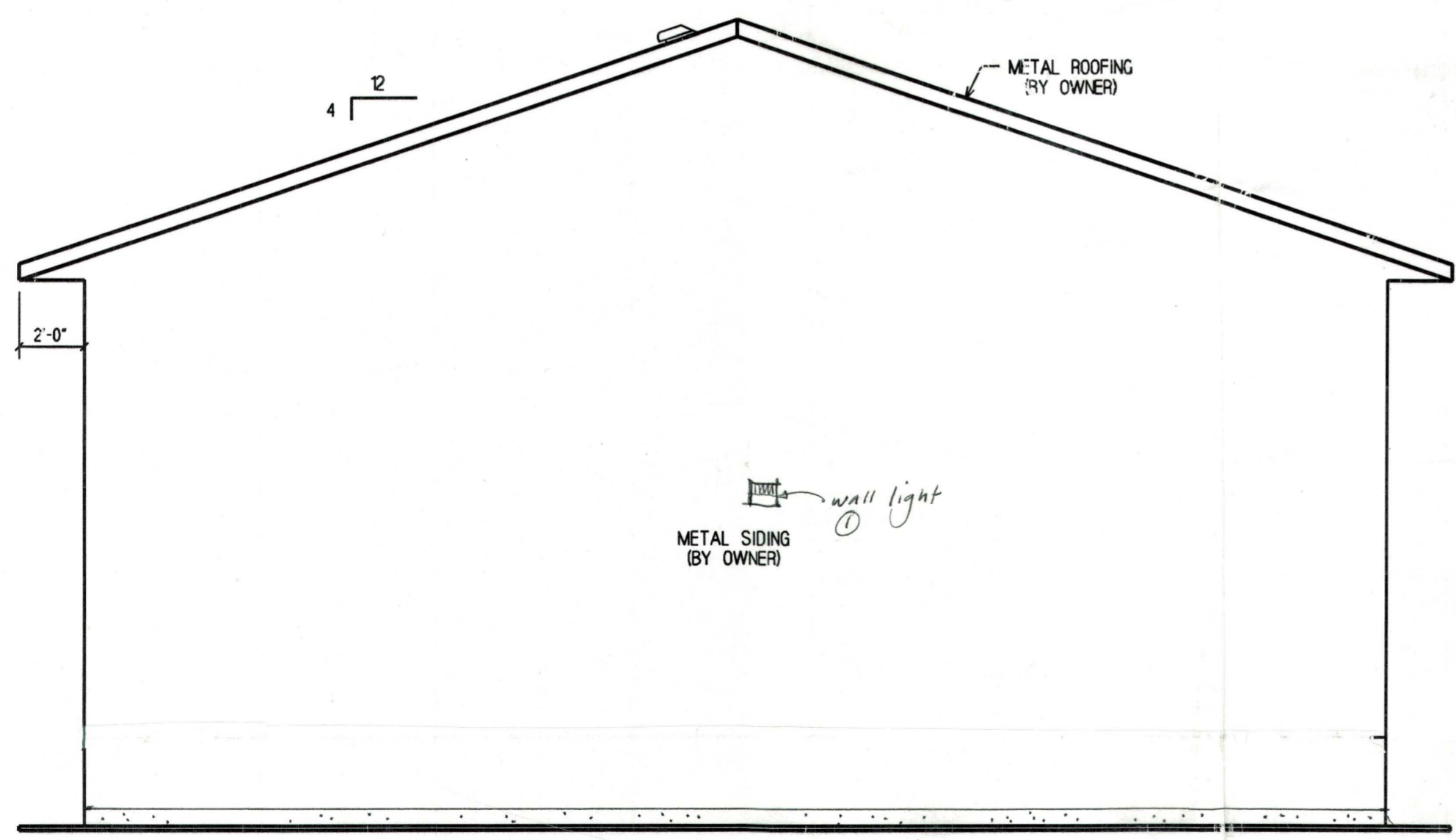
SET-13-2004 FROM 10-02 HU WOODVILLE INUSD FPA NO. 4294012123







FRONT ELEVATION



LEFT ELEVATION

RECEIVED  
 JUN 15 2004  
 PERMIT CENTER / CDD  
 high heel roof trusses.  
 see sht 7 of B  
 BLD 2004-258  
 Approved Plans  
 8-11-04  
 P. Appurves

**PRELIMINARY  
 WORKING DRAWINGS**  
 FOR FINANCING, QUOTATION, AND  
 PERMIT PURPOSES ONLY.  
**NOT TO BE USED  
 FOR CONSTRUCTION.**

RECEIVED  
 JUN 07 2004  
 PERMIT CENTER / CDD

EXTERIOR FINISH AS PER SPEC.  
 GRADE IS ONLY SUGGESTED AND MUST BE  
 ADJUSTED TO SUIT INDIVIDUAL SITE CONDITIONS.  
 ADJUST CONCRETE STEPS TO SUIT GRADE.



7 June 04

**Nelson  
 HOMES**  
 BOX 620 LLOYDMINSTER, ALBERTA S9V 0Y8  
 PHONE (780) 871-6300 FAX (780) 871-6388

CUSTOMER: **WORDEN HOME BUILDERS (WORDEN)**

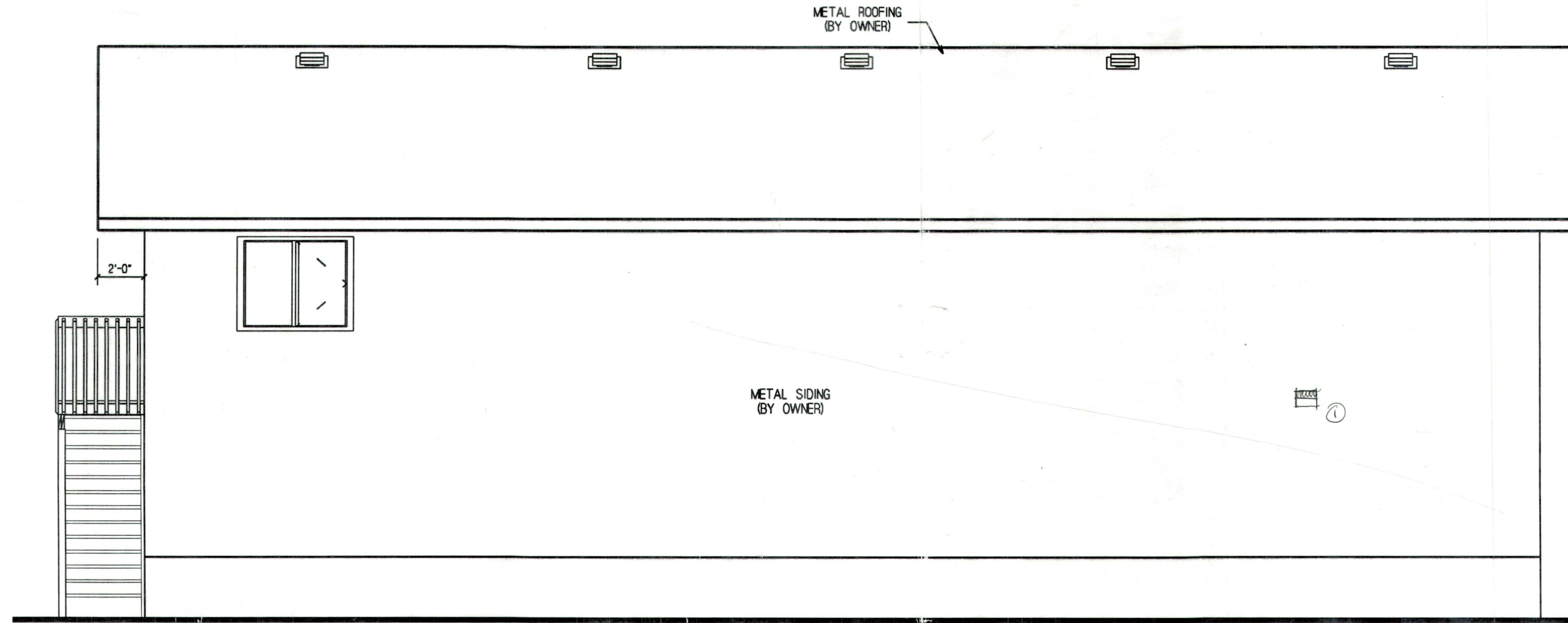
MODEL: **CUSTOM** ORDER #: **L5611**

DRAWN BY: **LIFESPACE** CHECKED BY: **CHECKER**

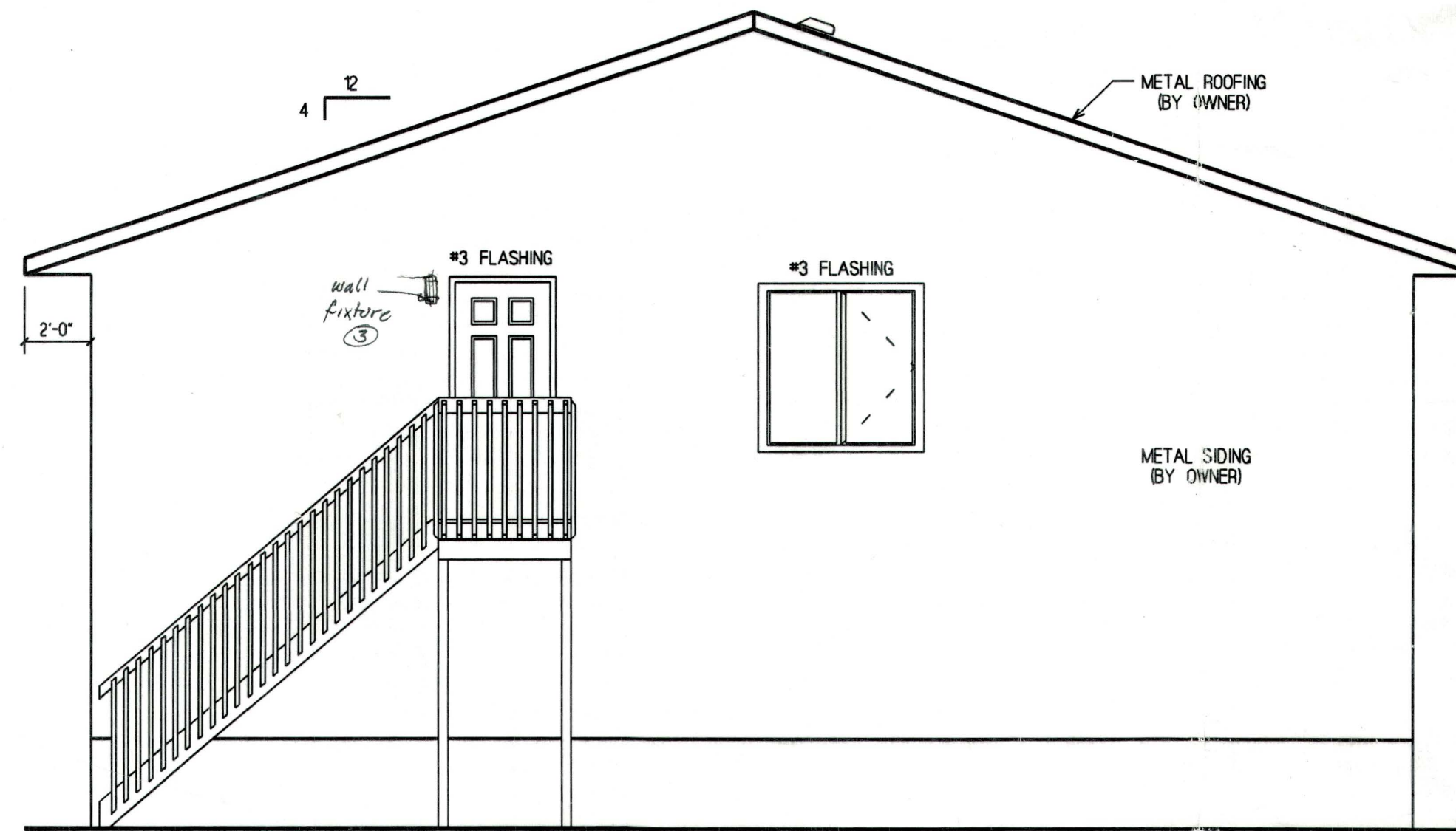
DATE ORG. DRAWN: **FEBRUARY 8, 2004** ELEVATION: **HAND**

SPECIFICATION UPDATE: 2004

REVISIONS	DATE	BY	DRAWN	DEDDED
WORKING DRAWINGS	17 FEB 04	LIFESPACE		
MODIFICATIONS	25 FEB 04	LIFESPACE		



REAR ELEVATION



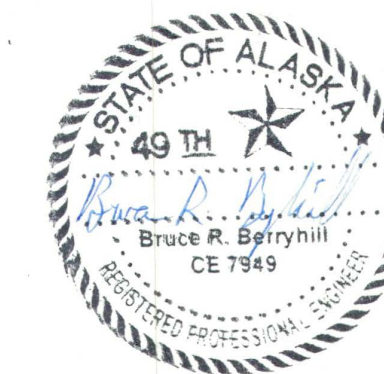
RIGHT ELEVATION

**PRELIMINARY  
WORKING DRAWINGS**

FOR FINANCING, QUOTATION, AND  
PERMIT PURPOSES ONLY.

**NOT TO BE USED  
FOR CONSTRUCTION.**

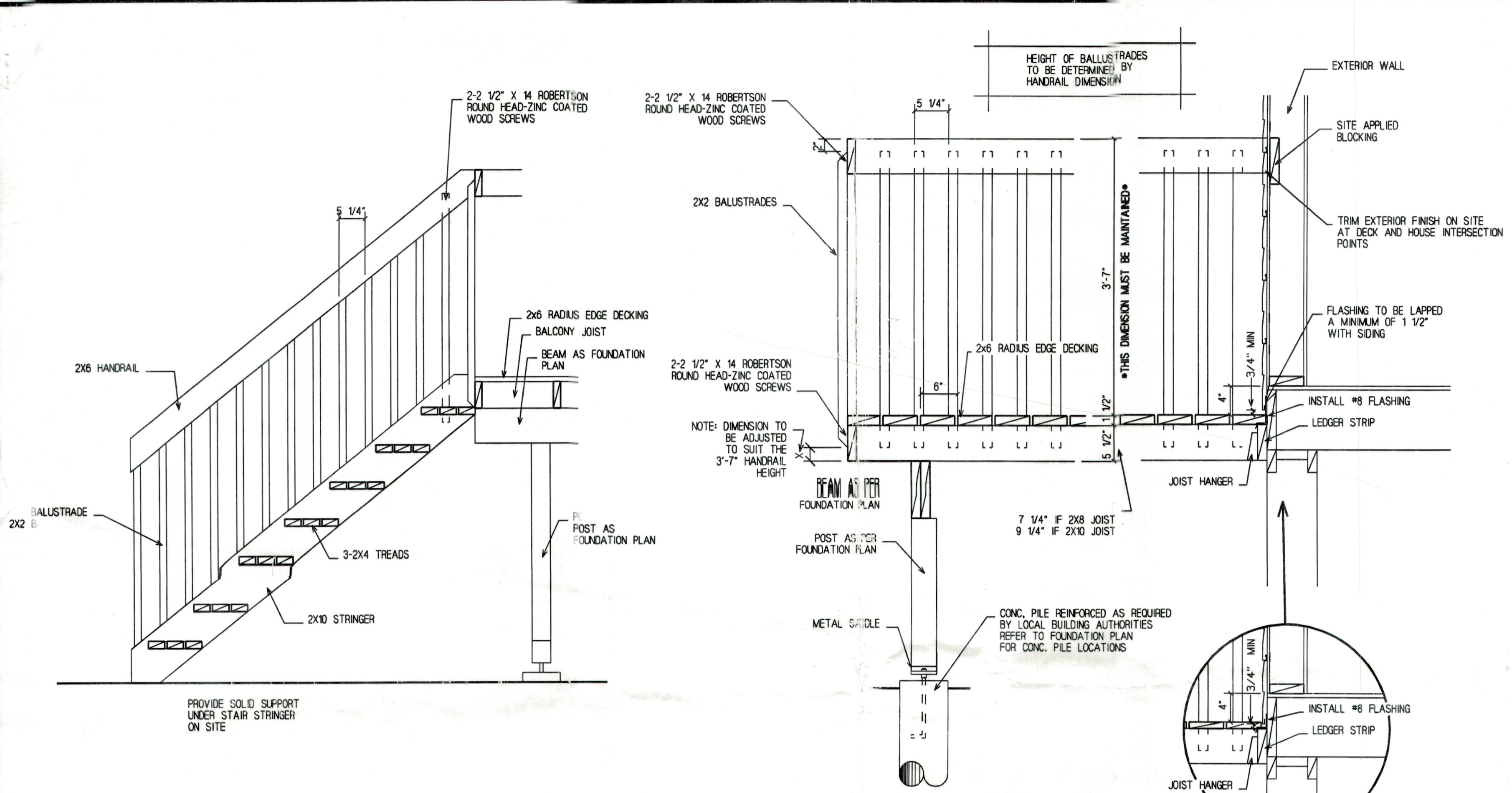
EXTERIOR FINISH AS PER SPEC.  
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ADJUST CONCRETE STEPS TO SUIT GRADE.



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JUN 07 2004  
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7 June 04

<b>Nelson HOMES</b>			
BOX 620 LLOYDMINSTER, ALBERTA S9V 0Y8 PHONE (780) 871-6300 FAX (780) 871-6388			
CUSTOMER: <b>WORDEN HOME BUILDERS (WORDEN)</b>			
MODEL: <b>CUSTOM</b>		ORDER #: <b>L5611</b>	
DRAWN BY: <b>LFBSPACE</b>	CHECKED BY: <b>CHECKER</b>		ELEVATION: <b>HAND</b>
DATE ORG. DRAWN: <b>FEBRUARY 17, 2004</b>			
SPECIFICATION UPDATE: <b>2004</b>			
REVISIONS	DATE (DWG)	DRAWN	CHECKED
WORKING DRAWINGS	17 FEB 04	LFBSPACE	
MODIFICATIONS	25 FEB 04	LFBSPACE	



**STAIR DETAIL** STAIR BS1/BS2/BS3

NOTE: PRECUT MATERIAL IS SUPPLIED FOR BALCONY STAIR AND MUST BE ASSEMBLED ON SITE BY OTHERS. SECURELY FASTEN 2x4 TREADS TO STRINGER

STAIR BS1-BILEVEL WITH JOISTS WITH OR WITHOUT PONYWALL  
 STAIR BS2-BUNGALOW WITH JOIST OR TRUSS  
 STAIR BS3-BILEVEL WITH TRUSSES WITH OR WITHOUT PONYWALL

**SECTION THRU BALCONY**  
DECK BUILT PRIOR TO SIDING

NOTE: ALL MATERIAL FOR BALCONY IS SUPPLIED UNFINISHED AND MUST BE STAINED OR PAINTED ON SITE.

**ALTERNATIVE DECK DETAIL**  
DECK BUILT AFTER SIDING

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**Nelson  
HOMES**

BOX 620 LLOYDMINSTER, ALBERTA S9V 0Y8  
 PHONE (780) 871-6300 FAX (780) 871-6388

CUSTOMER: WORDEN HOME BUILDERS (WORDEN)

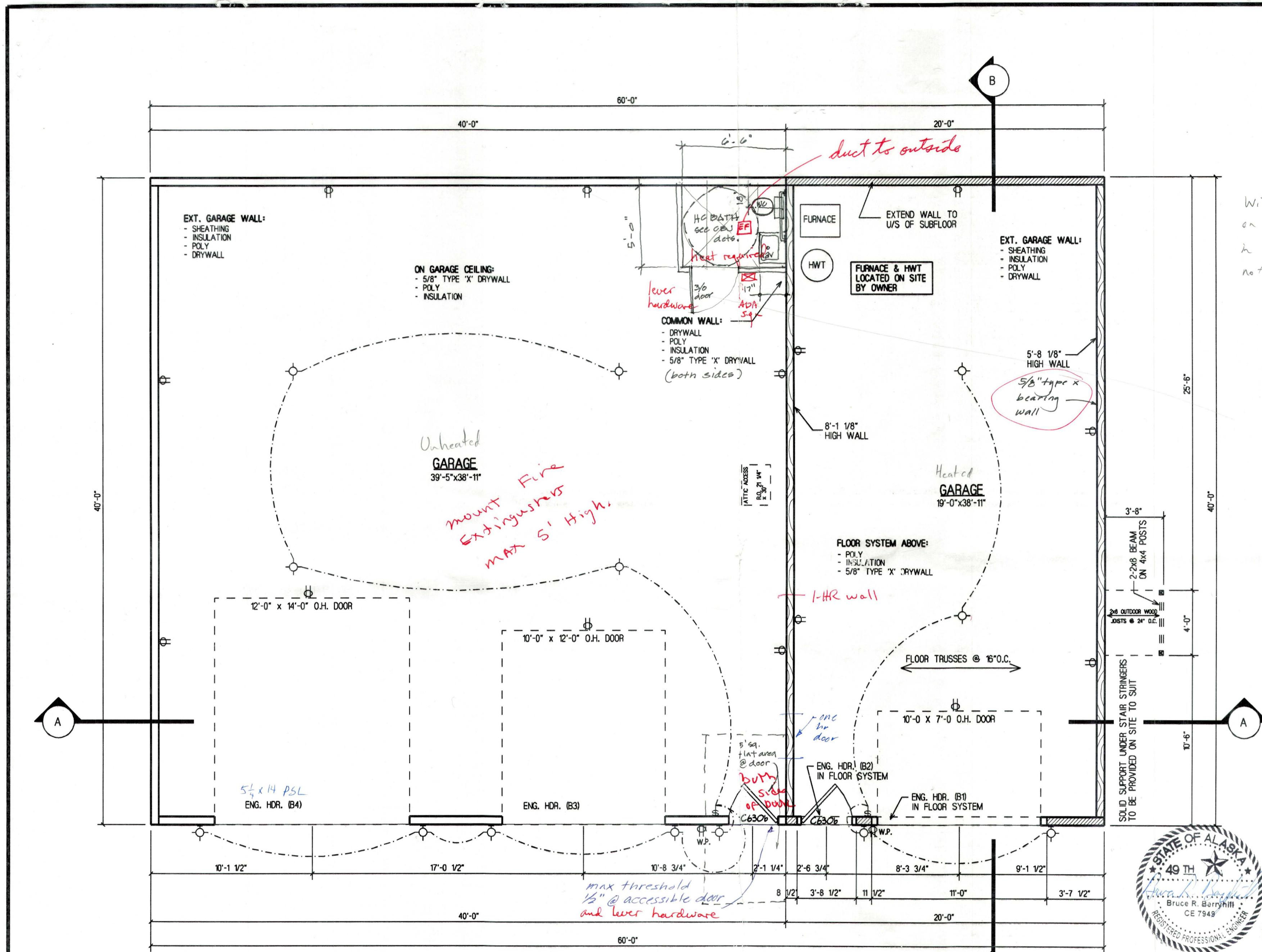
MODEL: CUSTOM ORDER #: L5611

DRAWN BY: LIFSPACE CHECKED BY: CHECKER

DATE ORG. DRAWN: FEBRUARY 11, 2004 ELEVATION: HAND

REVISIONS

REVISIONS	DATE (MM/YY)	DRAWN	CHECKED
WORKING DRAWINGS	11 FEB 04	LIFSPACE	
MODIFICATIONS	25 FEB 04	LIFSPACE	



2x6 studs 16" o.c.  
 shallow foot protected by  
 w/ 1/4" wall  
 OR  
 conventional skinned  
 w/ 1/2" wall

With 16" wall, put plywood  
 on both sides of 2x6 studs  
 in unheated garage (but  
 not on gable end)

**LEGEND AND NOTES**

**CLOSET SHELVING REFERENCE**

PLAN CODE	HWDR. CODE
CLOSET	T"
COATS	T"
LINE	T"
TOWELS	T"
PANTRY	T"
BROOMS	T"

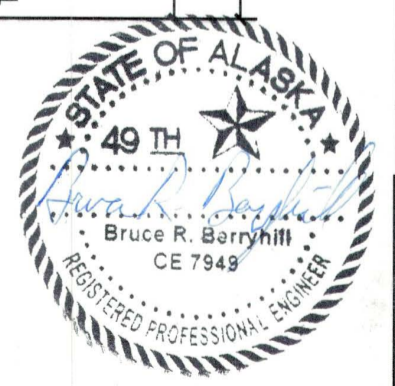
- FOR FURTHER INSTRUCTION SEE BUILDING GUIDE

**ELECTRICAL SYMBOLS**

- - CEILING OR WALL LIGHT
- ⊕ - SWITCH
- ⊙ - FAN
- ⊕ - DUPLEX RECEPTACLE
- ⊕ - SWITCHED DUPLEX RECEPTACLE
- ⊕ - 220 VOLT RECEPTACLE
- ⊕ - SMOKE ALARM
- ⊕ - PULL CHAIN LIGHT
- ⊕ - RECESSED OR POT LIGHT

**NOTE!** - CHECK ALL ROUGH OPENINGS INCLUDING DOORS AND WINDOWS DURING FRAMING  
 - THE EXACT HEAT INSTALLATION, ELECTRIC OUTLETS, AND ELECTRICAL PANEL LOCATION TO BE THE RESPONSIBILITY OF INSTALLING CONTRACTOR  
 - OPTIONAL KITCHEN CABINETS, AND VANITIES AS PER ORDER (FRAME MED CABINETS ON SITE) INSTALLER TO VERIFY THE EXACT VANITY SINK LOCATION  
 - PANELS AND PARTITIONS ARE DESIGNATED BY NUMBERS IN BRACKETS. ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF SHTG.

- H-CLIPS
  - TYPICAL BRG. HEADER TO BE 2-2x10 #2 OR BTR. SPRUCE UNLESS NOTED OTHERWISE
  - 7/16" OSB ROOF SHTG.
  - 7/16" OSB WALL SHTG.
  - 5/8" T&G OSB SUBFLOOR
  - TOP PLATES SENT LOOSE & APPLY ON SITE
  - ALL GARAGE WALLS 14'-4 1/2" HIGH UNLESS NOTED OTHERWISE
- Nail Sheathing #4 o.c. edge, 12" o.c. field
- WIND LOAD 100 mph
  - SNOW LOAD 60 lbs/sq.ft.



**GARAGE FLOOR PLAN - 2400 SQ. FT.**

NOTE:  
 ALL GARAGE WALLS 14'-4 1/2"  
 HIGH UNLESS NOTED OTHERWISE.

**GARAGE FLOOR PLAN - 2400 SQ. FT.**  
**APARTMENT FLOOR PLAN - 800 SQ. FT.**  
**TOTAL FLOOR PLAN - 3200 SQ. FT.**

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**PRELIMINARY WORKING DRAWINGS**

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CUSTOMER: WORDEN HOME BUILDERS (WORDEN)

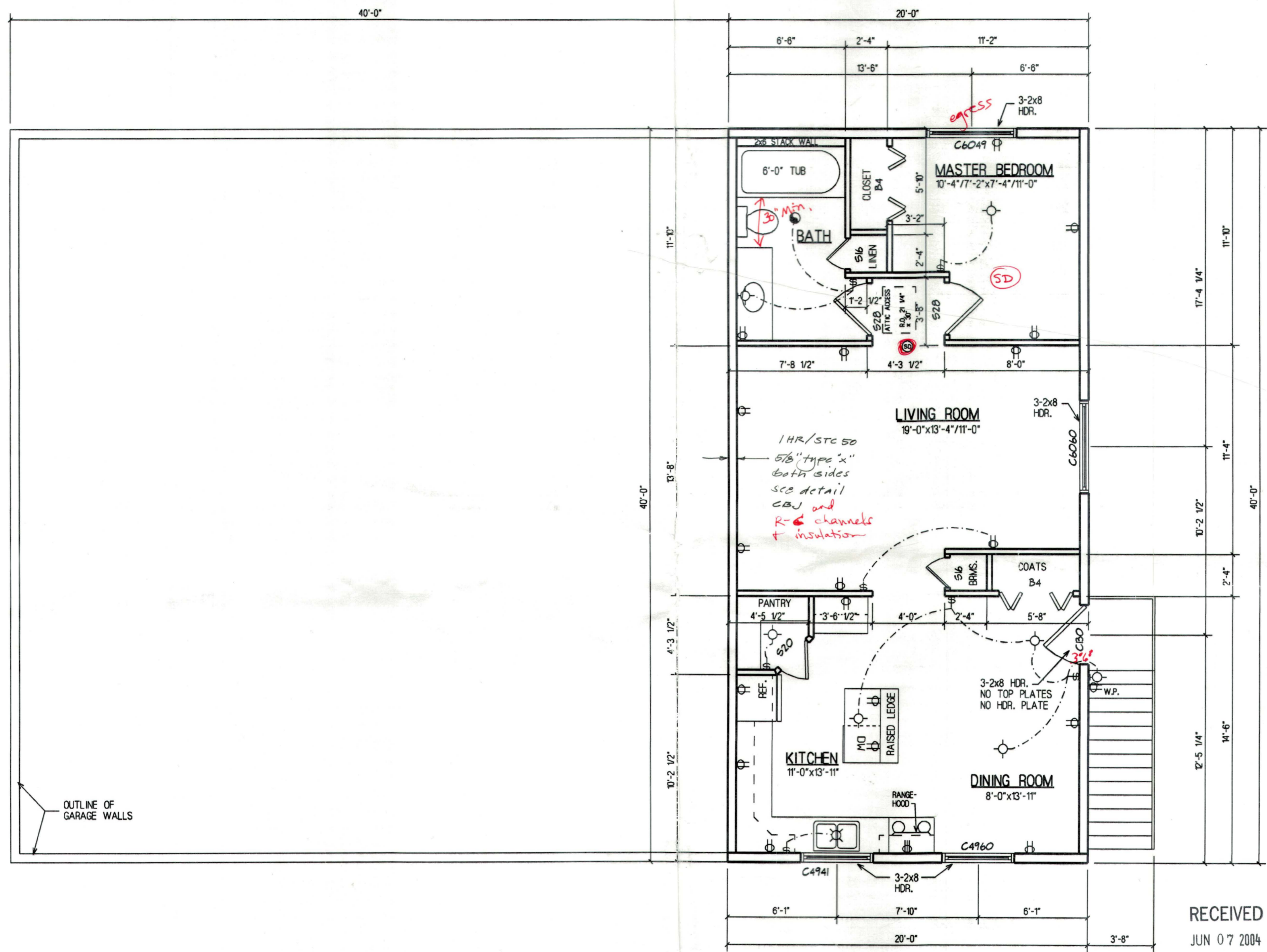
MODEL: CUSTOM ORDER #: L5611

DRAWN BY: LIFSPACE CHECKED BY: CHECKER

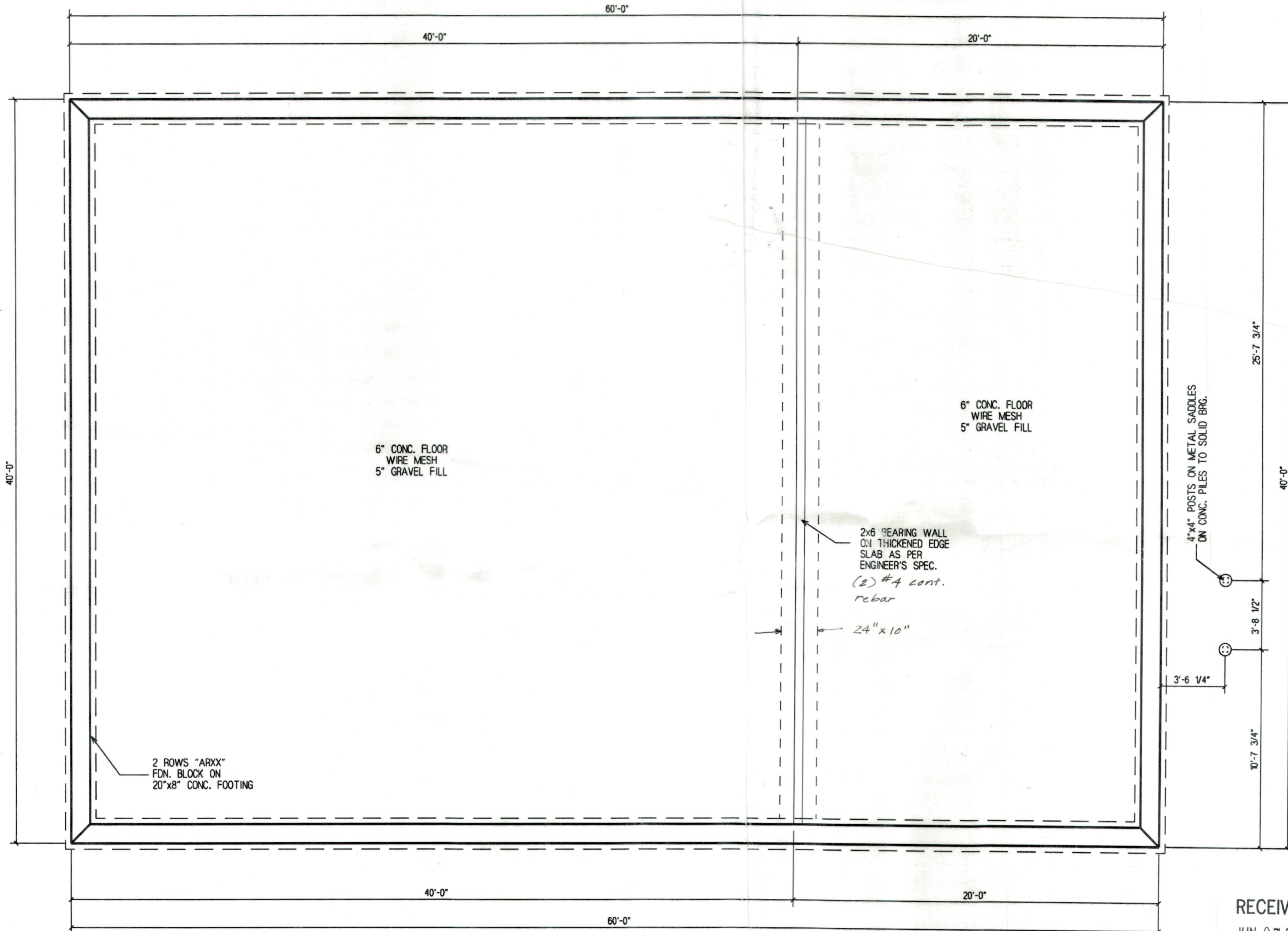
DATE ORG. DRAWN: FEBRUARY 11, 2004 ELEVATION: HAND

SPECIFICATION UPDATE: 2004

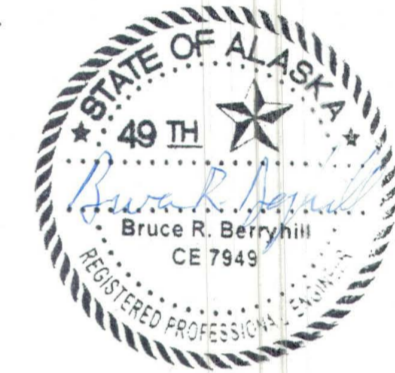
REVISIONS	DATE (MM/YY)	DRAWN	CHECKED
WORKING DRAWINGS	11 FEB 04	LIFSPACE	
ADDITIONS	25 FEB 04	LIFSPACE	



Attic access also  
from dwelling.



FOUNDATION PLAN



**NOTE:**

- IT IS THE RESPONSIBILITY OF THE BUILDER/OWNER TO ENSURE THE DESIGN AND CONSTRUCTION OF THE FOUNDATION AND FOOTINGS MEET THE REQUIREMENTS OF THE LOCAL BUILDING AUTHORITY.
- CONSTRUCTION SHOULD NOT START UNTIL AFTER THE PLAN EXAMINATION REVIEW HAS BEEN COMPLETED AND BUILDING PERMITS ARE ISSUED.
- ALL FOUNDATIONS TO BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE LATEST MUNICIPAL, CITY, PROVINCIAL, STATE AND NATIONAL BUILDING CODES AND/OR AUTHORITY HAVING JURISDICTION.
- IT IS POSSIBLE THAT LOCAL AUTHORITIES MAY REQUIRE AN ENGINEERS REPORT TO CONFIRM THIS DESIGN. IF SUCH A REPORT IS REQUIRED, IT IS THE RESPONSIBILITY OF THE BUILDER/OWNER TO PROVIDE THE REPORT.
- DIMENSIONS TO BE CHECKED BY INSTALLING CONTRACTOR AND ANY DISCREPANCY TO BE VERIFIED BY "NELSON".
- CHECK CROSS SECTIONS FOR BASEMENT WALL HEIGHTS.
- THE EXACT FURNACE AND H.W.T. LOCATION IS TO BE DETERMINED ON SITE BY THE INSTALLING CONTRACTOR.

RECEIVED  
JUN 07 2004  
PERMIT CENTER / CDD

**PRELIMINARY WORKING DRAWINGS**

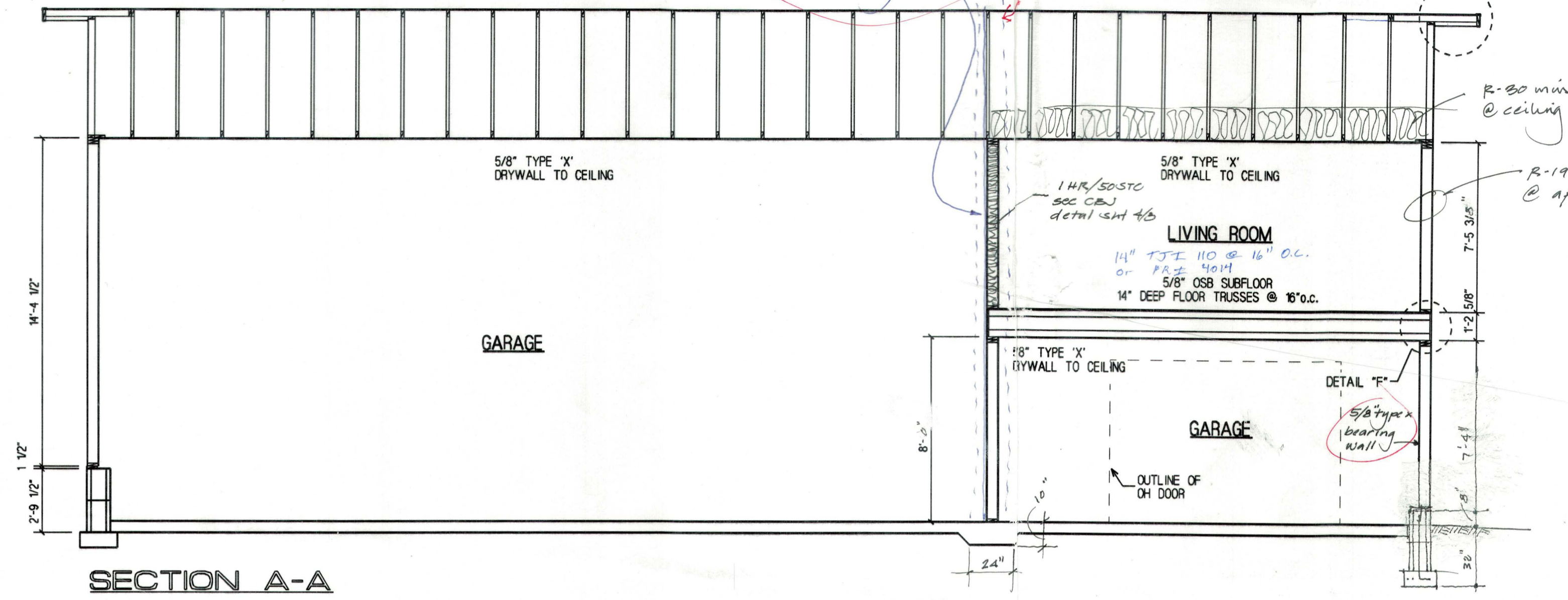
FOR FINANCING, QUOTATION, AND PERMIT PURPOSES ONLY.

**NOT TO BE USED FOR CONSTRUCTION.**

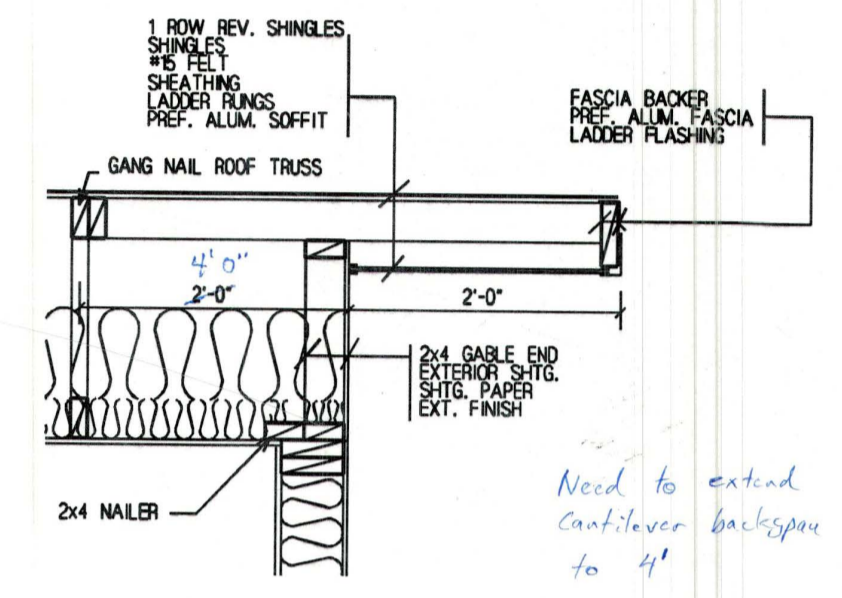
BOX 620 LLOYDMINSTER, ALBERTA S9V 0Y8 PHONE (780) 871-6300 FAX (780) 871-6388			
CUSTOMER	WORDEN HOME BUILDERS (WORDEN)		
MODEL	CUSTOM		
ORDER #	L5611		
DRAWN BY: LIFESPACE	CHECKED BY: CHECKER		
DATE ORG. DRAWN: FEBRUARY 11, 2004	ELEVATION: HAND		
SPECIFICATION UPDATE: 2004			
REVISIONS	DATE DRAWN	DRAWN	DECIDED
WORKING DRAWINGS	11 FEB 04	LIFESPACE	
MODIFICATIONS	25 FEB 04	LIFESPACE	

1x4 STRAPPING AS PER TRUSS DRAWINGS.  
ROOF TRUSSES CONFIGURATION SHOWN FOR ILLUSTRATION PURPOSES ONLY!

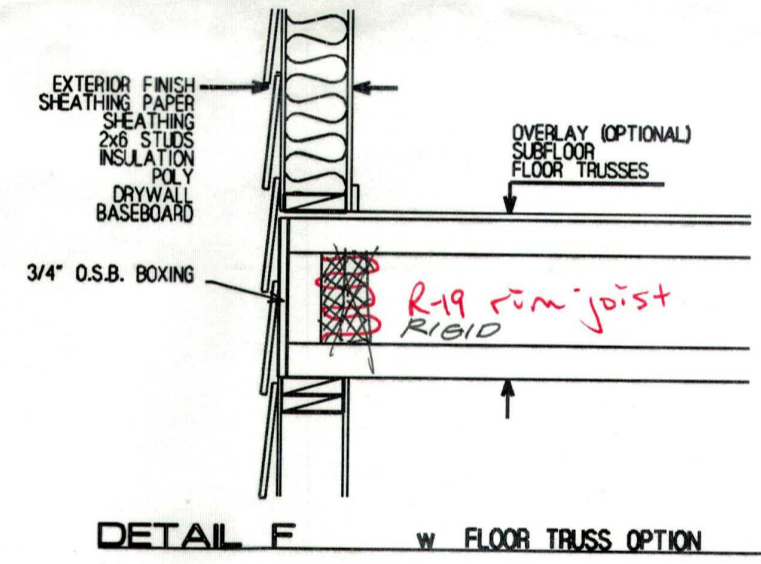
*one hour separation  
5/8" type "x" to underside of sheathing*



**PRELIMINARY WORKING DRAWINGS**  
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**NOT TO BE USED FOR CONSTRUCTION.**



SECTION THRU GABLE END (2'-0" O.H.)  
DETAIL D

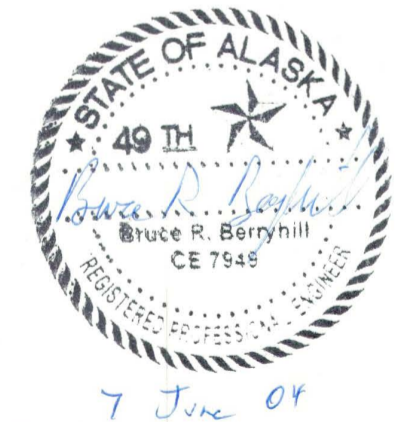


DETAIL F w FLOOR TRUSS OPTION

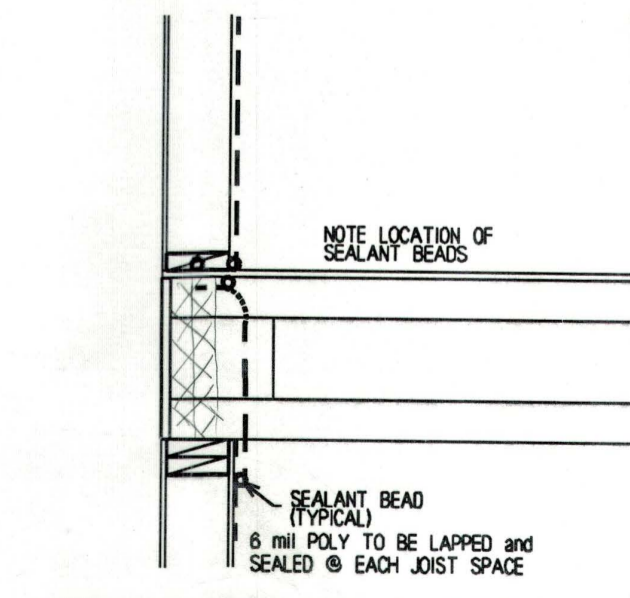
OPENING SCHEDULE							GARAGE FLOOR PLAN		LEVEL A
NAME	TYPE	QTY.	SWING	HAND	WIDTH	HEIGHT	HEADER HEIGHT	DESCRIPTION	
12x14a	EXTERIOR DOOR	1	inswing	left	12'-3"	11'-8 1/2"	14'-1 1/2"	12x14 OH DOOR w/ 2'-5" BUCK	
10x12a	EXTERIOR DOOR	1	inswing	left	10'-3"	9'-8 1/2"	12'-1 1/2"	10x12 OH DOOR w/ 2'-5" BUCK	
10x7a	EXTERIOR DOOR	1	inswing	left	10'-3"	4'-8 1/2"	7'-1 1/2"	10x7 OH DOOR w/ 2'-5" BUCK	
C630b	EXTERIOR DOOR	1	inswing	left	3'-2 1/2"	6'-10 1/4"	6'-10 1/4"	3'-0" CLAD SERVICE DOOR w/ NO BUCK	
C630b	EXTERIOR DOOR	1	inswing	right	3'-2 1/2"	6'-10 1/4"	6'-10 1/4"	3'-0" CLAD SERVICE DOOR w/ NO BUCK	

OPENING SCHEDULE							APARTMENT FLOOR PLAN		LEVEL B
NAME	TYPE	QTY.	SWING	HAND	WIDTH	HEIGHT	HEADER HEIGHT	DESCRIPTION	
C130	EXTERIOR DOOR	1	inswing	right	3'-2 1/2"	6'-10 1/4"	6'-10 1/4"	3'-0" EXT CLAD DOOR	
B4	INTERIOR DOOR	1	outswing	right	4'-1 1/4"	6'-9 1/2"	6'-9 1/2"	4'-0" BI-FOLD	
B4	INTERIOR DOOR	1	inswing	right	4'-1 1/4"	6'-9 1/2"	6'-9 1/2"	4'-0" BI-FOLD	
S16	INTERIOR DOOR	1	inswing	left	1'-8"	6'-10 1/4"	6'-10 1/4"	1'-6" INTERIOR SWING DOOR	
S16	INTERIOR DOOR	1	outswing	right	1'-8"	6'-10 1/4"	6'-10 1/4"	1'-6" INTERIOR SWING DOOR	
S20	INTERIOR DOOR	1	outswing	right	2'-2"	6'-10 1/4"	6'-10 1/4"	2'-0" INTERIOR SWING DOOR	
S28	INTERIOR DOOR	1	outswing	right	2'-10"	6'-10 1/4"	6'-10 1/4"	2'-8" INTERIOR SWING DOOR	
S28	INTERIOR DOOR	1	inswing	left	2'-10"	6'-10 1/4"	6'-10 1/4"	2'-8" INTERIOR SWING DOOR	
C4941	WINDOW	1	-	-	4'-0 1/4"	3'-4 3/8"	6'-5 3/4"	C.W.D.- RO: 48 1/4 X 40 3/8	
C4960	WINDOW	1	-	-	4'-0 1/4"	5'-0"	6'-5 3/4"	C.W.D.- RO: 48 1/4 X 60	
C6049	WINDOW	1	-	-	5'-0"	4'-0 1/4"	6'-5 3/4"	C.W.D.- RO: 60 X 48 1/4	
C6060	WINDOW	1	-	-	5'-0"	5'-0"	6'-5 3/4"	C.W.D. - RO: 60 x 60	

NOTE!  
-ALL FOUNDATIONS TO BE CONSTRUCTED TO MEET THE REQUIREMENTS OF THE LATEST MUNICIPAL, CITY, PROVINCIAL, AND NATIONAL BUILDING CODES AND/OR AUTHORITY HAVING JURISDICTION.  
-THIS FOUNDATION PLAN HAS BEEN DESIGNED USING STANDARD BUILDING PRACTICES, AND CONFORMS TO THE INTENT OF THE CODE. IT IS POSSIBLE THAT LOCAL AUTHORITIES MAY REQUIRE AN ENGINEERS REPORT TO CONFIRM THIS DESIGN. IF SUCH REPORT IS REQUIRED, IT IS THE RESPONSIBILITY OF THE OWNER OR BUILDER TO PROVIDE THE REPORT.  
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-FOUNDATION IS TO BE DESIGNED TO ENSURE FOOTINGS AND/OR PILES EXTEND BELOW FROST LEVEL.  
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7 June 04



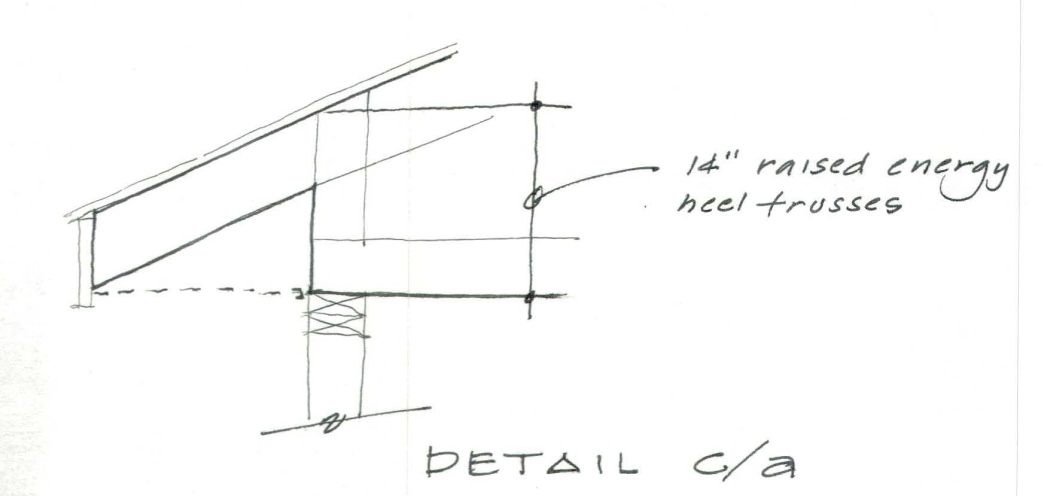
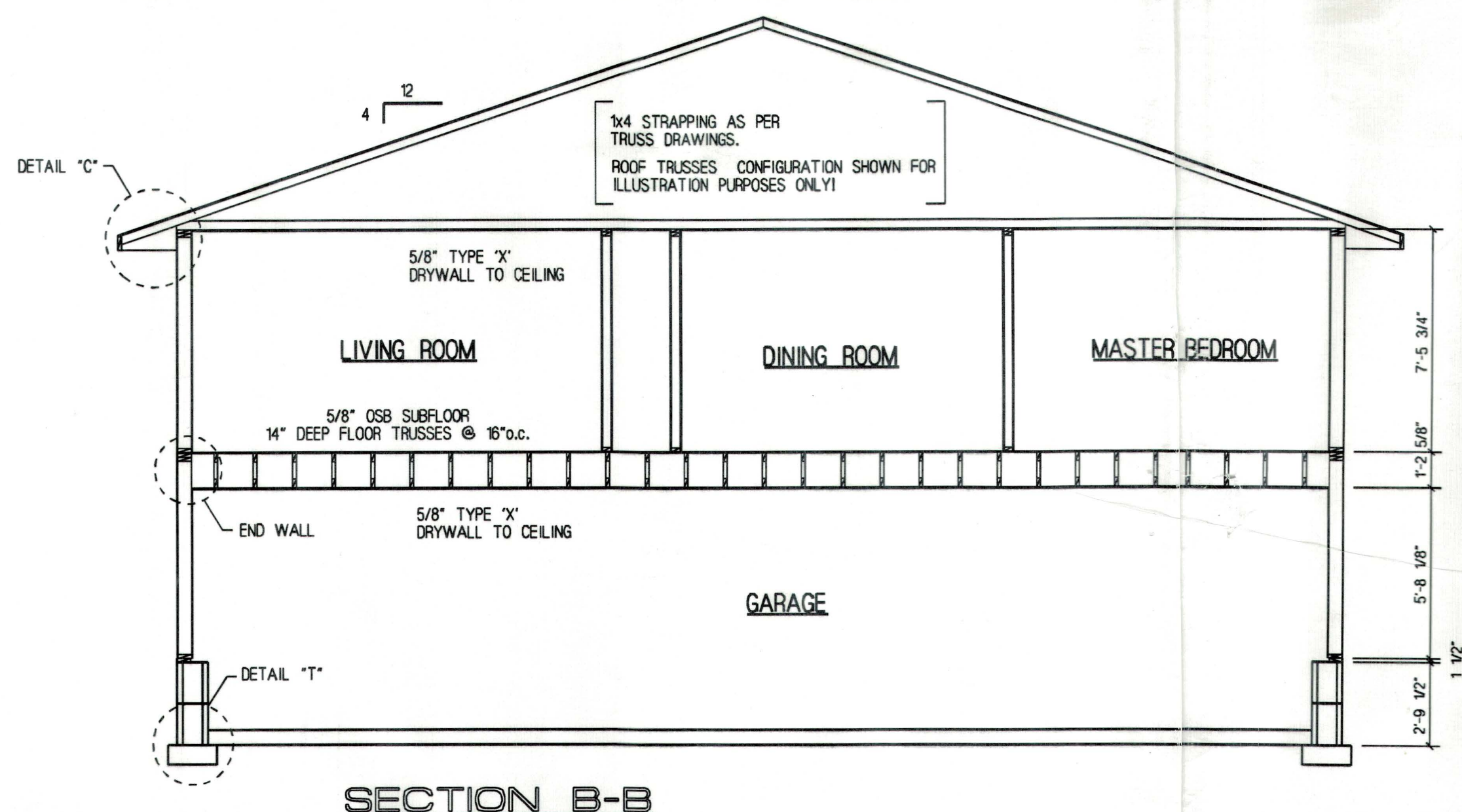
POLY VAPOUR BARRIER DETAIL PERMIT CENTER / CDD

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**Nelson HOMES**  
BOX 620 LLOYDMINSTER, ALBERTA S9V 0Y8  
PHONE (780) 871-6300 FAX (780) 871-6388

CUSTOMER: **WORDEN HOME BUILDERS (WORDEN)**  
MODEL: **CUSTOM** ORDER #: **L5611**  
DRAWN BY: **LIFSPACE** CHECKED BY: **CHECKER**  
DATE ORG. DRAWN: **FEBRUARY 11, 2004** ELEVATOR: **HAND**  
SPECIFICATION UPDATE: **2004**

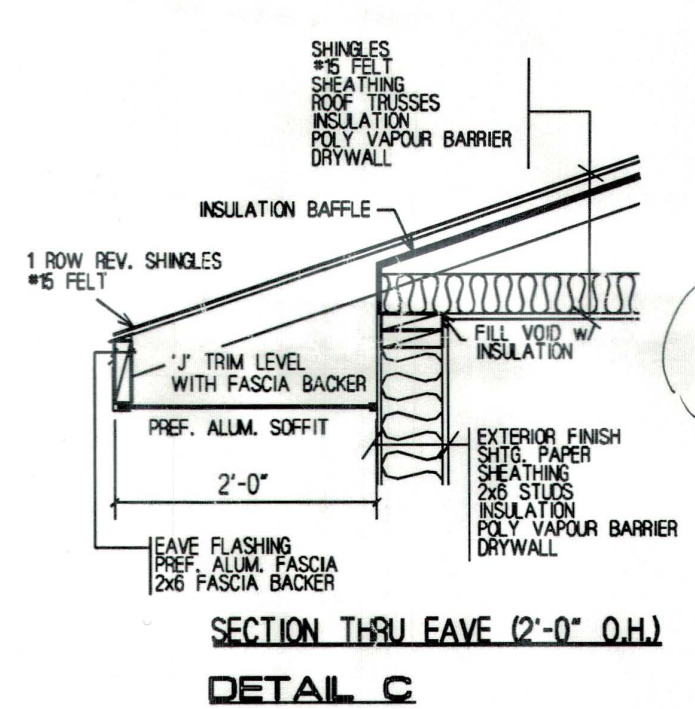
REVISIONS	DATE (MM/YY)	DRAWN	CHECKED
WORKING DRAWINGS	11 FEB 04	LIFSPACE	
MODIFICATIONS	25 FEB 04	LIFSPACE	



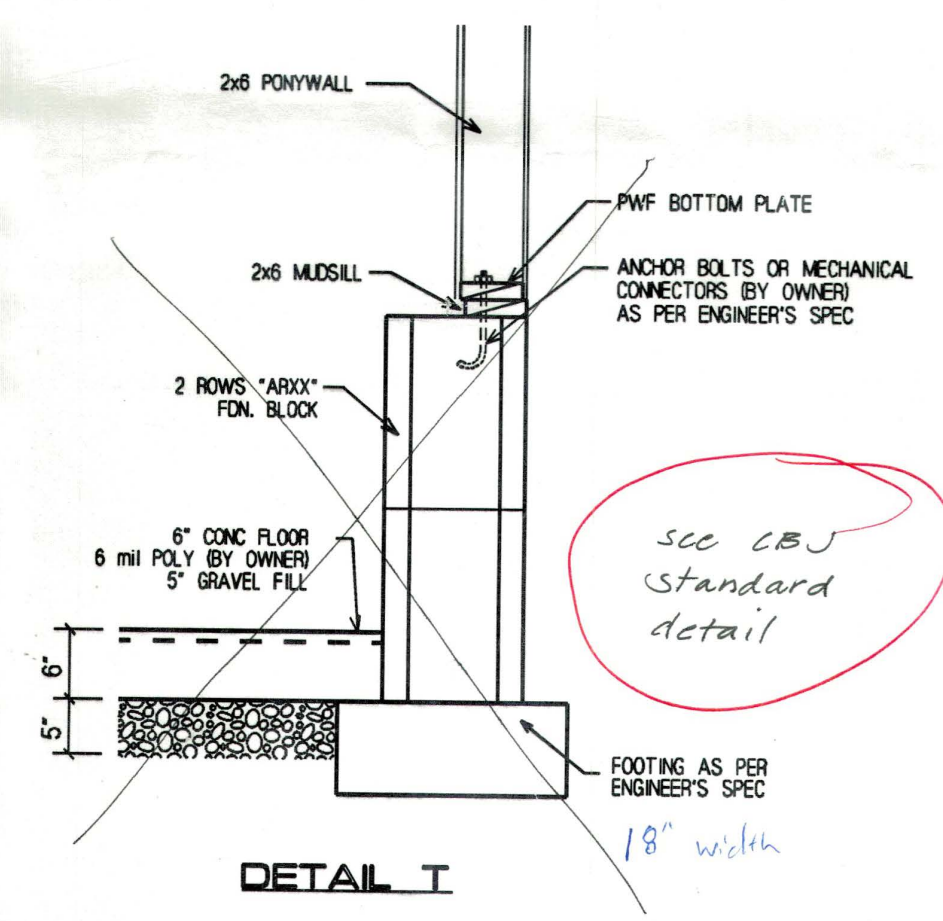
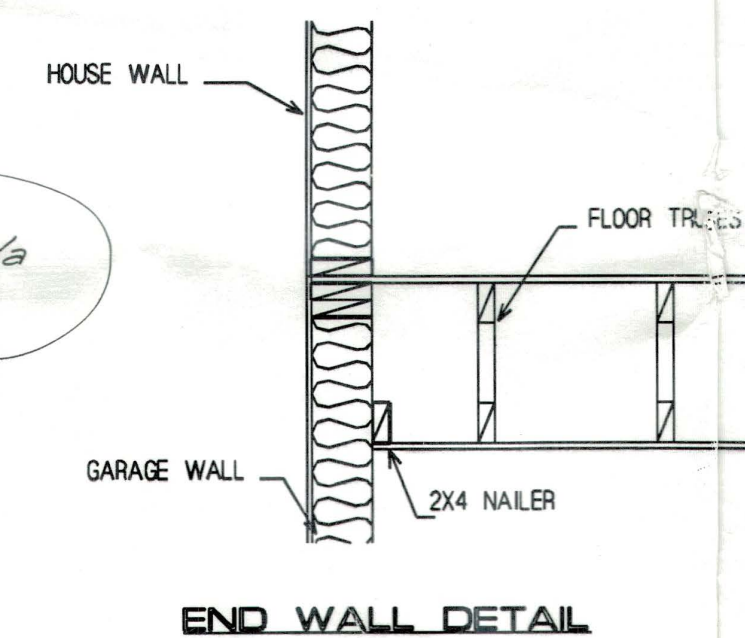
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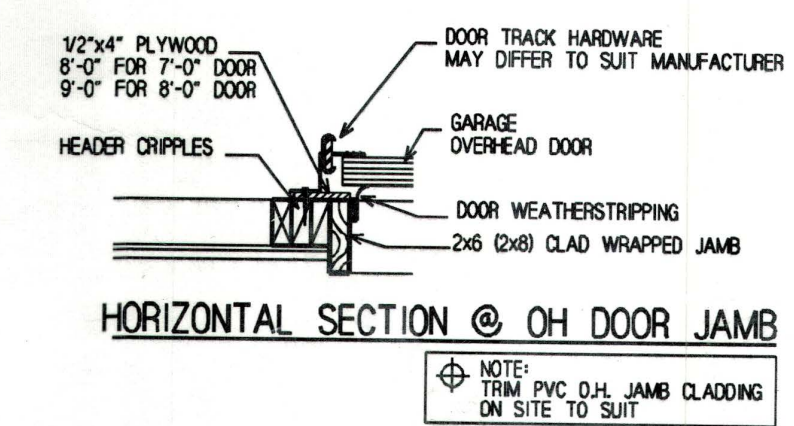
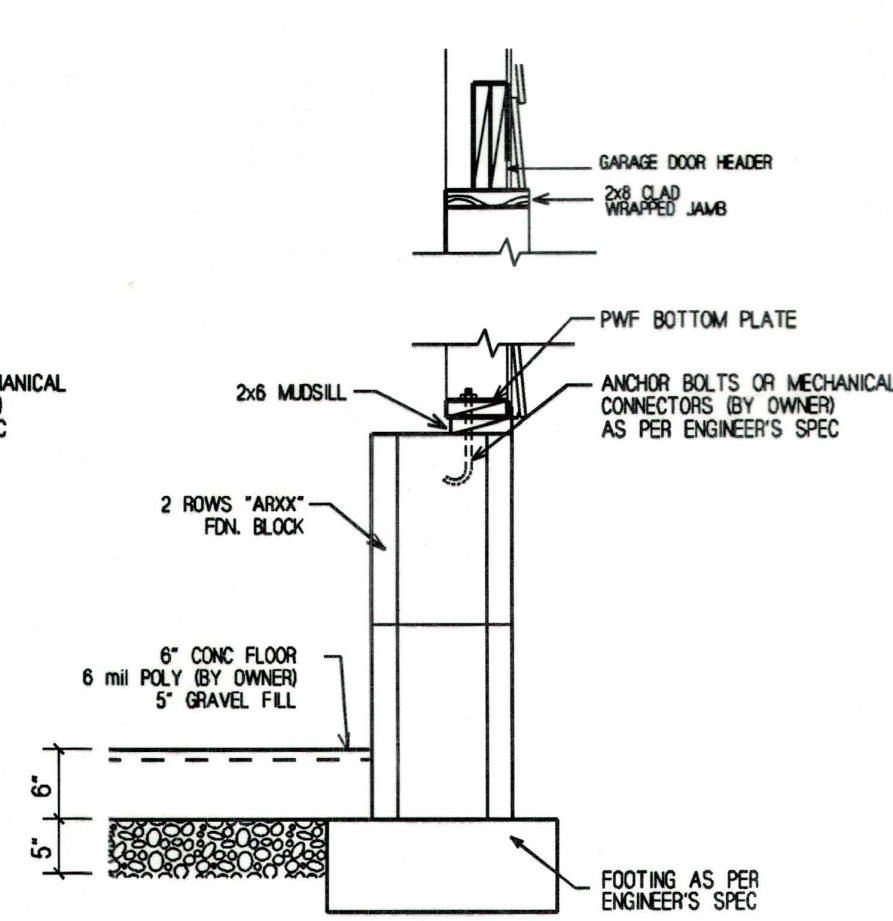
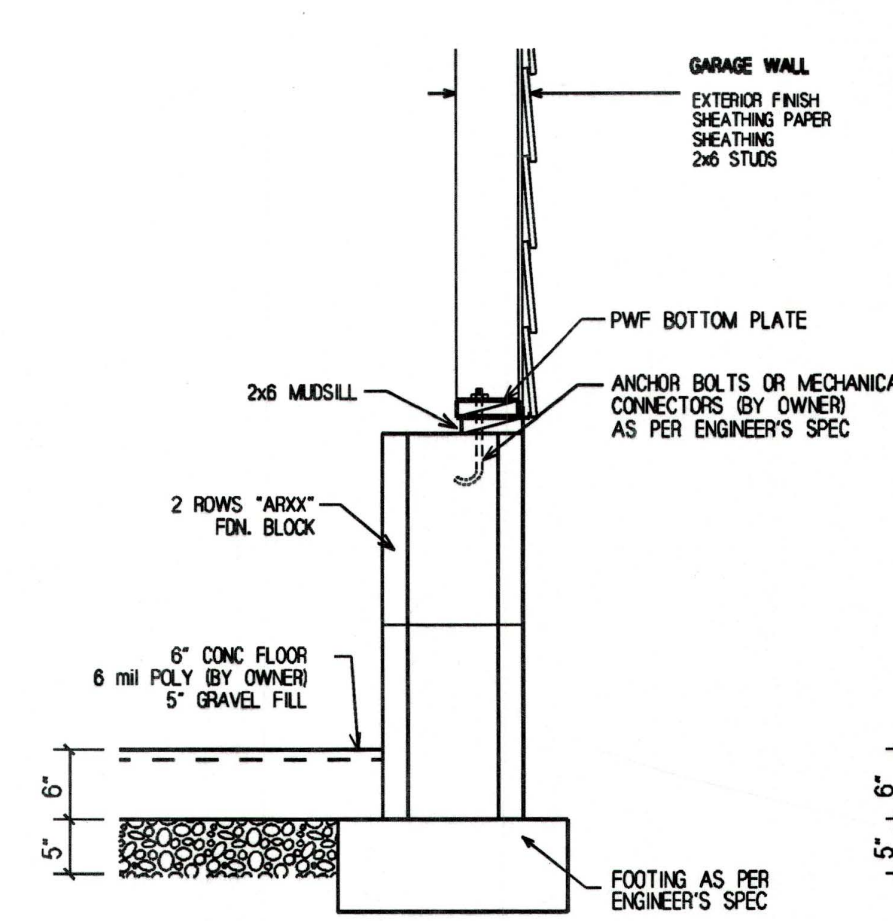
*see detail c/a for revision*



*see CBJ standard detail*

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**Nelson HOMES**

BOX 620 LLOYDMINSTER, ALBERTA S9V 0Y8  
PHONE (780) 871-6300 FAX (780) 871-6388

CUSTOMER: **WORDEN HOME BUILDERS (WORDEN)**

MODEL: **CUSTOM** ORDER #: **L5611**

DRAWN BY: **LIFSPACE** CHECKED BY: **CHECKER**

DATE ORG. DRAWN: **FEBRUARY R. 2004** ELEVATION: **HAND**

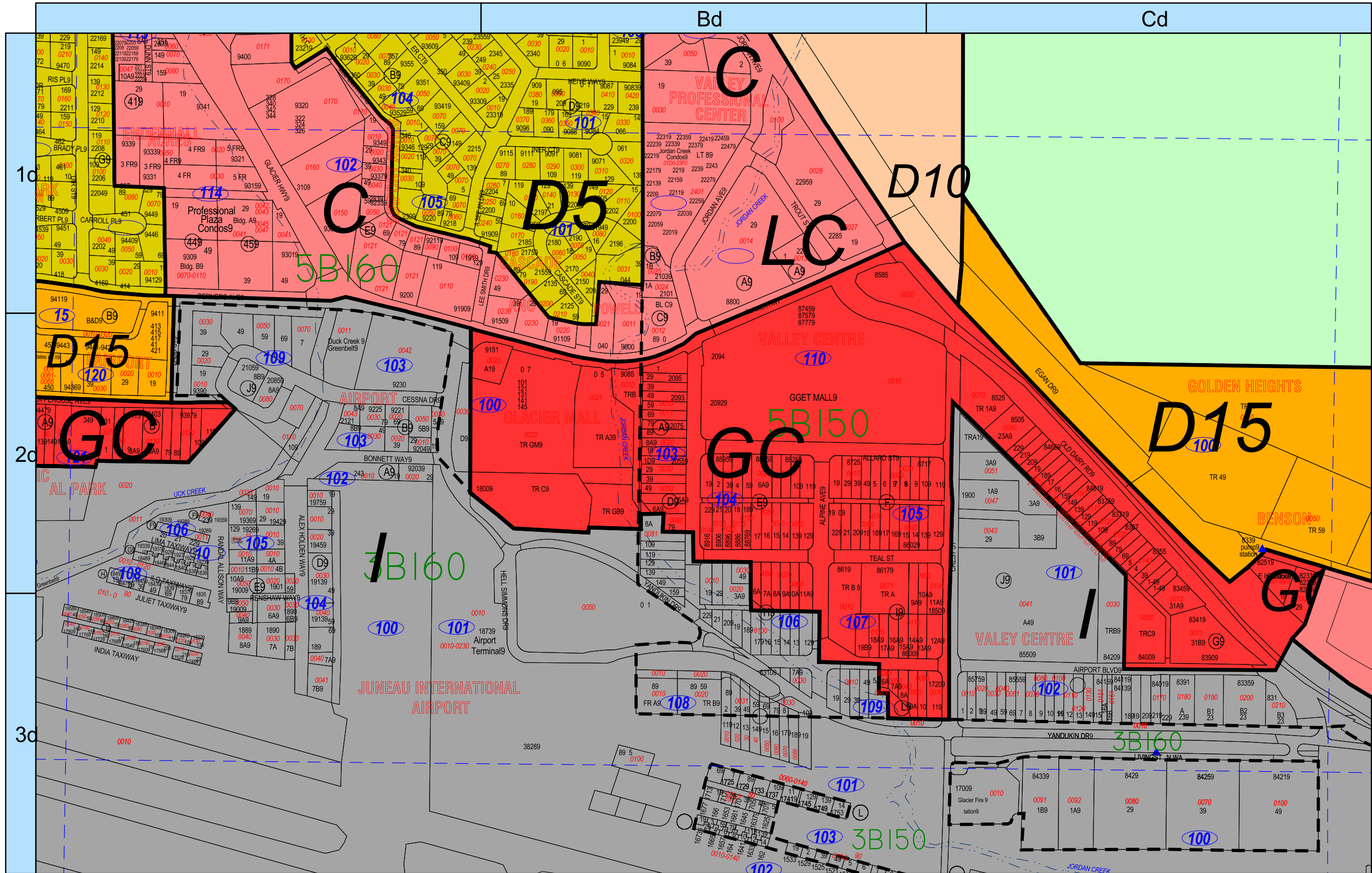
SPECIFICATION UPDATE: **2004**

REVISIONS	DATE (MM/YY)	DRAWN	CHECKED
WORKING DRAWINGS	11 FEB 04	LIFSPACE	
MODIFICATIONS	25 FEB 04	LIFSPACE	

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JUN 07 2004

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Assessor Tax Number Code9

6D090	102	0030
Parcel Code Prefix9	Block 9	Lot
umber9	umber9	umber9





# *Certificate of Occupancy*

## *City & Borough of Juneau, Alaska*

*This Certificate is issued pursuant to the requirements of CBJ Title 19.01 certifying that at the time of issuance, this structure was in compliance with the various ordinances of the City & Borough of Juneau regulating building construction or use for the following project:*

Tenant improvement for Nugz LLC

Building Address: 9333 GLACIER HWY

Occupancy Group: F-1 / B\*

Owner of Building: WORDEN HOMES INC  
PO BOX 211574  
AUKE BAY AK 99821-1574

Building Permit No. BLD20200109

Construction Type: Type V-B

Code Edition: 2012 IBC

Occupant Load: N/A

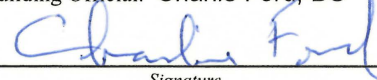
Sprinklers: Required No

Provided No

Legal Description of Building Lot:

MENDENHALL ACRES BL 41 LT 3 FR 4 FR

Building Official: Charlie Ford, BO



*Signature*

Parcel No: 5-B16-0-114-005-0

Date of Issuance: September 7, 2023

*Post this Certificate in a conspicuous place for the duration of the stated occupancy.*

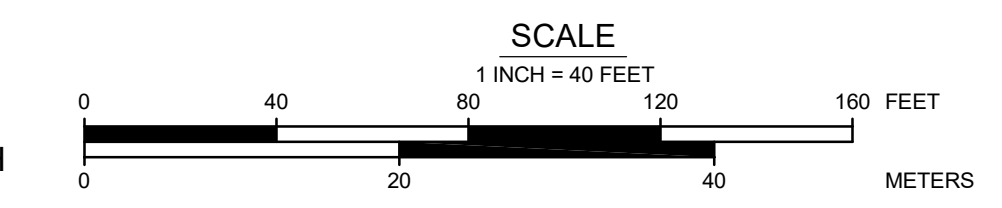
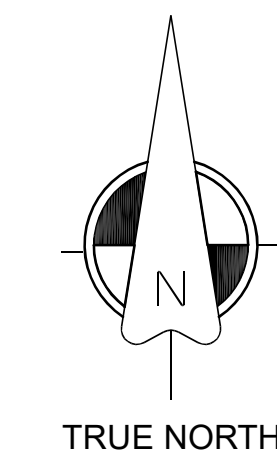
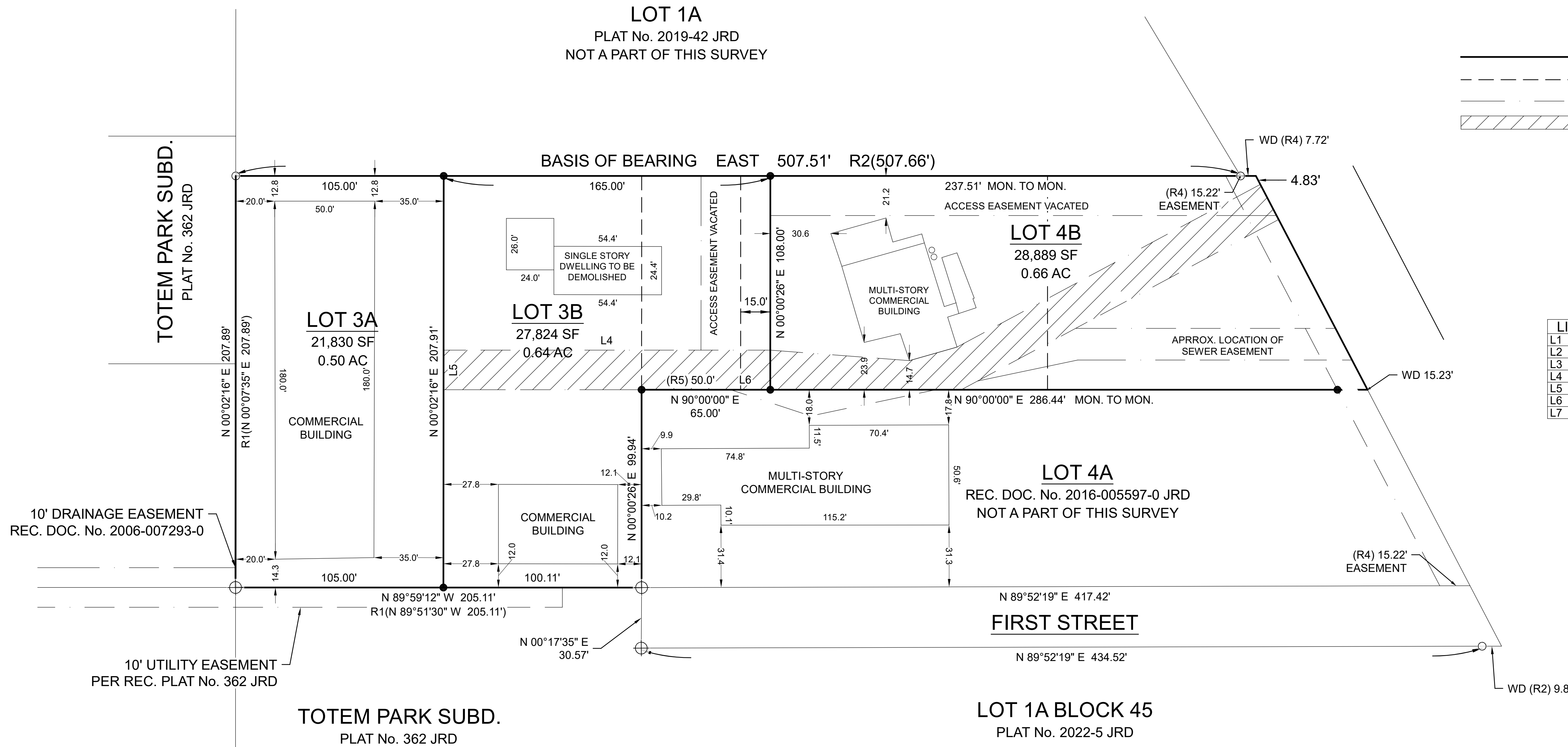
**NOTES**

1. ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
2. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
3. WHERE RECORD BEARINGS AND DISTANCES DIFFER FROM MEASURED, RECORD DIMENSIONS ARE SHOWN IN PARENTHESIS AND REFERENCED TO A RECORD PLAT (R#).
4. THIS ASBUILT SURVEY IS TO SATISFY THE REQUIREMENTS OF THE CITY AND BOROUGH OF JUNEAU AND SHOULD NOT BE UTILIZED FOR ANY OTHER PURPOSE.

**LEGEND**

- RECOVERED 3.25" ALUMINUM PRIMARY MONUMENT, AK DAT&PF
- RECOVERED 3" BRASS CAP MONUMENT
- RECOVERED SECONDARY MONUMENT
- SET SECONDARY MONUMENT THIS SURVEY, SEE TYPICAL DETAIL
- PROPERTY LINE - THIS SURVEY
- PROPERTY LINE ELIMINATED THIS PLAT
- EASEMENT BOUNDARY
- PRIVATE ACCESS AND UTILITY EASEMENT CREATED WITH SUBD.
- (R1) RECORD PLAT No. 2003-1 JRD
- (R2) RECORD PLAT No. 2019-42 JRD
- (R3) RECORD PLAT No. 2020-5 JRD
- (R4) DOT ROW MAP, PROJECT No. 69755, PLAT No 2006-10 JRD
- (R5) RECORD DOCUMENT No. 2006-007294 JRD

LINE	BEARING	DISTANCE
L1	N 61°46'59" E	173.83'
L2	S 74°07'27" W	24.99'
L3	S 85°40'55" E	70.47'
L4	N 90°00'00" E	165.05'
L5	S 00°02'16" W	20.00'
L6	N 90°00'00" E	305.06'
L7	N 61°46'59" E	181.87'



**LAST FRONTIER**  
SURVEYING & ENGINEERING LLC

SURVEYOR: ALEC VENECHUK PLS  
PO BOX 32346  
JUNEAU AK 99803

CLIENT:  
WORDEN HOMES  
PO BOX 211574  
AUKIE BAY, ALASKA 99821

**AN ASBUILT SURVEY OF LOTS 3A, 3B, AND 4B**

A SUBDIVISION OF LOT 3 AND FRACTIONS OF LOTS 4 AND 5  
BLOCK 41, MENDENHALL ACRES SUBDIVISION  
- RECORD PLAT No. 93-31  
JUNEAU RECORDING DISTRICT  
WITHIN U.S. SURVEY 1287

WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA  
- STATE RECORDERS OFFICE AT ANCHORAGE -  
- CBJ CDD CASE NUMBER: PAC 2025-22

DRAWN BY: AMV      DATE: 08/01/2025      SHEET 1 OF 1



**SURVEYOR'S CERTIFICATE**

I, ALEC VENECHUK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATE: \_\_\_\_\_ REGISTRATION No. LS 180545

ALEC M. VENECHUK, PROFESSIONAL LAND SURVEYOR

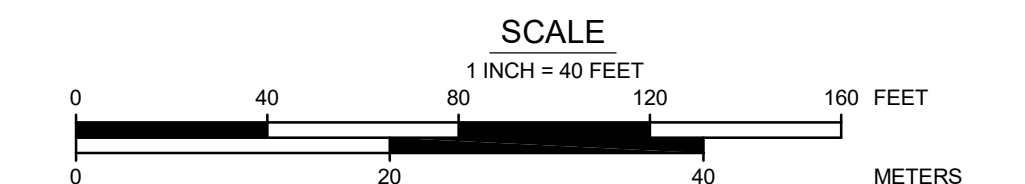
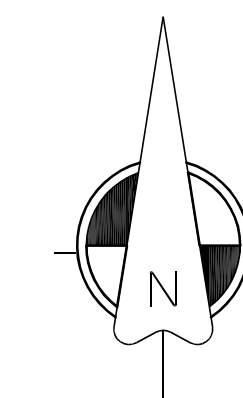
**NOTES**

1. ALL DISTANCES ARE MEASURED IN U.S. SURVEY FEET.
2. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
3. WHERE RECORD BEARINGS AND DISTANCES DIFFER FROM MEASURED, RECORD DIMENSIONS ARE SHOWN IN PARENTHESIS AND REFERENCED TO A RECORD PLAT (R#).
4. THIS ASBUILT SURVEY IS TO SATISFY THE REQUIREMENTS OF THE CITY AND BOROUGH OF JUNEAU AND SHOULD NOT BE UTILIZED FOR ANY OTHER PURPOSE.

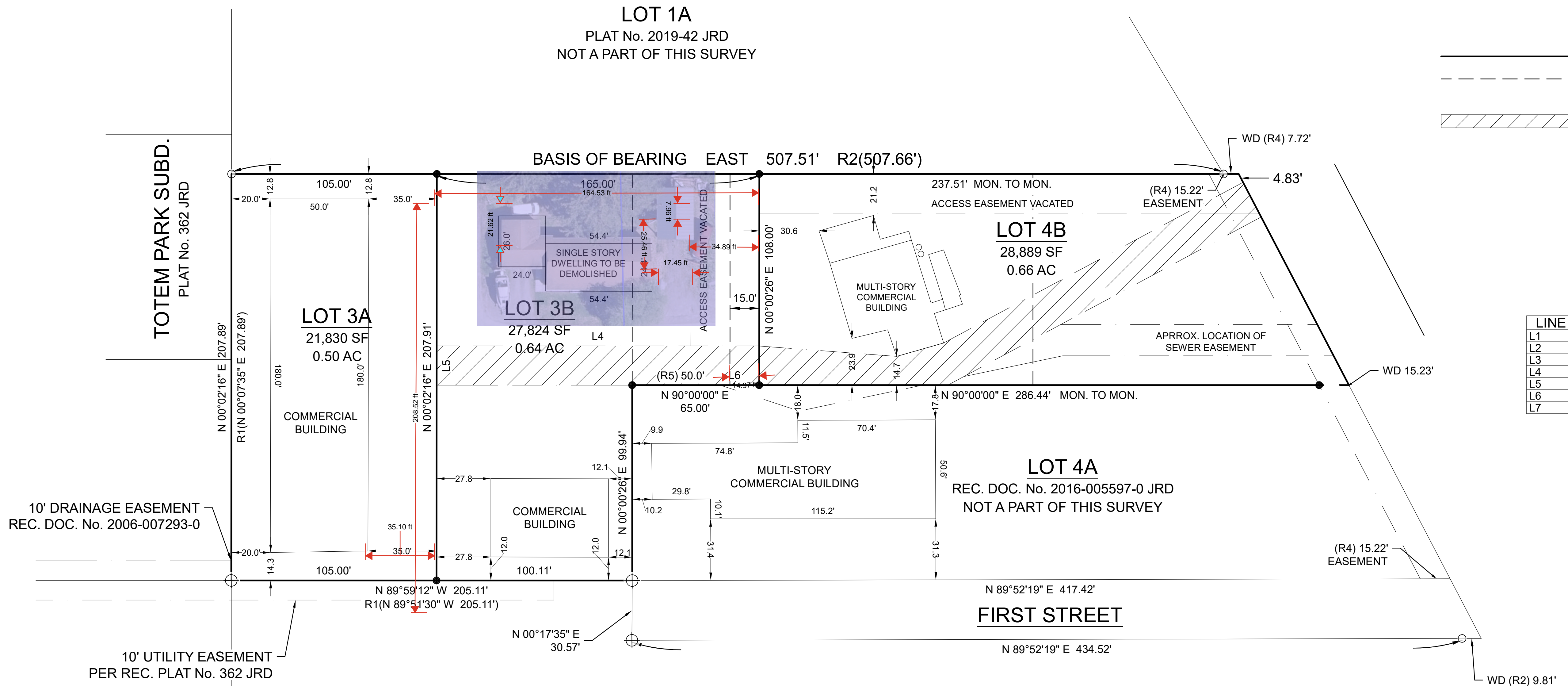
**LEGEND**

- RECOVERED 3.25" ALUMINUM PRIMARY MONUMENT, AK DAT&PF
- RECOVERED 3" BRASS CAP MONUMENT
- RECOVERED SECONDARY MONUMENT
- SET SECONDARY MONUMENT THIS SURVEY, SEE TYPICAL DETAIL
- PROPERTY LINE - THIS SURVEY
- PROPERTY LINE ELIMINATED THIS PLAT
- EASEMENT BOUNDARY
- PRIVATE ACCESS AND UTILITY EASEMENT CREATED WITH SUBD.
- (R1) RECORD PLAT No. 2003-1 JRD
- (R2) RECORD PLAT No. 2019-42 JRD
- (R3) RECORD PLAT No. 2020-5 JRD
- (R4) DOT ROW MAP, PROJECT No. 69755, PLAT No. 2006-10 JRD
- (R5) RECORD DOCUMENT No. 2006-007294 JRD

LINE	BEARING	DISTANCE
L1	N 61°46'59" E	173.83'
L2	S 74°07'27" W	24.99'
L3	S 85°40'55" E	70.47'
L4	N 90°00'00" E	165.05'
L5	S 00°02'16" W	20.00'
L6	N 90°00'00" E	305.06'
L7	N 61°46'59" E	181.87'



**LOT 1A**  
PLAT No. 2019-42 JRD  
NOT A PART OF THIS SURVEY



**LAST FRONTIER**  
SURVEYING & ENGINEERING LLC

SURVEYOR: ALEC VENECHUK PLS  
PO BOX 32346  
JUNEAU AK 99803

CLIENT:  
WORDEN HOMES  
PO BOX 211574  
AUKER BAY, ALASKA 99821

**AN ASBUILT SURVEY OF LOTS 3A, 3B, AND 4B**

A SUBDIVISION OF LOT 3 AND FRACTIONS OF LOTS 4 AND 5  
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WITHIN THE CITY AND BOROUGH OF JUNEAU, ALASKA  
- STATE RECORDERS OFFICE AT ANCHORAGE -  
CBB CDD CASE NUMBER: PAC 2025-22

DRAWN BY: AMV    DATE: 08/01/2025    SHEET 1 OF 1



**SURVEYOR'S CERTIFICATE**

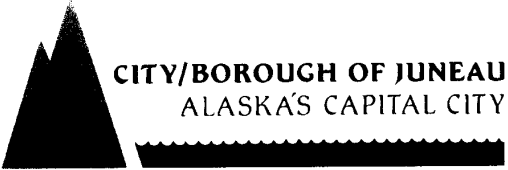
I, ALEC VENECHUK, IN MY CAPACITY AS A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ALASKA, CERTIFY THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, THAT THE ACCURACY OF THE SURVEY IS WITHIN THE LIMITS REQUIRED BY TITLE 49 OF THE CODE OF THE CITY AND BOROUGH OF JUNEAU, THAT ALL DIMENSIONS AND RELATIVE BEARINGS ARE CORRECT, AND THAT MONUMENTS ARE SET IN PLACE AND NOTED UPON THIS PLAT AS PRESENTED.

DATE: \_\_\_\_\_ REGISTRATION No. LS 180545

ALEC M. VENECHUK, PROFESSIONAL LAND SURVEYOR



08/18/2023



**PLANNING COMMISSION**  
**NOTICE OF DECISION**

Date: September 13, 2006

File No.: USE2006-00045

Worden Homes, Inc.  
P.O. Box 32884  
Juneau, AK 99803

Application For: Conditional Use permit for a new 9,000 square foot, 9-unit storage condo building with one residential dwelling unit.

Legal Description: Mendenhall Acres BL 41 LT 3 FR

Parcel Code No.: 5-B16-0-114-006-0

Hearing Date: September 12, 2006

The Planning Commission, at its regular public meeting, adopted the analysis and findings listed in the attached memorandum dated September 5, 2006 and approved the storage condominium development to be conducted as described in the project description and project drawing submitted with the application and with the following conditions:

Advisory Conditions:

- 1) A Certificate of Elevation showing that the lowest floor of the proposed structure is elevated to or above the level of the base flood elevation, or otherwise meeting the requirements of CBJ §49.70.400(e), will be required as a condition of the building permit for the proposed structure.
- 2) A lighting plan meeting the requirements of CBJ §49.40.230(d) and 04 CBJAC 050.020(b) must be submitted prior to approval of the building permit for the subject structure.

Enforceable Conditions:

- 3) The following signs, shown in Attachment D, must be installed prior to issuance of a Certificate of Occupancy for the structure. The applicant may choose to reverse the direction of traffic circulation at their discretion. In this case, the signs listed below and shown in Attachment D should be installed in reverse order/direction, as approved by Community Development Department staff.
  - (A) "One-way" traffic signs at the following locations:
    - At entrance to drive aisle at north end of structure;
    - At south exit from drive aisle at west (rear) of structure;
    - At east exit from drive aisle at south of structure; and
    - In at least one location on east side of structure where visible to vehicles entering the site, indicated on Attachment D as being in one of three possible locations; and
  - (B) One "No Right-Turn" sign at northwest corner of site, on north property line; and
  - (C) One "Do Not Enter" sign on south end of east side of structure
- 4) The access easement must be widened from 15' to 20' prior to issuance of a building permit for the subject structure.

- 5) A fire protection agreement must be obtained from the owner of Mendenhall Acres Block 41 Lot 4 & Fraction of Lot 5, APN 5-B16-0-114-003-0, so that CCFR can use First Street for access to the subject property, prior to issuance of a building permit for the subject structure.
- 6) A 15'-20' wide gate must be constructed at end of First Street along the common property line between the subject property and Mendenhall Acres Block 41 Lot 4 & Fraction of Lot 5, APN 5-B16-0-114-003-0, so that CCFR can use First Street for access to the subject property, prior to issuance of a Temporary Certificate of Occupancy for the subject structure. Plans for this gate must be reviewed and approved with the building permit for the subject structure.

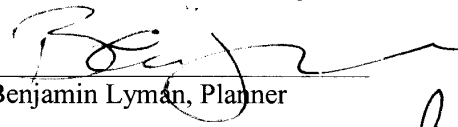
Attachments: September 5, 2006 memorandum from Benjamin Lyman, Planner, Community Development to the CBJ Planning Commission regarding USE2006-00045.

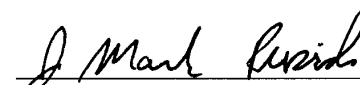
This Notice of Decision does not authorize construction activity. Prior to starting development, it is the applicant's responsibility to obtain a building permit for any improvements requiring such.

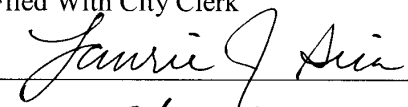

This Notice of Decision constitutes a final decision of the CBJ Planning Commission. Appeals must be brought to the CBJ Assembly in accordance with CBJ §01.50.030. Appeals must be filed by 4:30 P.M. on the day twenty days from the date the decision is filed with the City Clerk, pursuant to CBJ §01.50.030 (c). Any action by the applicant in reliance on the decision of the Commission shall be at the risk that the decision may be reversed on appeal (Sec. 49.20.120).

Effective Date: The permit is effective upon approval by the Commission, September 12, 2006.

Expiration Date: The permit will expire 18 months after the effective date, or March 12, 2007, if no Building Permit has been issued and substantial construction progress has not been made in accordance with the plans for which the development permit was authorized. Application for permit extension must be submitted thirty days prior to the expiration date.

Project Planner:   
Benjamin Lyman, Planner

  
J. Mark Pusich, Chairman  
Planning Commission

Filed With City Clerk  
  
9/13/2006 

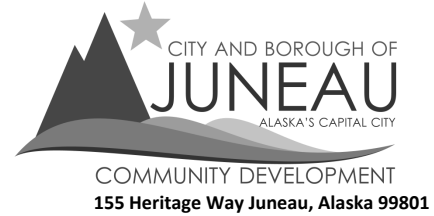
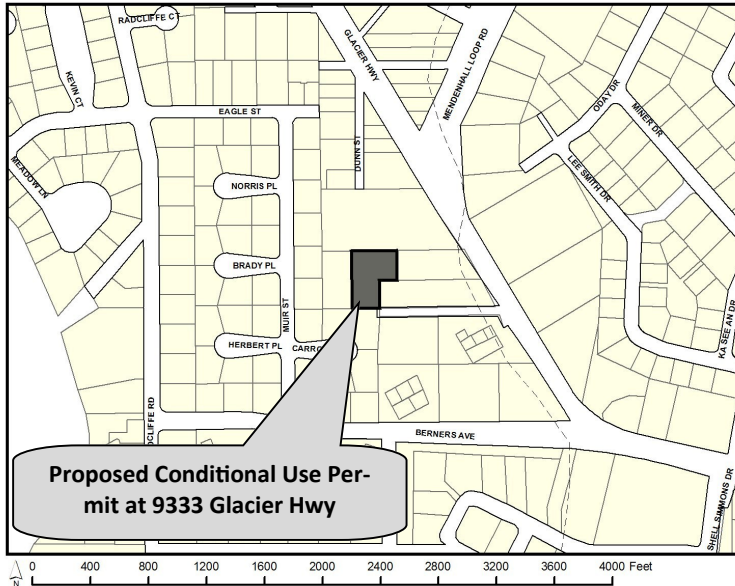
cc: Plan Review

**NOTE:** The Americans with Disabilities Act (ADA) is a federal civil rights law that may affect this development project. ADA regulations have access requirements above and beyond CBJ - adopted regulations. Owners and designers are responsible for compliance with ADA. Contact an ADA - trained architect or other ADA trained personnel with questions about the ADA: Department of Justice (202) 272-5434, or fax (202) 272-5447, NW Disability Business Technical Center 1 (800) 949-4232, or fax (360) 438-3208.

# Invitation to Comment

On a proposal to be heard by the CBJ Planning Commission

*Your Community, Your Voice*



TO

**A Conditional Use Permit** has been submitted for consideration and public hearing by the Planning Commission for **construction of a five bay storage structure with one attached dwelling unit** at **9333 Glacier Hwy** in a **LC zone**.

**PROJECT INFORMATION:**

Project Information can be found at:  
<https://juneau.org/community-development/short-term-projects>

**PLANNING COMMISSION DOCUMENTS:**

Staff Report expected to be posted **Monday, May 4, 2026** at  
<https://juneau.org/community-development/planning-commission>  
 Find hearing results, meeting minutes, and more here, as well.

<b>Now through April 20</b>	<b>April 21 — noon, May 8</b>	<b>HEARING DATE &amp; TIME: 6:00 pm, May 12, 2026</b>	<b>May 13</b>
Comments received during this period will be sent to the Planner, <b>Kathryn Oberlin</b> , to be included as an attachment in the staff report.	Comments received during this period will be sent to Commissioners to read in preparation for the hearing.	This meeting will be held in person and by remote participation. For remote participation: join the Webinar by visiting <a href="https://juneau.zoom.us/j/86847221296">https://juneau.zoom.us/j/86847221296</a> and use the Webinar ID: 868 4722 1296 OR join by telephone, calling: 1-253-215-8782 and enter the Webinar ID (above).  You may also participate in person in City Hall Assembly Chambers, 155 Heritage Way Juneau, Alaska.	The results of the hearing will be posted online.

**FOR DETAILS OR QUESTIONS,**

Phone: (907)586-0753 ext. 4131  
 Email: [pc\\_comments@juneau.gov](mailto:pc_comments@juneau.gov) or [Kathryn.Oberlin@juneau.gov](mailto:Kathryn.Oberlin@juneau.gov)  
 Mail: Community Development, 155 Heritage Way, Juneau AK 99801

**Case No.: USE2026 0004**  
**Parcel No.: 5B1601140051**  
**CBJ Parcel Viewer: <http://epv.juneau.org>**



 **NOTICE** For more information  
586-0715  
pc\_comments@juneau.org

**PERMIT FOR  
STORAGE BUILDING  
WITH DWELLING UNIT**

Case:USE20260004:  
Conditional Use Permit to construct a five-bay  
storage structure with one attached dwelling unit  
in the Light Commercial (LC) zoning district.

**HEARING DATE: 5/12/2026**

Attachment E - USE26-04 Public Notice Sign Photo